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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

179 BURNCOAT STREET
WORCESTER, MA 01606

CONSTRUCTION DOCUMENTS

JULY 1, 2026

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E-302 ENLARGED POWER PLANS

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LOCUS PLAN (NOT TO SCALE)

N

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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS
WORCESTER PUBLIC SCHOOLS
179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS		
Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO:	2430.03
DATE:	07/01/26
SCALE:	
DRAWN BY:	AR
CHECKED BY:	MB/TP

COVER SHEET

G-001

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MASTER KEYNOTE LEGEND

NUMBER	DESCRIPTION
02.03.04	EXISTING CONCRETE SLAB TO REMAIN
02.03.11	LIMIT OF SLAB ON GRADE REMOVAL FOR NEW LIFT PIT
02.03.15	DEMO EXISTING FLOOR SLAB AS SHOWN.
02.03.16	SAWCUT OPENING IN EXISTING 7" SLAB AND REMOVE
02.03.19	SAWCUT OPENING IN EXISTING SLAB FOR TRENCHING
02.04.01	EXISTING MASONRY VENEER TO REMAIN
02.04.03	EXISTING MASONRY WALL TO REMAIN
02.04.04	EXISTING CMU WALL TO REMAIN
02.04.05	EXISTING COLUMN TO REMAIN
02.04.06	EXISTING CMU WALL ABOVE LINTEL TO REMAIN
02.04.11	REMOVE PORTION OF EXISTING CMU WALL
02.04.12	REMOVE PORTION OF EXISTING CMU WALL TO ACCOMMODATE NEW OPENING, SEE DOOR SCHEUDLE
02.04.14	REMOVE PORTION OF EXISTING MASONRY VENEER
02.04.15	REMOVE AND SALVAGE PORTION OF EXISTING MASONRY VENEER FOR REINSTALLATION
02.05.01	EXISTING STEEL STRUCTURE TO REMAIN
02.05.04	EXISTING K BAR JOIST TO REMAIN
02.05.05	EXISTING FIXED VERTICAL LADDER TO REMAIN
02.05.06	EXISTING METAL DECK ON BAR JOISTS
02.05.21	REMOVE STEEL STRUCTURE TO EXTENT SHOWN
02.07.04	EXISTING ROOF HATCH TO REMAIN
02.08.01	EXISTING DOOR AND FRAME TO REMAIN
02.08.05	EXISTING HOLLOW METAL FRAME TO REMAIN
02.08.06	EXISTING ACCESS PANEL TO REMAIN.
02.08.07	EXISTING GLASS METAL STOP TO REMAIN
02.08.08	EXISTING GLAZING TO REMAIN
02.08.09	EXISTING METAL PANEL TO REMAIN
02.08.10	REMOVE EXISTING DOOR, FRAME, AND THRESHOLD IN ITS ENTIRETY.
02.08.17	REMOVE DOOR LEAVES - SEE DOOR SCHEDULE FOR NEW DOOR TYPE
02.08.20	REMOVE EXISTING DOOR, FRAME, TRIM, AND HARDWARE IN ITS ENTIRETY.
02.08.26	REMOVE EXISTING ACCESS PANEL
02.09.03	EXISTING HARD CEILING TO REMAIN
02.09.04	EXISTING DROP CEILING TO REMAIN
02.09.06	EXISTING CMU BLOCKS MISSING FROM WALL
02.09.11	REMOVE VCT FLOORING TO EXTENT SHOWN
02.09.14	REMOVE TILE FLOORING TO EXTENT SHOWN
02.09.15	REMOVE EXISTING CERAMIC TILE FLOORING
02.09.25	DEMO PARTITION TO ACCOMMODATE NEW OPENING. SEE DOOR SCHEDULE.
02.09.27	REPAIR VERTICAL CRACKING IN CMU WALL
02.09.31	REMOVE EXISTING HARD CEILING
02.09.33	REMOVE EXISTING DROP CEILING SYSTEM
02.09.34	REMOVE EXISTING METAL LATH AND PLASTER CEILING
02.10.05	EXISTING LOCKERS TO REMAIN
02.10.10	REMOVE EXISTING TOILET PARTITION
02.10.11	REMOVE EXISTING URINAL PARTITION
02.10.12	REMOVE EXISTING GRAB BARS
02.10.13	REMOVE EXISTING LOCKER
02.10.22	REMOVE EXISTING PAPER TOWEL DISPENSER
02.10.30	REMOVE EXISTING TROPHY CASE
02.12.01	EXISTING BUILT-IN CABINET AND COUNTER TO REMAIN
02.12.11	REMOVE EXISTING QUARK BOARD
02.22.04	EXISTING DRINKING FOUNTAIN TO REMAIN
02.22.05	EXISTING PIPING TO REMAIN
02.22.06	EXISTING RAIN LEADER TO REMAIN
02.22.08	EXISTING FLOOR DRAIN TO REMAIN
02.22.11	REMOVE EXISTING TOILET
02.22.12	REMOVE EXISTING URINAL
02.22.13	REMOVE EXISTING LAVATORY
02.22.20	REMOVE EXISTING PIPING
02.23.01	EXISTING VENT TO REMAIN
02.23.03	EXISTING BASE HEATER TO REMAIN
02.23.04	EXISTING WALL HEATER HIGH ON WALL TO REMAIN
02.23.23	REMOVE EXISTING BASE HEATER
02.23.24	REMOVE EXISTING WALL HEATER HIGH ON WALL
02.23.27	REMOVE EXISTING LOUVER, REF: MECH. PREP FOR WALL INFILL.
02.23.28	REMOVE EXISTING DUCTWORK, REFERENCE MECH
02.26.01	SALVAGE LIGHT FIXTURE AND STORE FOR REUSE IN NEW WORK
02.26.04	EXISTING ELECTRICAL CONDUITS TO REMAIN
02.26.05	EXISTING LIGHT FIXTURE TO REMAIN
02.26.06	REMOVE EXISTING WALL MOUNTED LIGHT
02.26.10	REMOVE CEILING MOUNTED LIGHT FIXTURES, SEE ELECTRICAL.
02.26.11	REMOVE EXISTING POWER STRIP
02.26.12	REMOVE EXISTING ELECTRICAL CONDUIT
02.32.03	EXISTING CONCRETE SIDEWALK TO REMAIN
02.32.05	EXISTING ASPHALT PAVING TO REMAIN
02.32.06	EXISTING GRAVEL TO REMAIN
02.32.07	EXISTING ASPHALT RAMP TO REMAIN
02.32.08	EXISTING CURB TO REMAIN
02.32.09	EXISTING CURB CUT TO REMAIN
02.32.13	REMOVE EXISTING CONCRETE SIDEWALK
02.32.14	REMOVE EXISTING CURBING
02.32.15	REMOVE ASPHALT PAVING
02.32.16	REMOVE GRAVEL AS REQUIRED FOR NEW CONCRETE SLAB
03.05.01	VAPOR BARRIER
03.20.03	(3) #5 CONTINUOUS AT PERIMETER; 6x6 W1.4xW1.4 WWF IN 4" SLAB
03.30.21	CONCRETE SLAB-ON-GRADE
03.30.25	CONCRETE RAMP
03.30.26	CONCRETE STAIRS
03.30.28	NEW SLAB FOR LIFT WITH 4000 PSI CONCRETE (3-5" SLUMP)
03.40.01	CONCRETE INFILL FLOOR TO PATCH TRENCHING
03.40.08	SAW CUT EDGE OF EXISTING 7" SLAB
04.20.01	8" CMU BLOCK BY [401]
04.20.04	MASONRY INFILL, MATCH EXISTING, TOOTH INTO EXISTING MASONRY WALLS ON BOTH SIDES, TYP. BY [401]
04.20.05	FULLY GROUTED CELL BY [401]
04.20.06	BOND BEAM BY [401]
04.20.07	8" BOND BEAM AT TOP WITH (1) #5 CONTINUOUS, FULLY GROUTED BY [401]
04.20.08	MASONRY EXPANSION JOINT, TYP
04.20.44	#5 AT 48" OC MIN, IN FULLY GROUTED CELL. DOWEL MASONRY INTO SLAB BY [401]
04.20.45	#5 AT 32" OC MAX AT DOOR JAMBS AND CORNERS IN FULLY GROUTED CELL BY [401]
04.20.46	#5 X 2'-0" AT EACH VERTICAL REBAR. DRILL 3/4" DIA X 4" HOLE IN SLAB, FILL HOLE WITH EPOXY AND INSERT DOWEL BY [401]
04.20.47	#5 AT BRACKET LOCATION, FULL HEIGHT OF WALL. (2) CELLS AT EACH BRACKET, MIN BY [401]
04.20.49	L3.5x3.5x1/4 MASONRY ANGLE, BEAR 4" MIN EACH SIDE
05.12.01	L-BRACKET, REF. STRUCTURAL
05.12.14	BEAR 6" MIN EACH END ON MASONRY
05.12.15	L5x3-1/2x1/4x4" LLV AT 32" OC MAX WITH (2) #12 TEK SCREWS TO DECK
05.12.16	L6x4x5/16
05.12.17	L4x4x1/4
05.21.01	STRUCTURAL STEEL, STEEL JOIST. REF. STRUCTURAL
05.50.14	L3x3x1/4 LLV
05.51.09	WALL MOUNTED PIPE HANDRAIL BY [501]
05.51.12	GALVANIZED PIPE HANDRAIL BY [501]
05.51.13	GALVANIZED WALL MOUNTED PIPE HANDRAIL BY [501]
06.83.01	FIBERGLASS REINFORCED PANEL
07.13.01	SELF ADHERED MEMBRANE FLASHING
07.13.02	TERMINATION BAR
07.21.01	BATT INSULATION
07.92.01	BACKER ROD AND SEALANT, BOTH SIDES
07.92.02	CONTINUOUS EXTERIOR SEALANT
08.11.02	HOLLOW METAL DOOR
08.11.04	HOLLOW METAL FRAME
08.14.01	WOOD DOOR, SEE DOOR SCHEDULE
08.31.01	ACCESS DOOR/HATCH
08.90.01	LOUVER - REF MECH BY [231]
09.21.01	GYPSUM WALLBOARD (GB)
09.21.13	GYPSUM CEILING
09.21.14	SOUND ATTENUATION BLANKET
09.21.16	DOUBLE METAL STUD AT HEAD, TYP
09.21.20	PATCH AND REPAIR EXISTING GYPSUM CEILING, PREP FOR PAINT
09.21.21	7/8" METAL HAT CHANNEL AT 24" O.C. MIN
09.22.02	7/8" METAL HAT CHANNEL AT 24" O.C. MIN
09.51.01	ACOUSTICAL PANEL CEILING
09.65.01	VINYL COVE BASE, REFER TO FINISH PLANS
09.65.07	VCT FLOORING, REFER TO FINISH PLANS
09.65.08	INFILL VCT FLOORING TO PATCH
09.90.01	PAINT FINISH REFER TO FINISH PLANS
09.90.02	PAINTED
09.90.09	INTERIOR CAULKING, BOTH SIDES.
09.90.12	PAINT EXISTING CMU WALL.VERIFY FINAL COLORS WITH OWNER PRIOR TO PAINTING BY [907]
10.14.06	ADA PARKING SIGNAGE
10.14.07	ADA PARKING SYMBOL
10.26.01	CORNER GUARD
14.42.02	RATED LIFT DOOR BY MANUFACTURER, OWNER FURNISHED, GC INSTALLED
14.42.04	LIFT CONTROL BOX BY MANUFACTURER, OWNER FURNISHED - ELECTRICAL CONNECTION BY ELECTRICIAN
14.42.05	VERTICAL PLATFORM LIFT BY MANUFACTURER, OWNER FURNISHED, GC INSTALLED
22.00.01	WALL MOUNTED TOILET, REFER TO PLUMBING
22.00.03	WALL MOUNTED LAVATORY, REFER TO PLUMBING
23.00.01	MECHANICAL UNIT, REFER TO MECHANICAL BY [231]
23.31.01	DUCTWORK BY [231]
23.37.01	EXHAUST DIFFUSER, REFER TO MECHANICAL BY [231]
23.37.04	LOUVER W/BIRD SCREEN TYP BY [231]
23.37.05	ALUMINUM SILL BY [231]
26.50.01	LIGHT FIXTURE, REFER TO ELECTRICAL BY [261]
26.50.02	REINSTALL SALVAGED LIGHT FIXTURE BY [261]
32.00.20	FILL & REPAIR DISTURBED GROUND CONDITIONS AS REQUIRED FOR NEW FOOTINGS

SYMBOLS

MATERIALS (SECTION VIEWS)

- CONCRETE
- EARTH / COMPACT FILL
- RIGID INSULATION
- BRICK
- MASONRY BLOCK
- GYPSUM WALLBOARD
- BATT INSULATION
- ACOUSTICAL TILE
- GLAZED BRICK
- METAL LATHE & PLASTER
- METAL STUD PARTITION
- PLASTIC
- CARPET & PAD
- ROUGH LUMBER
- ALUMINUM
- STEEL
- CERAMIC TILE
- HARDWOOD
- MEDIUM DENSITY FIBERBOARD
- PLYWOOD

MATERIALS (ELEVATION VIEWS)

- BRICK (REFER TO DETAILS FOR ACCURATE COURSING LINES)
- CONCRETE
- EARTH - ELEVATION / DETAIL
- RIGID INSULATION
- GLASS
- SHEET METAL
- CERAMIC TILE
- CMU (REFER TO DETAILS FOR ACCURATE COURSING LINES)
- CRUSHED STONE / GRAVEL

GENERAL DRAWING ANNOTATIONS

1 LEVEL 1 PLAN - DEMOLITION
SCALE: 1/4" = 1'-0" 0 2' 4' 8'

VIEW TITLE: W/ SCALE & GRAPHIC SCALE

EXTERIOR ELEVATION VIEW: (1 / A-200) INDICATES VIEW NUMBER; INDICATES SHEET NUMBER

BUILDING SECTION VIEW: (1 / A-300) INDICATES VIEW NUMBER (KEY ON PLANS & ELEVATIONS); INDICATES SHEET NUMBER

WALL SECTION VIEW: (1 / A-310) INDICATES VIEW NUMBER (KEY ON PLANS & ELEVATIONS); INDICATES SHEET NUMBER

ENLARGED PLAN/DETAIL VIEW: (1 / A-400, TYP) DETAIL REFERENCE TYPE (IF APPLICABLE); DETAIL NUMBER; DETAIL REFERENCE SHEET

INTERIOR ELEVATION VIEW: (11, 12, 13, 14 / A-410) INDICATES VIEW NUMBER; INDICATES SHEET NUMBER

DETAIL SECTION VIEW: (1 / A-500, TYP)

KEYNOTE TAG -REFER TO KEYNOTE LEGEND
INDICATES RELATED INSTRUCTION -REFER TO KEYNOTE LEGEND

ALIGN — DENOTES ALIGNMENT OF INDICATED SURFACES

1 1/8" — DIMENSIONING LINE

(1) COLUMN GRID DESIGNATION; (A) COLUMN GRID CENTERLINES

LEVEL INDICATOR: 1ST FLOOR EL:100'-0" (105.00) — INDICATES CIVIL DATUM - REFER TO GENERAL NOTE #9; INDICATES BUILDING DATUM - REFER TO GENERAL NOTE #9

ROOM TAG: CLASSROOM 101A — INDICATES ROOM NAME; DENOTES ACCESSORY ROOM/AREA (WHERE PRESENT); DENOTES ROOM /AREA NUMBER; DENOTES FLOOR / LEVEL NUMBER

##/A-110A — MATCH LINE (FOR DIVIDED FLOOR PLAN VIEWS); REFERENCE FOR VIEW CONTINUATION

TRUE NORTH — **NORTH ARROW:** DENOTES PLAN/PROJECT NORTH

(1) REVISION ISSUE NUMBER; ITEMS WITHIN CLOUD HAVE BEEN REVISED

GENERAL NOTES

1. "N.I.C." IS NOTED ON ITEMS NOT IN THE CONTRACT. "BY OWNER" AND/OR "OTHERS" ARE NOTED ON ITEMS TO BE PROVIDED UNDER SEPARATE CONTRACT BY THE TENANT.

2. WHERE A TYPICAL CONDITION IS DETAILED AND/OR NOTED, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS SHALL BE THE SAME UNLESS SPECIFICALLY DETAILED OR NOTED OTHERWISE.

3. DO NOT SCALE DRAWINGS. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON DRAWINGS. THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT OF ANY DIMENSIONAL REQUIREMENT AS NECESSARY FOR THE PROPER EXECUTION OF ANY AFFECTED WORK PRIOR TO THE COMMENCEMENT OF SUCH WORK.

4. THE TERM "AFFECTED WORK" AS USED IN THESE GENERAL NOTES SHALL BE DEEMED TO BE ANY REQUIREMENT OF THE CONSTRUCTION DOCUMENTS AND SHALL BE FURTHER DEEMED TO INCLUDE THE PROCUREMENT OF ANY AND ALL MATERIALS, TOOLS, LABOR, ETC., AS FURTHER DESCRIBED IN THE SPECIFICATIONS, REQUIRED FOR THE EXECUTION OF SUCH WORK.

5. THE CONTRACTOR SHALL REPORT ANY DISCREPANCY WITHIN THE CONTRACT DOCUMENTS TO THE ARCHITECT FOR CLARIFICATION AND/OR RESOLUTION PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. SUCH CLARIFICATION AND/OR RESOLUTION SHALL BE PROVIDED BY THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK.

6. THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE, BUILDING, AND UTILITY CONDITIONS, AND SHALL REPORT ANY DISCREPANCIES BETWEEN SUCH EXISTING CONDITIONS AND THE REQUIREMENTS OF THE CONTRACT DOCUMENTS TO THE ARCHITECT FOR CLARIFICATION AND/OR RESOLUTION, PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. THE ARCHITECT SHALL PROVIDE SUCH CLARIFICATION AND/OR RESOLUTION PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK.

7. THE LOCATIONS OF ALL NEW PLUMBING FIXTURES, MECHANICAL EQUIPMENT, DUCTWORK, AND PIPING ARE TO BE CONSIDERED DIAGRAMMATIC UNLESS SPECIFICALLY NOTED AND/OR DIMENSIONED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION REQUIREMENTS FOR THE SAME, AND SHALL REPORT ANY CONFLICTS AFFECTING THE CONSTRUCTION DOCUMENTS TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. THE ARCHITECT SHALL PROVIDE CLARIFICATION AND/OR RESOLUTION REGARDING ANY SUCH CONFLICT PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY REQUIREMENTS FOR ALL OFFSETS, BENDS, ELBOWS, AND/OR OTHER COMPONENTS NOT DRAWN BUT NECESSARY FOR PROPER EXECUTION OF THE WORK, AND ALL SUCH MISCELLANEOUS COMPONENTS SHALL BE DEEMED TO BE PART OF THE SCOPE OF WORK REQUIRED BY THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL MANUFACTURERS' REQUIREMENTS FOR MECHANICAL EQUIPMENT RELATED TO POWER, WATER SUPPLY, DRAINAGE, PADS, BASES, ANCHORAGE, STRUCTURAL OPENINGS, ETC. PIPING AND DUCTS PENETRATING WALLS AND/OR FLOOR/CEILING ASSEMBLIES SHALL BE PROVIDED WITH ALL NECESSARY FRAMES, BRACING, FIRESAFING, AND ACOUSTICAL SEALANT AROUND SUCH OPENINGS. SEE MECHANICAL DRAWINGS AND SPECIFICATIONS.

8. NOMINAL DIMENSIONS FOR LUMBER AND WOOD TRIM ARE NOTED IN THE FOLLOWING FORMAT: 1 x 4, 5/4 x 4, 2 x 4, ETC. ACTUAL DIMENSIONS, WHERE REQUIRED, ARE NOTED AS 1" x 2" ETC.

9. VERTICAL DATUM: ARCHITECTURAL DRAWINGS REFERENCE THE MAIN FLOOR CLOSEST TO GROUND LEVEL AS 100'-0." ALL ARCHITECTURAL SPOT ELEVATIONS AS REFERENCED BY MARKER:

NAME OF LEVEL
100'-0" (###.##)

ARE RELATIVE TO THIS ARCHITECTURAL DATUM. THE NUMBER IN PARENTHESIS, WHERE USED, IS INTENDED TO CONVEY THE CIVIL DATUM IN DECIMAL FEET. REFER TO CIVIL DRAWINGS FOR BENCHMARK AND ACTUAL GRADE ELEVATIONS.

ABBREVIATIONS

@	AT
ACT	ACOUSTICAL CEILING TILE
AD	AREA DRAIN
ADJ	ADJUSTABLE
AFF	ABOVE FINISH FLOOR
ALUM	ALUMINUM
ANCH	ANCHOR
APPROX	APPROXIMATE(LY)
BD	BOARD
BFE	BOTTOM OF FOOTING ELEVATION
BIT	BITUMINOUS
BKSP	BACKSPLASH
BKT	BRACKET
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BM	BEAM
BOD	BOTTOM OF DECK
BSMT	BASEMENT
CAB	CABINET
CB	CHALKBOARD OR CATCH BASIN
CEM	CEMENT
CER/CT	CERAMIC/ CERAMIC TILE
CG	CORNER GUARD
CHP	CONCRETE HOUSEKEEPING PAD
CI	CONTINUOUS INSULATION
CIP	CAST IN PLACE
CJ	CONTROL JOINT
CL	CENTERLINE
CLG	CEILING
CLKG	CAULKING
CLOS	CLOSET
CLR	CLEAR(ANCE)
CMU	CONCRETE MASONRY UNIT
CO	CLEAR OPENING
COL	COLUMN
CONC	CONCRETE (PORTLAND CEMENT)
COND	CONDITION
CONST	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACTOR
CORR	CORRIDOR
CR	COLD ROLLED
CTOP	COUNTERTOP
CU	CUBIC, COPPER
CUH	CABINET UNIT HEATER
"	DITTO (REPEAT)
DA	DOUBLE ACTING
DAFS	DIRECT APPLIED FINISH SYSTEM
DEMO	DEMOLISH, DEMOLITION
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DO	DOOR OPENING
DR	DOOR
DS	DOWNSPOUT
DSP	DISPENSER
DW	DISHWASHER
DWG(S)	DRAWING(S)
EA	EACH
ED	EDUCATION
EDSP	END SPLASH
EF	EXHAUST FAN
EIFS	EXTERIOR INSULATED FINISH SYSTEM
EJ	EXPANSION JOINT
EL	ELEVATION (GRADE)
ELEC	ELECTRIC(AL)
ELEV	ELEVATION (FACADE)
EOD	EDGE OF DECK
EP	ELECTRIC PANEL
EPDM	ETHYLENE PROPYLENE DIENE MONOMER
EQ	EQUAL
EQP, EQUIP	EQUIPMENT
ES	EACH SIDE
ETR	EXISTING TO REMAIN
EXIST	EXISTING
EXP	EXPOSED
EXT	EXTERIOR
EXTIN	EXTINGUISHER
FB	FLAT BAR
FC	FIRE CODE
FCP	FIBER CEMENT PANEL
FD	FLOOR DRAIN
FDC	FIRE DEPARTMENT CONNECTION
FDV	FIRE DEPARTMENT VALVE
FDVC	FIRE DEPARTMENT VALVE CABINET
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FACTORY FINISH
FFE	FINISH FLOOR ELEVATION
FH	FLAT HEAD
FHC	FIRE HOSE CABINET
FIN	FINISH
FL	FLOOR, FLOORING
FLASH	FLASHING
FLUOR	FLUORESCENT
FO	FRAMED OPENING
FOS	FACE OF STEEL / STUD
FP	FIREPROOF(ING)
FR	FIRE RESISTANT
FS	FIRE SHIELD
FSZ	FULL SIZE
FT	FEET, FOOT
FTR	FIN TUBE RADIATOR
FUR	FURRING
GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GFCMU	GROUND FACED CMU
GL	GLASS
GMU	GLAZED MASONRY UNIT
GR	GRADE
GSU	GLAZED STRUCTURAL UNIT
GWB	GYPSUM WALL BOARD
GYP	GYPSUM
HC	HANDICAP(PED)
HD	HEAD, HIGH DENSITY
HDR	HEADER
HDWD	HARDWOOD
HDWR	HARDWARE
HGT	HEIGHT
HM	HOLLOW METAL
HORZ	HORIZONTAL
HP	HIGH POINT
HR	HOUR
HT	HEIGHT
HVAC	HEATING, VENTILATION & AIR CONDITIONING
ID	INSIDE DIAMETER
IN	INCH OR INCHES
IN2	SQUARE INCH
IN3	CUBIC INCHES
INCAN	INCANDESCENT
INFIL	INFILTRATION
INSUL	INSULATION
INT	INTERIOR
INV	INVERT
JAN	JANITOR
JB	JUNCTION BOX
JST	JOIST
JT	JOINT
LAM	LAMINATE(D)
LBS / #	POUNDS
LCC	LEAD COATED COPPER
LDP	LAMINATED DRYWALL PARTITION
LGMF	LIGHT GAUGE METAL FRAMING
LGTH	LENGTH
LIWT	LIGHT WEIGHT
LOW	LIMIT OF WORK
LP	LOW POINT
LTG	LIGHTING
LVR	LOUVER
MACH	MACHINE
MAS	MASONRY
MAT	MATERIAL
MAX	MAXIMUM
MB	MARKER BOARD
MD	METAL DOOR
MECH	MECHANICAL
MEMBR	MEMBRANE
MFGR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MMC	MISC METAL CONTRACTOR
MO	MASONRY OPENING
MT	METAL THRESHOLD
MTD	MOUNTED
MTL	METAL
NAT	NATURAL
NC	NONCORROSIVE
NIC	NOT IN CONTRACT
NO / #	NUMBER
NOM	NOMINAL
OA	OVERALL
OC	ON CENTER
OD	OUTSIDE DIAMETER
OH	OPPOSITE HAND
OPER	OPERATE
OPNG	OPENING
OVHD	OVERHEAD
OZ	OUNCES
PARTN	PARTITION
PC	PRECAST CONCRETE
PERIM	PERIMETER
PERP	PERPENDICULAR (TO)
PL	PLATE
PL	PLASTIC LAMINATE
PL	PLATE
PLAS	PLASTER
PLUMB	PLUMBING
PLWD	PLYWOOD
PNL	PANEL
POL	POLISHED
PR	PAIR
PT	PRESSURE TREATED
PT	PAINT(ED)
QT	QUARRY TILE
QTY	QUANTITY
R	RISER
R=	RADIUS
RAD ENCL	RADIATOR ENCLOSURE
RB	RESILIENT BASE
RD	ROOF DRAIN
REF	REFRIGERATOR
REINF	REINFORCING
REQD	REQUIRED
RESIL	RESILIENT
RET	RETAINING
RJ	RELIEVING JOINT
RM	ROOM
RO	ROUGH OPENING
RWL	RAIN WATER LEADER
S, STR	STRUCTURAL
SAM	SELF ADHERED MEMBRANE
SC	SCUPPER
SCHED	SCHEDULE
SCN	SCREEN
SD	STORM DRAIN
SECT	SECTION
SH	SHELF, SHELVING, SINGLE-HUNG
SHT	SHEET
SIGS	SILICON IMPREGNATED GYPSUM SHEATHING
SIM	SIMILAR
SIP	STRUCTURAL INSULATED PANEL
SLID	SLIDING
SMV	SMOKE-VENTING HATCH
SPEC	SPECIFICATIONS
SPF	SPECIFIED
SPK	SPEAKER
SPR	SPRINKLER
SQ	SQUARE FEET
SS	STAINLESS STEEL
ST	STREET
STD	STANDARD
STIFF	STIFFENER
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL
SUSP	SUSPENDED
SY	SQUARE YARD
T	TREAD
T&G	TONGUE & GROOVE
TB	TACK BOARD
TBLE	TABLE
TC	TERRA COTTA
TD	TRENCH DRAIN
TEL	TELEPHONE
TERR	TERRAZZO
TG	TEMPERED GLASS
THK	THICKNESS
THRESH	THRESHOLD
TLT	TOILET
TO	TOP OF
TOB	TOP OF BLOCKING
TOC	TOP OF CONCRETE
TOF	TOP OF FOOTING
TOM	TOP OF MASONRY
TOP	TOP OF PARAPET
TOR	TOP OF RAIL
TOS	TOP OF STEEL
TOW	TOP OF WALL
TWR	TOWER
TYP	TYPICAL
UC	UNDERCUT
UL	UNDERWRITERS LABORATORY
UNO / UON	UNLESS NOTED OTHERWISE / UNLESS OTHERWISE NOTED
UPR	UPPER
UV	UNIT VENTILATOR, ULTRAVIOLET
V	VOLT(AGE)
VC	VINYL CLAD
VCT	VINYL COMPOSITE TILE
VENT	VENTILATOR
VERT	VERTICAL
VEST	VESTIBULE
VIF	VERIFY IN FIELD
VP	VENT PIPE
VS	VINYL SHEET
VT	VINYL TILE
VWC	VINYL WALL COVERING
W	WIDE, WIDE FLANGE
W/	WITH
W/O, WO	WITHOUT
WB	WHITE BOARD (MARKER BOARD)
WBO	WORK BY OTHERS
WBOR	WORK BY OWNER
WC	WATER CLOSET
WD	WOOD
WD	WINDOW DIMENSION
WG	WIRE GLASS, WALL GUARD
WH	WALL-HUNG
WI	WROUGHT IRON
WIND	WINDOW
WO	WINDOW OPENING
WP	WATERPROOFING
WT	WEIGHT
WWF	WELDED WIRE FABRIC
WWM	WELDED WIRE MESH
x	INDICATES "TIMES" OR "BY"
YD	YARD
Z	Z STUD (STRUCTURAL SHAPE)

FILED SUB-BID LEGEND:

[###]	FILED SUB-BID CATEGORY - SPECIFICATION REFERENCE
[401]	MASONRY WORK - REFER TO SPEC SECTION 04 0001
[501]	MISC. METALS AND ORNAMENTAL IRON - REFER TO SPEC SECTION 05 0001
[231]	HVAC - REFER TO SPEC SECTION 23 0001
[261]	ELECTRICAL - REFER TO SPEC SECTION 26 0001

NOTE:
ALL OTHER WORK NOT INCLUDED IN FILED SUB BIDDERS SCOPE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR

MASTER KEYNOTE LEGEND

NUMBER	DESCRIPTION
32.12.01	8' X 18' ADA PARKING STRIPING
32.12.02	9' X 18' ADA VAN ACCESSIBLE PARKING SPACE
32.12.04	ASPHALT PAVING
32.13.01	CONCRETE PAVING
32.13.12	1/2" EXPANSION JOINT
32.13.13	CONCRETE PAVING CONTROL JOINTS EQUALLY SPACED
32.15.01	GRAVEL INFILL
32.16.01	ACCESSIBLE CURB CUT
32.16.02	CONCRETE CURB
32.17.13	CONCRETE WHEEL STOP

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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS		
Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO: 2430.03
DATE: 07/01/26
SCALE: 1 1/2" = 1'-0"
DRAWN BY: AR
CHECKED BY: MB/TP

SYMBOLS, ABBREVIATIONS & GENERAL NOTES

G-002

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FIRE SAFETY LEGEND

REFER TO FIRE SAFETY PLANS, FLOOR PLANS AND DRAWING G-020 (EDIT PER PROJECT) PARTITION TYPES FOR FIRE-RESISTANCE RATED PARTITION LOCATIONS AND DETAILS.

000 / 000 = 000 OCCUPANTS
- ROOM OCCUPANT LOAD AREA IN SQ. FT.
- OCCUPANT LOAD FACTOR

000 / 000 — EXIT CAPACITY (INCHES) / ACTUAL LOAD

00 — DIRECTION OF TRAVEL WITH ACCUMULATED OCCUPANT LOAD

H.E. — HORIZONTAL EXIT

000' — MAXIMUM TRAVEL DISTANCE FROM FURTHEST POINT

A.R. — AREA OF REFUGE

NON-ACCESSIBLE EXIT

FEC — FIRE EXTINGUISHER CABINET

FE — BRACKET MOUNTED FIRE EXTINGUISHER

FIRE RATING DESIGNATIONS

1P 1P 1P — 1 HOUR FIRE PARTITION

BUILDING CODE SUMMARY

REFERENCED CODES
THE BUILDING SHALL COMPLY AND/OR CONFORM TO THE FOLLOWING CONSTRUCTION CODES, SUPPLEMENTS, STANDARDS GUIDELINES, AND ALL STANDARDS REFERENCED THEREIN:

- 780 CMR MASSACHUSETTS STATE BUILDING CODE, 10TH EDITION
- 2021 INTERNATIONAL BUILDING CODE (IBC) WITH AMENDMENTS
- 2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) WITH AMENDMENTS
- 2021 INTERNATIONAL MECHANICAL CODE (IMC)
- 248 CMR 10.00 MASSACHUSETTS FUEL GAS AND PLUMBING CODE
- 521 CMR MASSACHUSETTS ARCHITECTURAL ACCESS BOARD RULES AND REGULATIONS
- 524 CMR BOARD OF ELEVATOR REGULATIONS
- 527 CMR 1.00 MASSACHUSETTS COMPREHENSIVE FIRE SAFETY CODE (2021 NFPA 1 FIRE CODE)
- 527 CMR 12.00 MASSACHUSETTS ELECTRICAL CODE (2023 NATIONAL ELECTRIC CODE NFPA-70 WITH AMENDMENTS)
- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
- 2021 MASSACHUSETTS OPT-IN STRETCH CODE (IECC) WITH AMENDMENTS: 225 CMR CHAPTER 23
- 2021 MASSACHUSETTS OPT-IN SPECIALIZED CODE (IECC) WITH AMENDMENTS: 225 CMR CHAPTER 23 + APPENDIX CC

PROJECT SUMMARY
THE PROJECT CONSISTS OF ACCESSIBILITY RENOVATIONS TO THE BURNCOAT HIGH SCHOOL.

BUILDING USE AND OCCUPANCY USE CLASSIFICATION:

EXISTING: GROUP E
PROPOSED: GROUP E

IEBC COMPLIANCE METHOD
- NO CHANGE OF OCCUPANCY
- REQUIREMENTS FOR LEVEL 1 ALTERATIONSSHALL APPLY IN THE WORK AREA.
- EXISTING FIRE ALARM SYSTEM TO BE MODIFIED AND RECONFIGURED BASED ON REQUIREMENTS FOR EXISTING OCCUPANCY.

CONSTRUCTION TYPE: TYPE IIB

AREA BY USE (SQUARE FEET):		
E:	EDUCATIONAL	57,048 SF
TOTAL GROSS AREA:		57,048 SF

FIRE RESISTANCE RATED CONSTRUCTION	
STRUCTURAL FRAME, INCLUDING COLUMNS, GIRDERS, TRUSSES	0 HR
STRUCTURAL FRAME SUPPORTING ROOF ONLY:	0 HR
BEARING WALLS, EXTERIOR:	0 HR
BEARING WALLS, EXTERIOR SUPPORTING ROOF ONLY:	0 HR
BEARING WALLS, INTERIOR:	0 HR
BEARING WALLS, INTERIOR SUPPORTING ROOF ONLY:	0 HR
NON-BEARING WALLS AND PARTITIONS, EXTERIOR:	0 HR
NON-BEARING WALLS AND PARTITIONS, INTERIOR:	0 HR
FLOOR CONSTRUCTION, INCLUDING SUPPORTING BEAMS & JOISTS:	0 HR
ROOF CONSTRUCTION, INCLUDING SUPPORTING BEAMS & JOISTS:	0 HR
CORRIDORS:	0 HR
ELEVATOR HOISTWAY:	0 HR
ELEVATOR MACHINE ROOM:	0 HR
EXIT ENCLOSURES:	0 HR
CONTROL AREAS:	0 HR

OCCUPANT LOAD FACTORS BY AREA TYPE:	
ASSEMBLY CONCENTRATED:	7 NET
ASSEMBLY UNCONCENTRATED:	15 NET
EDUCATIONAL CLASSROOM AREAS:	20 NET
EDUCATIONAL SHOPS/VOCATIONAL RM.:	50 NET
EXERCISE ROOMS:	50 GROSS
COMMERCIAL KITCHENS:	200 GROSS
LIBRARY READING ROOMS:	50 NET
LIBRARY STACK AREAS:	100 GROSS
LOCKER ROOMS:	50 GROSS

EGRESS OCCUPANT LOAD/FLOOR:
GROUND FLOOR 1,355
FIRST FLOOR 1,545

EXIT CAPACITY/FLOOR:	MIN. REQUIRED:	PROVIDED:
GROUND FLOOR	4	7
FIRST FLOOR	4	15

MAXIMUM ALLOWABLE COMMON PATH OF TRAVEL W/O SPRINKLER SYSTEM: (ONE EXIT OR EXIT ACCESS DOORWAY)

OCCUPANCY:	MAX. OCC. LOAD:	TRAVEL DISTANCE:
A/E/M:	49	75

MAXIMUM ALLOWABLE EXIT ACCESS TRAVEL DISTANCE W/ SPRINKLER SYSTEM

OCCUPANCY:	TRAVEL DISTANCE:
A/E/F-1/M/R/S-1	250

MAXIMUM DEAD-END CORRIDORS W/ SPRINKLER SYSTEM:

OCCUPANCY:	MAX. OCC. LOAD:
A:	20
B/E/F/I-1/M/R-1/R-2/S:	50

EGRESS WIDTH (NON-SPRINKLERED):
STAIRS: 0.3 INCHES/OCCUPANT
OTHER EGRESS COMPONENTS: 0.2 INCHES/OCCUPANT

MINIMUM INTERIOR FINISH CLASS (NON-SPRINKLERED):

OCCUPANCY	EXITS	CORRIDORS	ROOMS
A-1/A-2:	A	A	B
E:	A	B	C

ENERGY CONSERVATION:
CLIMATE ZONE: 5A

PRESCRIPTIVE BUILDING ENVELOPE REQUIREMENTS - IECC TABLE C402.1.3:

OPAQUE COMPONENT	R-VALUE (MIN.)
ROOFS, INSULATION ENTIRELY ABOVE DECK:	R-30 CI
ROOFS, METAL BUILDING:	R-19 + R-11 LS
ROOFS, ATTIC & OTHER	R-49
WALLS, MASS:	R-11.4 CI
WALLS, METAL BUILDING:	R-13 + R-14 CI
WALLS, METAL FRAMED:	R-13 + R-10 CI
WALLS, WOOD FRAMED & OTHER:	R-13 + R-7.5 CI OR R-20 + R-3.8 CI
WALLS, BELOW GRADE:	R-7.5 CI
FLOORS, MASS:	R-14.6 CI
FLOORS, JOIST/FRAMING	R-30
SLABS, UNHEATED:	R-15 FOR 24" BELOW
SLABS, HEATED:	R-15 FOR 36" BELOW + R-5 FULL SLAB
DOORS, OPAQUE, NON-SWING:	U-0.31
DOORS, OPAQUE, SWINGING:	U-0.37
DOORS, OPAQUE GARAGE:	U-0.31

BUILDING ENVELOPE AND FENESTRATION MAX REQUIREMENTS - IECC 2021 TABLE C402.4 :

FENESTRATION TYPE	U-FACTOR	SOLAR HEAT GAIN COEFFICIENT (SHGC) PF < 0.2	PF = 0.2-0.5	PF=> 0.5
ENTRANCE DOORS	0.63	0.33	0.40	0.53

PLUMBING FIXTURES PER OCCUPANT*:

CLASSIFICATION:	EDUCATIONAL/ KINDERGARTEN THROUGH SECONDARY							
OCCUPANTS:	519 FEMALE, 479 MALE, 2 NON-BINARY							
TOILETS				URINALS	LAVATORIES			
FEMALE		MALE		MALE	FEMALE		MALE	
1-25 UP TO 100. OVER 100 ADD 1 FOR EVERY 50.				UP TO 50%	1 PER 25			
REQ.	PROVIDED	REQ.	PROVIDED	PROVIDED	REQ.	PROVIDED	REQ.	PROVIDED
13	17	13	10	15	21	18	21	11
DRINKING WATER STATIONS:				ONE FOR EACH SET OF TOILET ROOMS				
OTHER FIXTURES:				ONE MOP SINK PER FLOOR				

CLASSIFICATION:	EDUCATIONAL/ STAFF							
OCCUPANTS:	76 STAFF MEMBERS							
TOILETS				URINALS	LAVATORIES			
FEMALE		MALE		MALE	FEMALE		MALE	
1 PER 20		1 PER 25		UP TO 33%	1 PER 20			
REQ.	PROVIDED	REQ.	PROVIDED	PROVIDED	REQ.	PROVIDED	REQ.	PROVIDED
3	9	2	10	1	3	9	3	10
OTHER FIXTURES:				ONE MOP SINK PER FLOOR				

CLASSIFICATION:	ASSEMBLY/ GYMNASIUMS WITH SPECTATOR SEATING							
OCCUPANTS:	796							
TOILETS				URINALS	LAVATORIES			
FEMALE		MALE		MALE	FEMALE		MALE	
1-50 UP TO 200, 1-100 FROM 201-2000. 1 FOR EACH ADD '1 200 OVER 2000.		1-100 UP TO 200, 1-100 FROM 201-2000. 1 FOR EACH ADD '1 400 OVER 2000.		UP TO 67%	1 PER 75			
REQ.	PROVIDED	REQ.	PROVIDED	PROVIDED	REQ.	PROVIDED	REQ.	PROVIDED
5	2	5	2	1	6	2	6	2
DRINKING WATER STATIONS:				ONE FOR EACH SET OF TOILET ROOMS				
OTHER FIXTURES:				ONE MOP SINK PER FLOOR				
BATHTUBS OR SHOWERS:				ONE PER MEN'S ROOM, ONE PER FEMALE ROOM				

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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS		
Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO:	2430.03
DATE:	07/01/26
SCALE:	12" = 1'-0"
DRAWN BY:	JW
CHECKED BY:	MB/TP

BUILDING CODE SUMMARY & FIRE SAFETY PLAN

G-010

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GENERAL NOTES - PARTITIONS

1. INTERIOR METAL FRAMING CONTRACTOR TO SELECT METAL STUD GAGE FOR STUD DEPTH INDICATED BY PARTITION TYPE AS REQUIRED FOR SPAN WITH 5 PSF UNIFORM LOAD AND MAXIMUM 1/240 DEFLECTION. SUBMIT MANUFACTURER'S DATA FOR REVIEW AND APPROVAL.

2. PROVIDE DEFLECTION TRACK AT HEAD OF ALL FULL HEIGHT PARTITIONS. REFER TO TYPICAL DETAILS ON THIS SHEET.

3. PROVIDE BRACING AS REQUIRED BY STUD MANUFACTURER FOR NON- COMPOSITE ASSEMBLIES AT PARTITIONS WHERE GYPSUM WALL BOARD DOES NOT EXTEND TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE.

4. PROVIDE 5/8" MOISTURE RESISTANT GYPSUM WALL BOARD AT ALL BATHROOM WALLS AND OTHER WET AREAS.

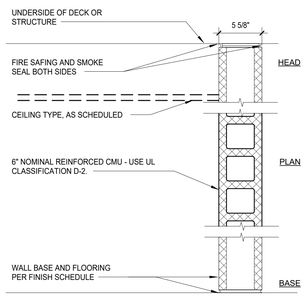
5. PROVIDE DOUBLE 20 GAGE METAL STUD FRAMING AT ALL DOOR JAMB LOCATIONS.

6. PROVIDE ACOUSTIC SEALANT AT PERIMETER OF ALL FULL HEIGHT ACOUSTIC PARTITIONS.

7. REFER TO TYPICAL DETAILS THIS SHEET FOR FIRE RESISTANT JOINT REQUIREMENTS AT HEAD OF WALL FOR FIRE RESISTANT RATED PARTITIONS.

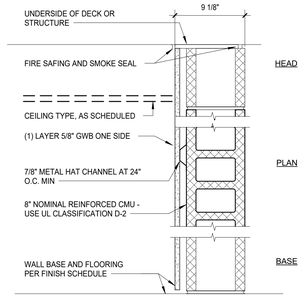
8. PROVIDE THROUGH PENETRATION FIRESTOP SYSTEMS AS REQUIRED FOR WALL CONSTRUCTION AND TYPE OF PENETRATION. REFER TO TYPICAL DETAILS ON FIRESTOP SYSTEMS SHEET.

9. REFER TO STRUCTURAL DRAWINGS FOR REINFORCING REQUIREMENTS AT CONCRETE MASONRY WALLS.



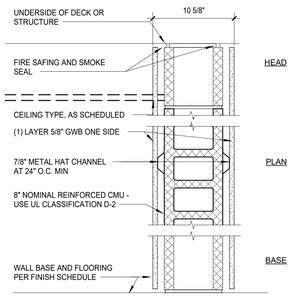
M5 | 5 5/8" | CONCRETE MASONRY WALL | 1 HR. | STC= N/A

REFER TO STRUCTURAL DRAWINGS FOR REINFORCING REQUIREMENTS



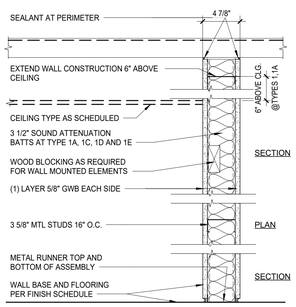
M2 | 9 1/8" | FURRED MASONRY WALL ASSEMBLY | 0 HR. | STC= N/A

REFER TO STRUCTURAL DRAWINGS FOR REINFORCING REQUIREMENTS

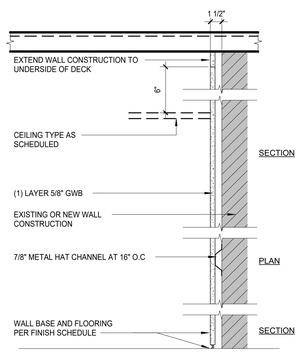


M3 | 10 5/8" | FIRE RESISTANCE RATED ACOUSTIC PARTITION | 1 HR. | STC= N/A

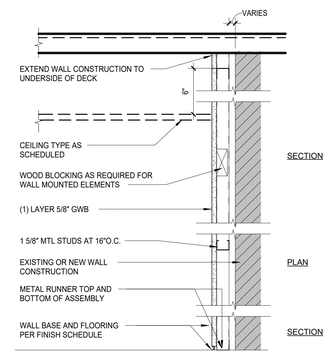
REFER TO STRUCTURAL DRAWINGS FOR REINFORCING REQUIREMENTS



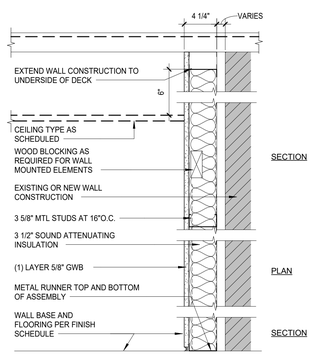
1A | 4 7/8" | ACOUSTIC PARTITION | STC= N/A



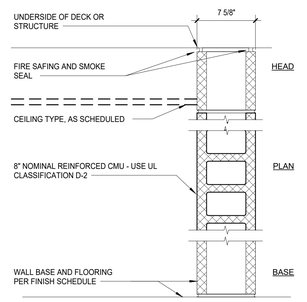
F1 | 1 1/2" | ACOUSTIC PARTITION | 0 HR. | STC= N/A



F2 | 2 1/4" | ACOUSTIC PARTITION | 0 HR. | STC= N/A



F4 | 4 1/4" | FURRED WALL | 0 HR. | STC= N/A



M1 | 7 5/8" | CONCRETE MASONRY WALL | 1 HR. | STC= N/A

REFER TO STRUCTURAL DRAWINGS FOR REINFORCING REQUIREMENTS

1 **PARTITION TYPES & FIRESTOP SYSTEMS**

SCALE: 1 1/2" = 1'-0"

0 1" 2'

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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

170 BURNCOAT STREET
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REVISIONS		
Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO:	2430.03
DATE:	07/01/26
SCALE:	As indicated
DRAWN BY:	JW
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PARTITION TYPES

G-020

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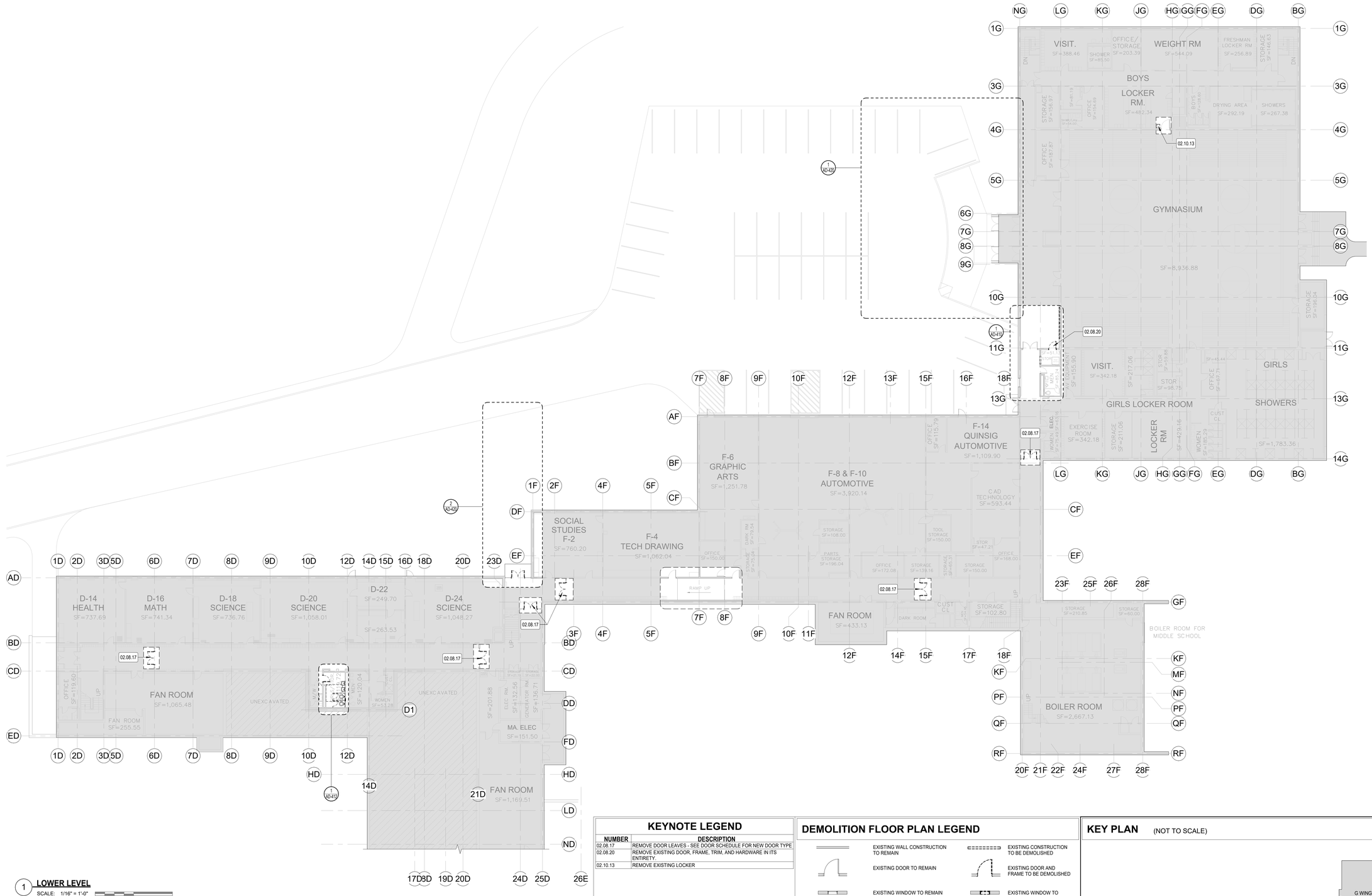


1 **LOWER LEVEL**
SCALE: 1/16" = 1'-0"
0 8' 16' 32'

SELECTIVE DEMOLITION GENERAL NOTES

1. EXISTING TO REMAIN: PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING SELECTIVE DEMOLITION.
2. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN THE OWNER'S PROPERTY. DEMOLISHED MATERIALS SHALL BECOME THE CONTRACTORS PROPERTY AND SHALL BE REMOVED LEGALLY FROM THE SITE WITH FURTHER DISPOSITION AT THE CONTRACTOR'S OPTION.
3. IF UNANTICIPATED EXISTING BUILDING ELEMENTS THAT CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE THE NATURE AND EXTENT OF THE CONFLICT. PROMPTLY SUBMIT A WRITTEN REPORT TO THE ARCHITECT.
4. MAINTAIN EXISTING UTILITIES THAT ARE TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS.
5. UTILITY REQUIREMENTS: COORDINATE WITH MECHANICAL AND ELECTRICAL WORK FOR SHUTTING OFF, DISCONNECTING, REMOVING, SEALING OR CAPPING UTILITY SERVICES. DO NOT START SELECTIVE DEMOLITION WORK UNTIL UTILITY DISCONNECTION AND SEALING HAVE BEEN COMPLETED AND VERIFIED IN WRITING.
6. COORDINATE WITH ELECTRICAL SUB-CONTRACTOR WITH RESPECT TO ELECTRICAL DEMOLITION AND DE-ENERGIZING OF PARTICULAR PORTIONS OF THE BUILDING.
7. DRAIN, PURGE, OR OTHERWISE REMOVE, COLLECT AND DISPOSE OF ALL LIQUIDS (WITH THE EXCEPTION OF WASTE OIL AND RESIDUAL SLUDGE WHICH MAY BE PRESENT IN EXISTING MECHANICAL PIPING), AND REFUSE, BEFORE PROCEEDING WITH SELECTIVE DEMOLITION OPERATIONS.
8. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO EXISTING BUILDING COMPONENTS AND FACILITIES SET TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND SELECTIVE DEMOLITION AREAS.
9. ERECT TEMPORARY PROTECTION, SUCH AS WALKWAYS, FENCES, RAILINGS, CANOPIES, AND COVERED PASSAGEWAYS, WHERE REQUIRED.
10. ALL DEMOLITION ACTIVITIES WILL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL ENVIRONMENTAL REGULATIONS, INCLUDING BUT NOT LIMITED TO MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION (MADEP) REGULATIONS FOR SOLID WASTE MANAGEMENT, HAZARDOUS WASTE MANAGEMENT, AND AIR QUALITY CONTROL, OSHA, AND MASS. STATE BUILDING CODE.
11. NEATLY SAW-CUT OPENINGS AND HOLES PLUMB, SQUARE, AND TRUE TO DIMENSIONS REQUIRED. USE CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION-TO-REMAIN OR ADJOINING CONSTRUCTION. TO MINIMIZE DISTURBANCE OF ADJACENT SURFACES, USE HAND OR SMALL POWER TOOLS DESIGNED FOR SAWING OR GRINDING, NOT HAMMERING AND CHOPPING. TEMPORARILY COVER OPENINGS TO REMAIN.
12. DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. AT CONCEALED SPACES, SUCH AS DUCT AND PIPE INTERIORS, VERIFY CONDITION AND CONTENTS OF HIDDEN SPACE BEFORE STATING FLAME CUTTING OPERATIONS. MAINTAIN PORTABLE FIRE SUPPRESSION DEVICES DURING FLAME CUTTING OPERATIONS.
13. LOCATE SELECTIVE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
14. SWEEP THE BUILDING BROOM CLEAN ON A DAILY BASIS AND AT THE COMPLETION OF SELECTIVE DEMOLITION OPERATION.

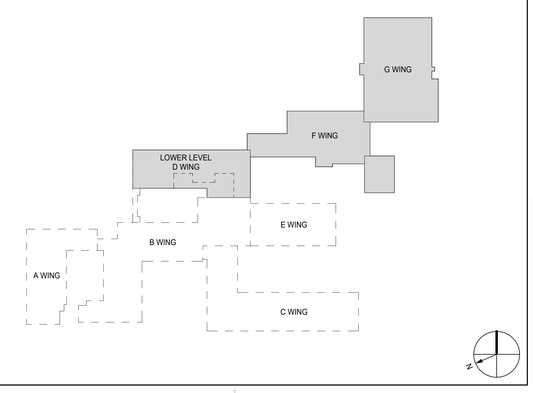
KEYNOTE LEGEND

NUMBER	DESCRIPTION
02.08.17	REMOVE DOOR LEAVES - SEE DOOR SCHEDULE FOR NEW DOOR TYPE
02.08.20	REMOVE EXISTING DOOR, FRAME, TRIM, AND HARDWARE IN ITS ENTIRETY.
02.10.13	REMOVE EXISTING LOCKER

DEMOLITION FLOOR PLAN LEGEND

- EXISTING WALL CONSTRUCTION TO REMAIN
- EXISTING DOOR TO REMAIN
- EXISTING WINDOW TO REMAIN
- LIMIT OF WORK
- EXISTING TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- EXISTING DOOR AND FRAME TO BE DEMOLISHED
- EXISTING WINDOW TO BE DEMOLISHED

KEY PLAN (NOT TO SCALE)



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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS		
Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO:	2430.03
DATE:	07/01/26
SCALE:	As indicated
DRAWN BY:	AR
CHECKED BY:	MB/TP

LOWER LEVEL FLOOR PLAN - DEMOLITION

AD-100

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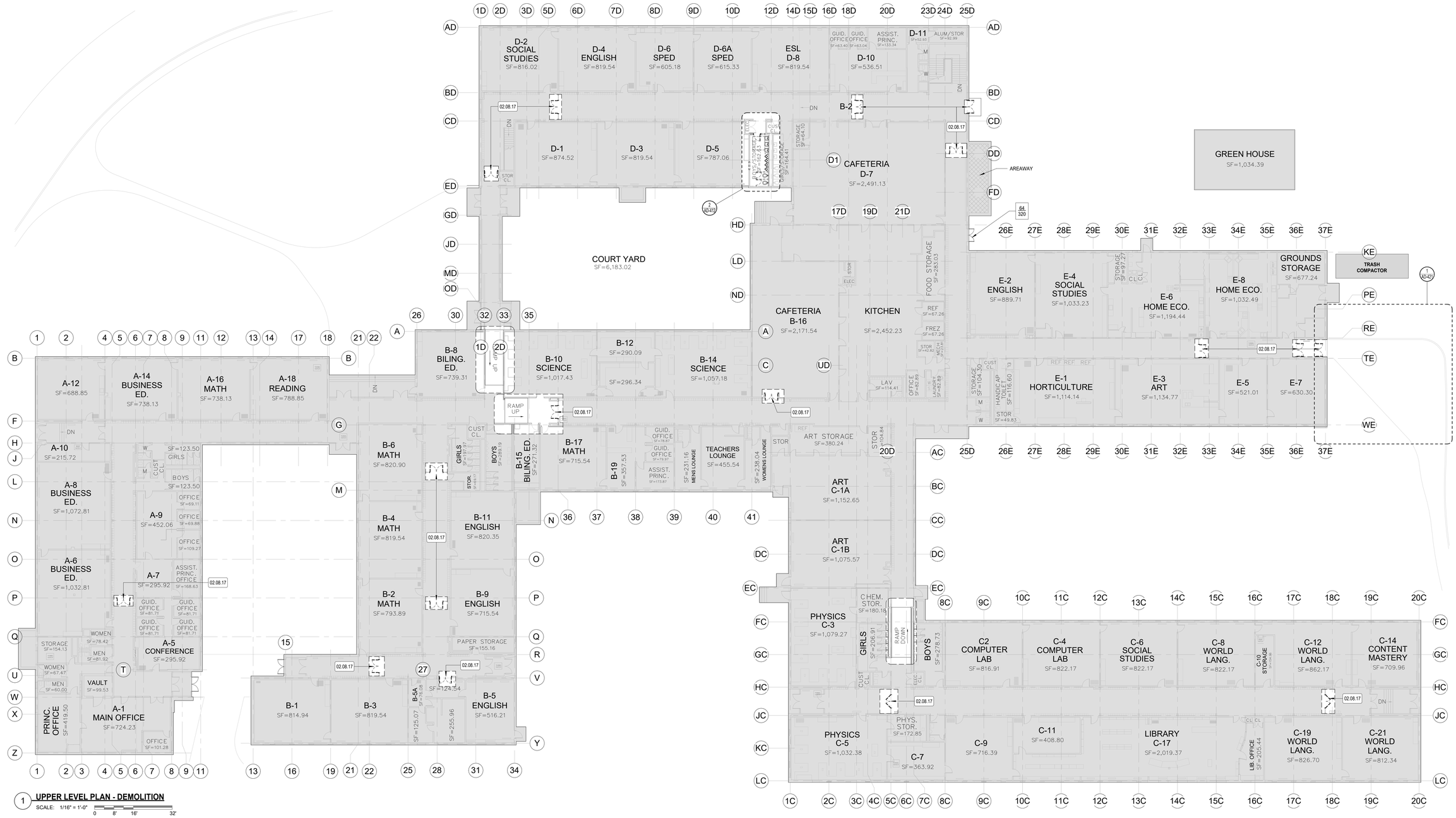


1 **UPPER LEVEL PLAN - DEMOLITION**

SCALE: 1/16" = 1'-0" 0 8' 16' 32'

SELECTIVE DEMOLITION GENERAL NOTES

1. EXISTING TO REMAIN. PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING SELECTIVE DEMOLITION.
2. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN THE OWNER'S PROPERTY, DEMOLISHED MATERIALS SHALL BECOME THE CONTRACTORS PROPERTY AND SHALL BE REMOVED LEGALLY FROM THE SITE WITH FURTHER DISPOSITION AT THE CONTRACTOR'S OPTION.
3. IF UNANTICIPATED EXISTING BUILDING ELEMENTS THAT CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE THE NATURE AND EXTENT OF THE CONFLICT. PROMPTLY SUBMIT A WRITTEN REPORT TO THE ARCHITECT.
4. MAINTAIN EXISTING UTILITIES THAT ARE TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS.
5. UTILITY REQUIREMENTS: COORDINATE WITH MECHANICAL AND ELECTRICAL WORK FOR SHUTTING OFF, DISCONNECTING, REMOVING, SEALING OR CAPPING UTILITY SERVICES. DO NOT START SELECTIVE DEMOLITION WORK UNTIL UTILITY DISCONNECTION AND SEALING HAVE BEEN COMPLETED AND VERIFIED IN WRITING.
6. COORDINATE WITH ELECTRICAL SUB-CONTRACTOR WITH RESPECT TO ELECTRICAL DEMOLITION AND DE-ENERGIZING OF PARTICULAR PORTIONS OF THE BUILDING.
7. DRAIN, PURGE, OR OTHERWISE REMOVE, COLLECT AND DISPOSE OF ALL LIQUIDS (WITH THE EXCEPTION OF WASTE OIL AND RESIDUAL SLUDGE WHICH MAY BE PRESENT IN EXISTING MECHANICAL PIPING), AND REFUSE, BEFORE PROCEEDING WITH SELECTIVE DEMOLITION OPERATIONS.
8. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO EXISTING BUILDING COMPONENTS AND FACILITIES SET TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND SELECTIVE DEMOLITION AREAS.
9. ERECT TEMPORARY PROTECTION, SUCH AS WALKWAYS, FENCES, RAILINGS, CANOPIES, AND COVERED PASSAGEWAYS, WHERE REQUIRED.
10. ALL DEMOLITION ACTIVITIES WILL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL ENVIRONMENTAL REGULATIONS, INCLUDING BUT NOT LIMITED TO MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION (MADEP) REGULATIONS FOR SOLID WASTE MANAGEMENT, HAZARDOUS WASTE MANAGEMENT, AND AIR QUALITY CONTROL, OSHA, AND MASS. STATE BUILDING CODE.
11. NEATLY SAW-CUT OPENINGS AND HOLES PLUMB, SQUARE, AND TRUE TO DIMENSIONS REQUIRED. USE CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION-TO-REMAIN OR ADJOINING CONSTRUCTION. TO MINIMIZE DISTURBANCE OF ADJACENT SURFACES, USE HAND OR SMALL POWER TOOLS DESIGNED FOR SAWING OR GRINDING, NOT HAMMERING AND CHOPPING. TEMPORARILY COVER OPENINGS TO REMAIN.
12. DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. AT CONCEALED SPACES, SUCH AS DUCT AND PIPE INTERIORS, VERIFY CONDITION AND CONTENTS OF HIDDEN SPACE BEFORE STATING FLAME CUTTING OPERATIONS. MAINTAIN PORTABLE FIRE SUPPRESSION DEVICES DURING FLAME CUTTING OPERATIONS.
13. LOCATE SELECTIVE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
14. SWEEP THE BUILDING BROOM CLEAN ON A DAILY BASIS AND AT THE COMPLETION OF SELECTIVE DEMOLITION OPERATION.

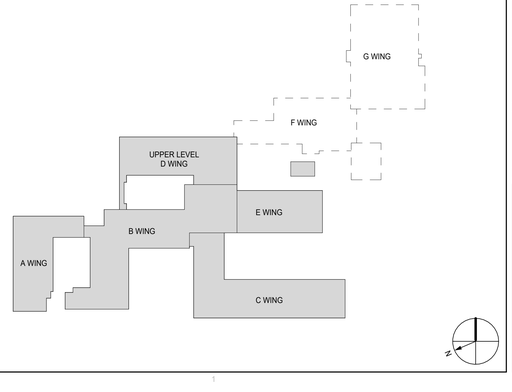
KEYNOTE LEGEND

NUMBER	DESCRIPTION
02.08.17	REMOVE DOOR LEAVES - SEE DOOR SCHEDULE FOR NEW DOOR TYPE

DEMOLITION FLOOR PLAN LEGEND

- EXISTING WALL CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR AND FRAME TO BE DEMOLISHED
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE DEMOLISHED
- LIMIT OF WORK
- EXISTING TO REMAIN

KEY PLAN (NOT TO SCALE)



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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

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REVISIONS		
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PROJECT NO: 2430.03
DATE: 07/01/26
SCALE: As indicated
DRAWN BY: AR
CHECKED BY: MB/TP

UPPER LEVEL FLOOR PLAN - DEMOLITION

AD-110

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KEYNOTE LEGEND

NUMBER	DESCRIPTION
02.03.19	SAWCUT OPENING IN EXISTING SLAB FOR TRENCHING
02.04.12	REMOVE PORTION OF EXISTING CMU WALL TO ACCOMMODATE NEW OPENING, SEE DOOR SCHEUDLE
02.04.14	REMOVE PORTION OF EXISTING MASONRY VENEER
02.04.15	REMOVE AND SALVAGE PORTION OF EXISTING MASONRY VENEER FOR REINSTALLATION
02.05.04	EXISTING K BAR JOIST TO REMAIN
02.05.05	EXISTING FIXED VERTICAL LADDER TO REMAIN
02.07.04	EXISTING ROOF HATCH TO REMAIN
02.08.20	REMOVE EXISTING DOOR, FRAME, TRIM, AND HARDWARE IN ITS ENTIRETY.
02.08.26	REMOVE EXISTING ACCESS PANEL
02.09.04	EXISTING DROP CEILING TO REMAIN
02.09.11	REMOVE VCT FLOORING TO EXTENT SHOWN
02.09.31	REMOVE EXISTING HARD CEILING
02.09.33	REMOVE EXISTING DROP CEILING SYSTEM
02.10.30	REMOVE EXISTING TROPHY CASE
02.22.05	EXISTING PIPING TO REMAIN
02.22.06	EXISTING RAIN LEADER TO REMAIN
02.22.08	EXISTING FLOOR DRAIN TO REMAIN
02.23.01	EXISTING VENT TO REMAIN
02.26.01	SALVAGE LIGHT FIXTURE AND STORE FOR REUSE IN NEW WORK
02.26.04	EXISTING ELECTRICAL CONDUITS TO REMAIN
02.26.05	EXISTING LIGHT FIXTURE TO REMAIN

DEMOLITION FLOOR PLAN LEGEND

- EXISTING WALL CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR AND FRAME TO BE DEMOLISHED
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE DEMOLISHED
- LIMIT OF WORK
- EXISTING TO REMAIN

CEILING PLAN DEMOLITION LEGEND

ACT-1 — CEILING MATERIAL
EL. X'-XX" — CEILING HEIGHT AFF

EXISTING
EXISTING HARD CEILING - TO REMAIN

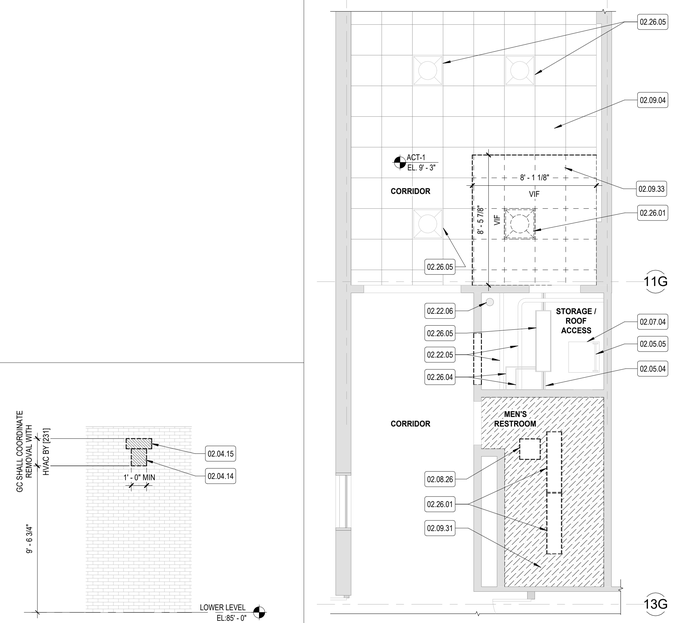
DEMO
HARD CEILING TO BE REMOVED

EXISTING
EXISTING 2'X2' ACOUSTICAL CEILING TILE - TO REMAIN

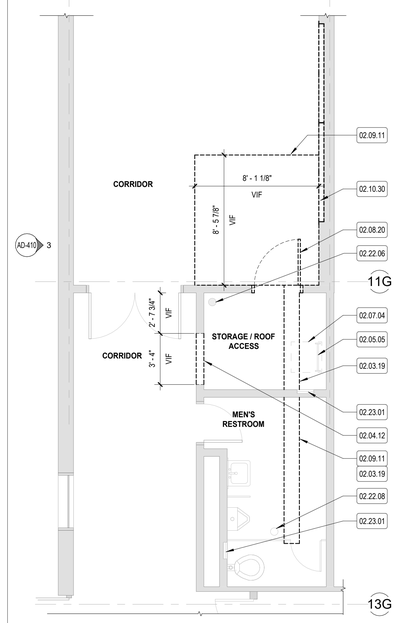
DEMO
2'X2' ACOUSTICAL PANEL & GRID TO BE REMOVED

LIGHT FIXTURE TYPES

DEMO	EXISTING	
		1 X 4 LIGHT FIXTURE



2 **G WING CORRIDOR CEILING PLAN - DEMOLITION**
SCALE: 1/4" = 1'-0"



1 **G WING CORRIDOR PLAN - DEMOLITION**
SCALE: 1/4" = 1'-0"

3 **EXTERIOR LOUVER ELEVATION - DEMOLITION**
SCALE: 1/4" = 1'-0"

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ENLARGED PLANS & ELEVATIONS - DEMOLITION

AD-410

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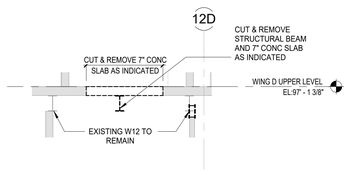
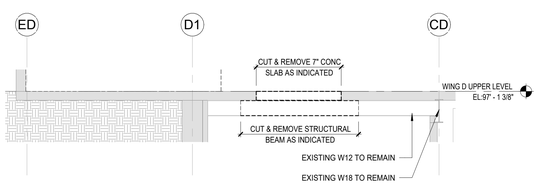
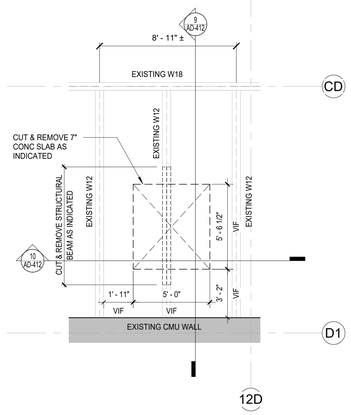


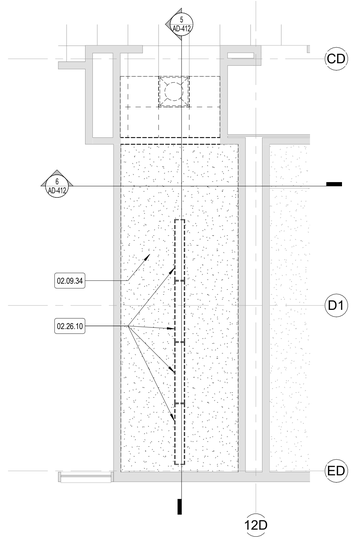
10 **STRUCTURAL SHORT SECTION - DEMOLITION**
SCALE: 1/4" = 1'-0"



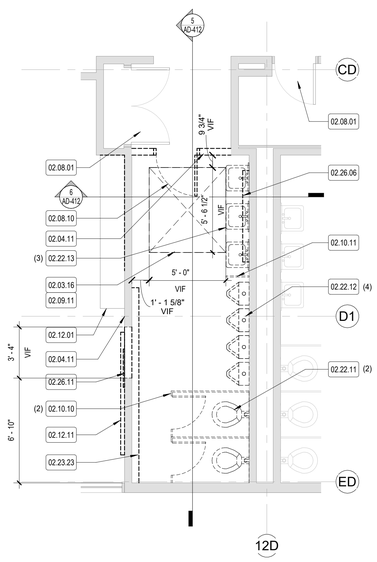
9 **STRUCTURAL LONG SECTION - DEMOLITION**
SCALE: 1/4" = 1'-0"



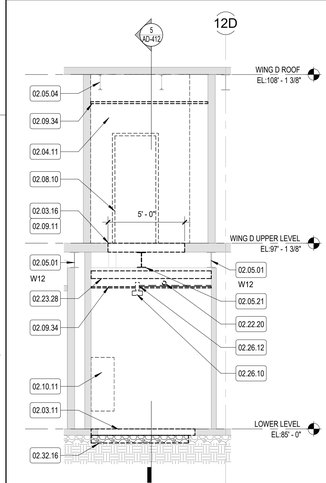
8 **LIFT LOWER LEVEL STRUCTURAL PLAN - DEMOLITION**
SCALE: 1/4" = 1'-0"



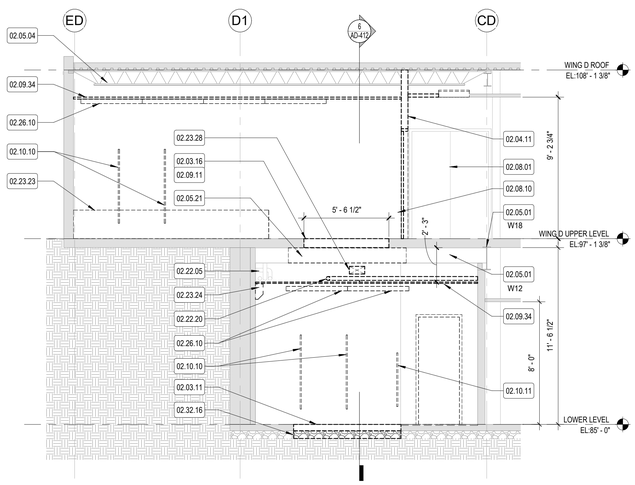
4 **LIFT UPPER LEVEL CEILING PLAN - DEMOLITION**
SCALE: 1/4" = 1'-0"



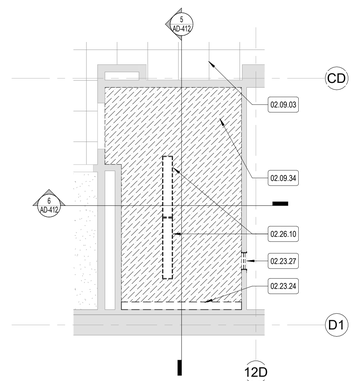
2 **LIFT UPPER LEVEL FLOOR PLAN - DEMOLITION**
SCALE: 1/4" = 1'-0"



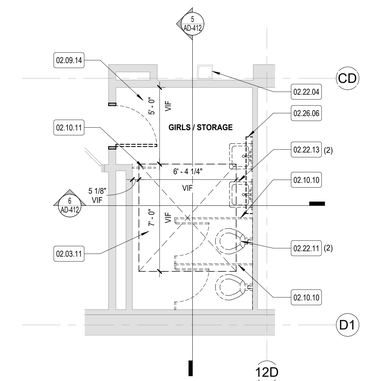
6 **LIFT SHORT SECTION - DEMOLITION**
SCALE: 1/4" = 1'-0"



5 **LIFT LONG SECTION - DEMOLITION**
SCALE: 1/4" = 1'-0"



3 **LIFT LOWER LEVEL CEILING PLAN - DEMOLITION**
SCALE: 1/4" = 1'-0"



1 **LIFT LOWER LEVEL FLOOR PLAN - DEMOLITION**
SCALE: 1/4" = 1'-0"

KEYNOTE LEGEND

NUMBER	DESCRIPTION
02.03.11	LIMIT OF SLAB ON GRADE REMOVAL FOR NEW LIFT PIT
02.03.16	SAWCUT OPENING IN EXISTING 7" SLAB AND REMOVE
02.04.11	REMOVE PORTION OF EXISTING CMU WALL
02.05.01	EXISTING STEEL STRUCTURE TO REMAIN
02.05.04	EXISTING K BAR JOIST TO REMAIN
02.05.21	REMOVE STEEL STRUCTURE TO EXTENT SHOWN
02.08.01	EXISTING DOOR AND FRAME TO REMAIN
02.08.10	REMOVE EXISTING DOOR, FRAME, AND THRESHOLD IN ITS ENTIRETY.
02.09.03	EXISTING HARD CEILING TO REMAIN
02.09.11	REMOVE VCT FLOORING TO EXTENT SHOWN
02.09.14	REMOVE TILE FLOORING TO EXTENT SHOWN
02.09.34	REMOVE EXISTING METAL LATH AND PLASTER CEILING
02.10.10	REMOVE EXISTING TOILET PARTITION
02.10.11	REMOVE EXISTING URINAL PARTITION
02.12.01	EXISTING BUILT-IN CABINET AND COUNTER TO REMAIN
02.12.11	REMOVE EXISTING QUARK BOARD
02.22.04	EXISTING DRINKING FOUNTAIN TO REMAIN
02.22.05	EXISTING PIPING TO REMAIN
02.22.11	REMOVE EXISTING TOILET
02.22.12	REMOVE EXISTING URINAL
02.22.13	REMOVE EXISTING LAVATORY
02.22.20	REMOVE EXISTING PIPING
02.23.23	REMOVE EXISTING BASE HEATER
02.23.24	REMOVE EXISTING WALL HEATER HIGH ON WALL
02.23.27	REMOVE EXISTING LOUVER, REF: MECH. PREP FOR WALL INFILL.
02.23.28	REMOVE EXISTING DUCTWORK, REFERENCE MECH
02.26.06	REMOVE EXISTING WALL MOUNTED LIGHT
02.26.10	REMOVE CEILING MOUNTED LIGHT FIXTURES, SEE ELECTRICAL.
02.26.11	REMOVE EXISTING POWER STRIP
02.26.12	REMOVE EXISTING ELECTRICAL CONDUIT
02.32.16	REMOVE GRAVEL AS REQUIRED FOR NEW CONCRETE SLAB

DEMOLITION FLOOR PLAN LEGEND

- EXISTING WALL CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR AND FRAME TO BE DEMOLISHED
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE DEMOLISHED
- LIMIT OF WORK
- EXISTING TO REMAIN

CEILING PLAN DEMOLITION LEGEND

ACT-1
EL. X'-XX"

EXISTING
EXISTING 2'X4' ACOUSTICAL CEILING TILE - TO REMAIN

EXISTING
EXISTING 2'X2' ACOUSTICAL CEILING TILE - TO REMAIN

DEMO
2'X2' ACOUSTICAL PANEL & GRID TO BE REMOVED

EXISTING
HARD CEILING TO REMAIN

DEMO
HARD CEILING TO BE REMOVED

EXP — EXISTING
UNPAINTED EXPOSED STRUCTURE ABOVE

PTD - EXP — EXISTING
PTD EXPOSED STRUCTURE ABOVE

LIGHT FIXTURE TYPES

DEMO	EXISTING	
		1 X 4 LIGHT FIXTURE

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ENLARGED LIFT PLANS & ELEVATIONS - DEMOLITION

AD-412

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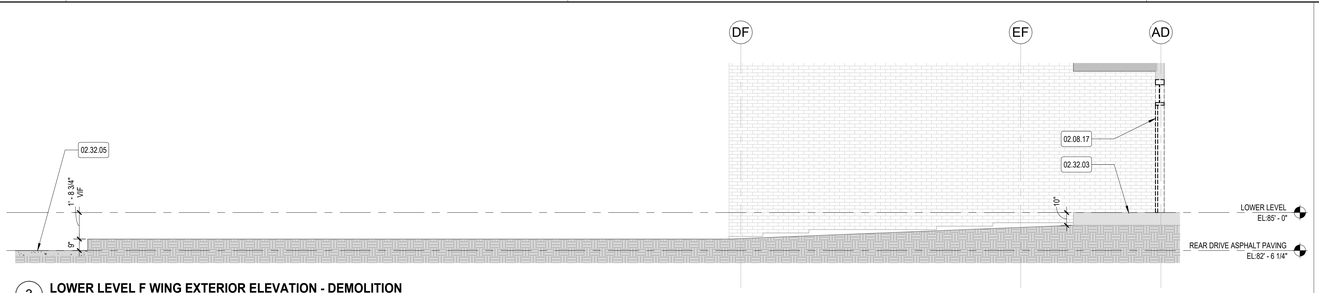
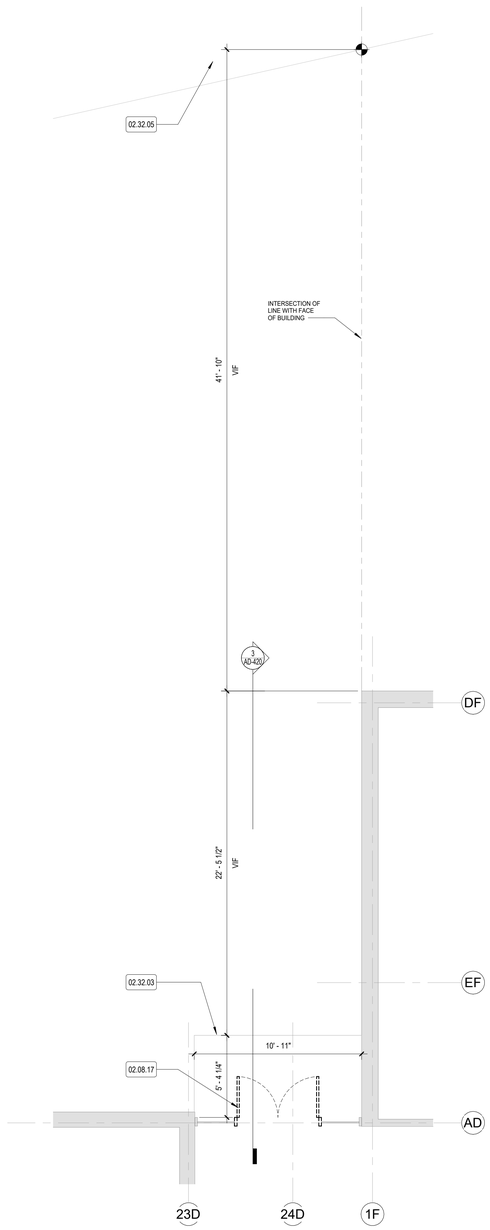


3 **LOWER LEVEL F WING EXTERIOR ELEVATION - DEMOLITION**

SCALE: 1/4" = 1'-0"

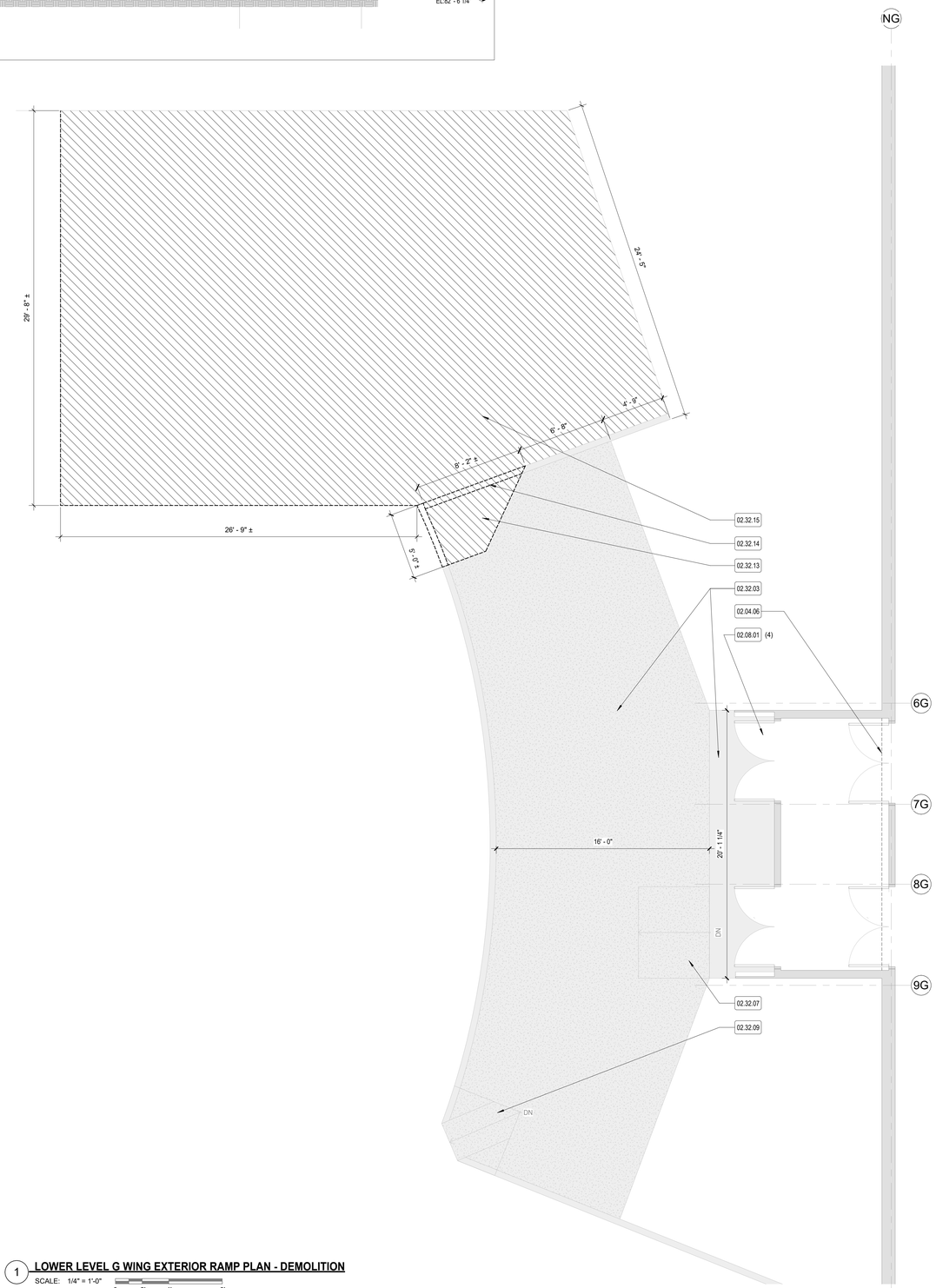
0 2' 4' 8'



2 **LOWER LEVEL F WING EXTERIOR RAMP PLAN - DEMOLITION**

SCALE: 1/4" = 1'-0"

0 2' 4' 8'



1 **LOWER LEVEL G WING EXTERIOR RAMP PLAN - DEMOLITION**

SCALE: 1/4" = 1'-0"

0 2' 4' 8'

KEYNOTE LEGEND

NUMBER	DESCRIPTION
02.04.06	EXISTING CMU WALL ABOVE LINTEL TO REMAIN
02.08.01	EXISTING DOOR AND FRAME TO REMAIN
02.08.17	REMOVE DOOR LEAVES - SEE DOOR SCHEDULE FOR NEW DOOR TYPE
02.32.03	EXISTING CONCRETE SIDEWALK TO REMAIN
02.32.05	EXISTING ASPHALT PAVING TO REMAIN
02.32.07	EXISTING ASPHALT RAMP TO REMAIN
02.32.09	EXISTING CURB CUT TO REMAIN
02.32.13	REMOVE EXISTING CONCRETE SIDEWALK
02.32.14	REMOVE EXISTING CURBING
02.32.15	REMOVE ASPHALT PAVING

DEMOLITION FLOOR PLAN LEGEND

- EXISTING WALL CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR AND FRAME TO BE DEMOLISHED
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE DEMOLISHED
- LIMIT OF WORK
- EXISTING TO REMAIN

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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

170 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS		
Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO: 2430.03
DATE: 07/01/26
SCALE: As indicated
DRAWN BY: JG
CHECKED BY: MB/TP

EXTERIOR RAMP PLANS & ELEVATIONS - DEMOLITION

AD-420

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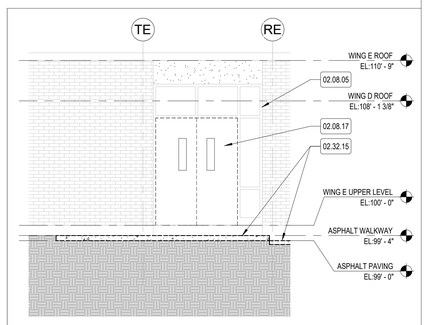
KEYNOTE LEGEND

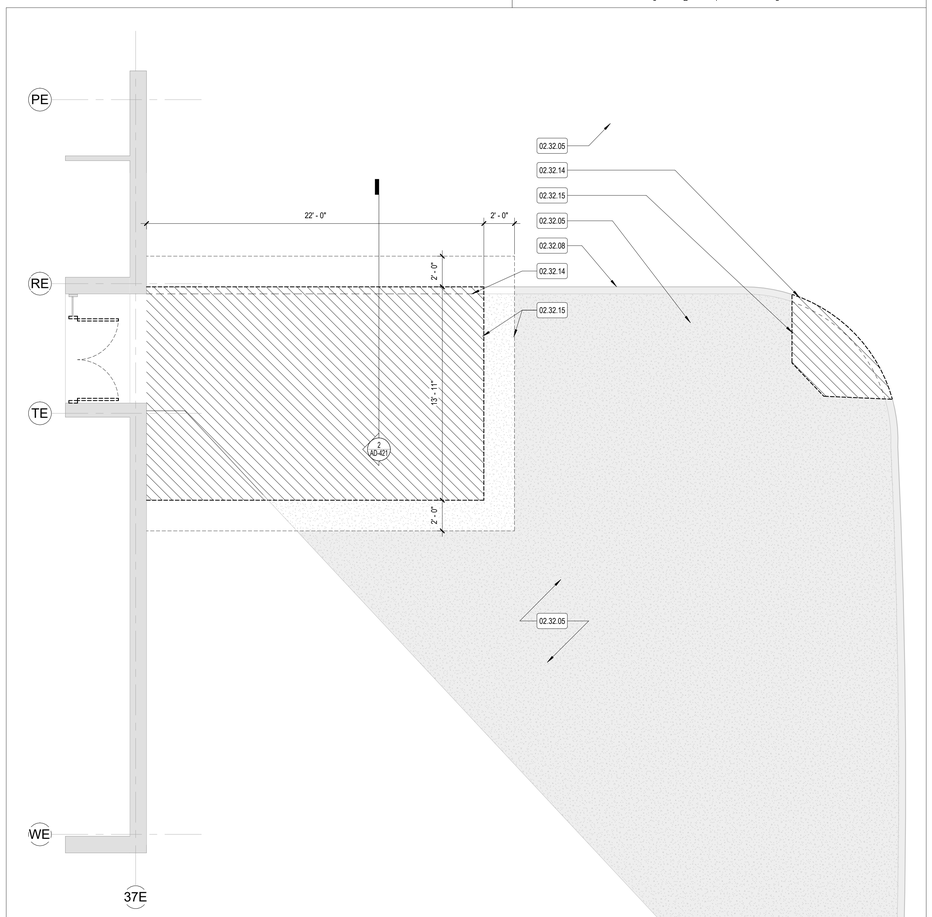
NUMBER	DESCRIPTION
02.08.05	EXISTING HOLLOW METAL FRAME TO REMAIN
02.08.17	REMOVE DOOR LEAVES - SEE DOOR SCHEDULE FOR NEW DOOR TYPE
02.32.05	EXISTING ASPHALT PAVING TO REMAIN
02.32.08	EXISTING CURB TO REMAIN
02.32.14	REMOVE EXISTING CURBING
02.32.15	REMOVE ASPHALT PAVING



2 **UPPER LEVEL EXTERIOR NORTH ELEVATION - DEMOLITION**

SCALE: 1/4" = 1'-0"

0 2' 4' 8'



1 **UPPER LEVEL E WING EXTERIOR PLAN - DEMOLITION**

SCALE: 1/4" = 1'-0"

0 2' 4' 8'

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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS		
Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO:	2430.03
DATE:	07/01/26
SCALE:	1/4" = 1'-0"
DRAWN BY:	JG
CHECKED BY:	MB/TP

EXTERIOR RAMP PLANS & ELEVATIONS - DEMOLITION

AD-421

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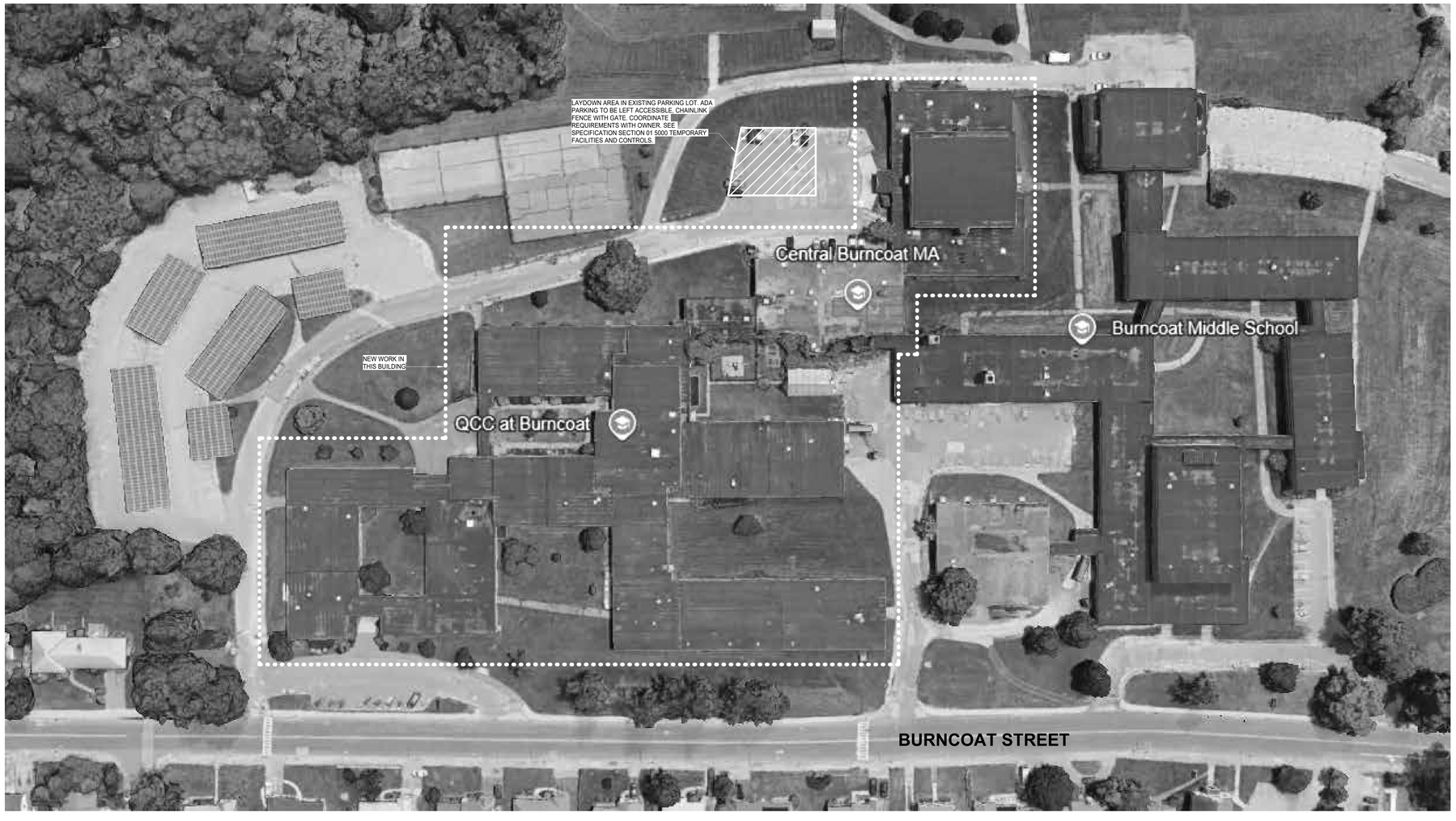

1 **ARCHITECTURAL SITE PLAN**
SCALE: NOT TO SCALE

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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS

Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO:	2430.03
DATE:	07/01/26
SCALE:	3" = 1'-0"
DRAWN BY:	AR
CHECKED BY:	MB/TP

ARCHITECTURAL SITE PLAN

A-001

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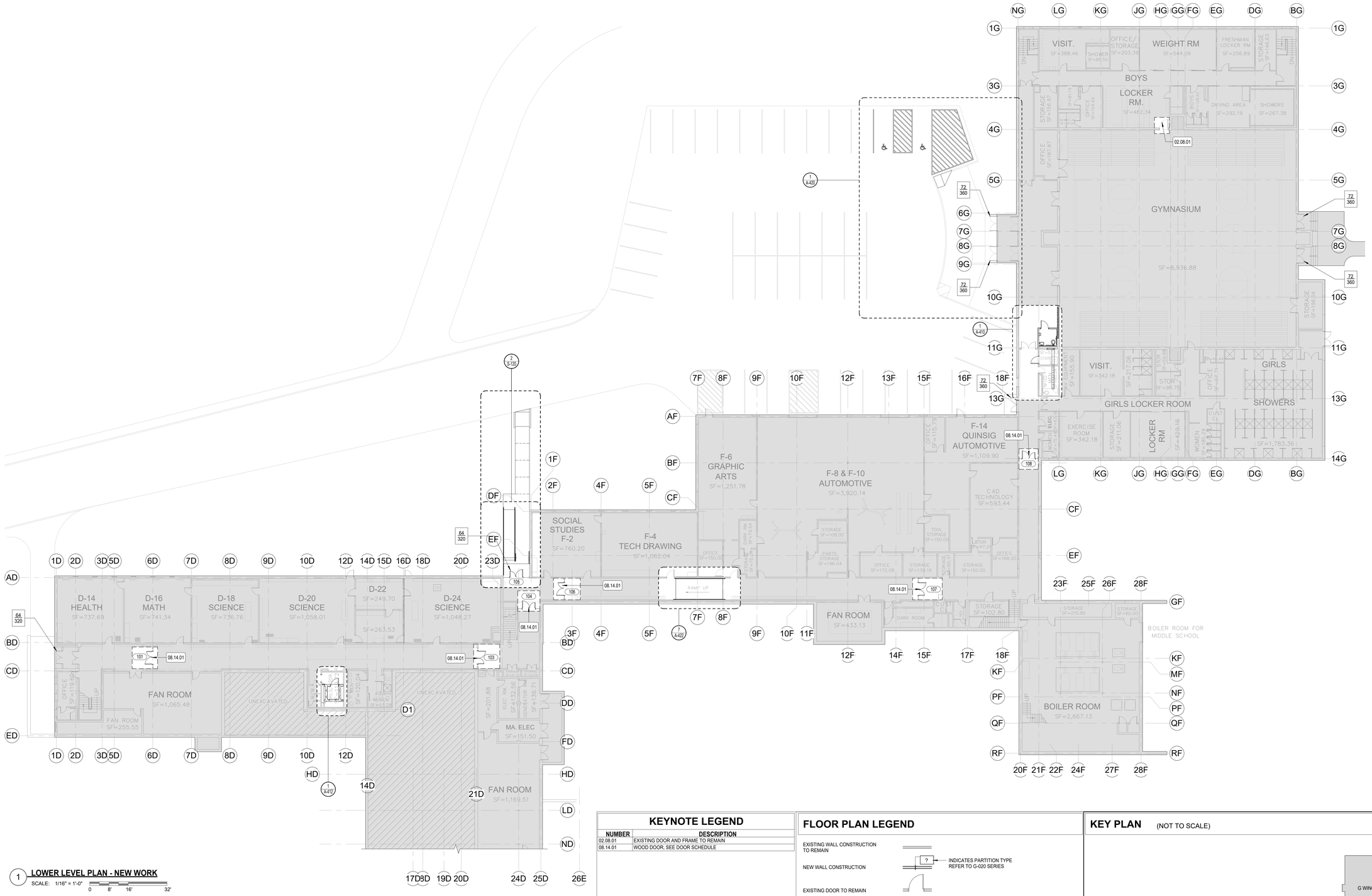


1 LOWER LEVEL PLAN - NEW WORK

SCALE: 1/16" = 1'-0"

0 8' 16' 32'

KEYNOTE LEGEND

NUMBER	DESCRIPTION
02.08.01	EXISTING DOOR AND FRAME TO REMAIN
08.14.01	WOOD DOOR, SEE DOOR SCHEDULE

FIRE SAFETY LEGEND

000 / 000 — EXIT CAPACITY (INCHES) / ACTUAL LOAD

FLOOR PLAN LEGEND

EXISTING WALL CONSTRUCTION TO REMAIN

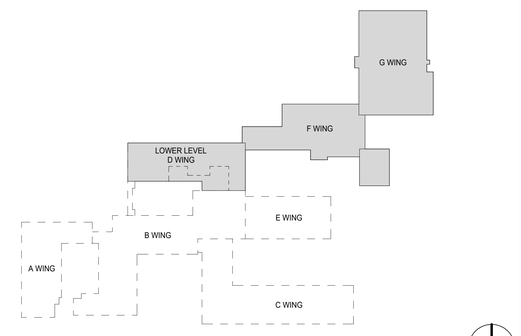
NEW WALL CONSTRUCTION — ? — INDICATES PARTITION TYPE REFER TO G-020 SERIES

EXISTING DOOR TO REMAIN

NEW DOOR — ? — **DOOR NUMBER:** REFER TO A-601 SERIES DOOR SCHEDULE AND FRAME/PANEL TYPES

SPOT ELEVATION — 100'-0"

KEY PLAN (NOT TO SCALE)



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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

170 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS

Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO: 2430.03
DATE: 07/01/26
SCALE: As indicated
DRAWN BY: AR
CHECKED BY: MB/TP

LOWER LEVEL PLAN

A-100

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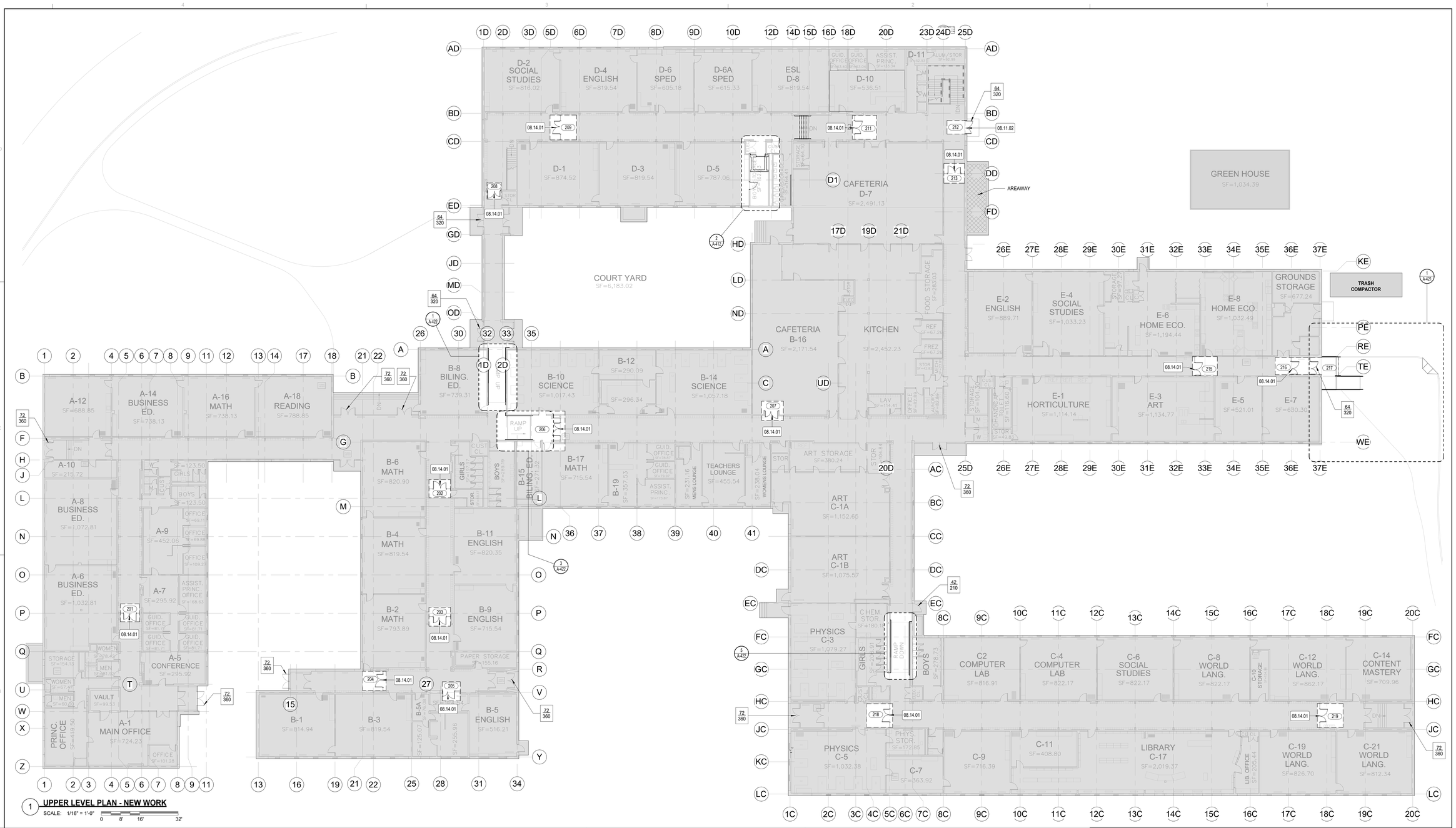


1 UPPER LEVEL PLAN - NEW WORK
SCALE: 1/16" = 1'-0"

KEYNOTE LEGEND

NUMBER	DESCRIPTION
08.11.02	HOLLOW METAL DOOR
08.14.01	WOOD DOOR, SEE DOOR SCHEDULE

FIRE SAFETY LEGEND

000 / 000 — EXIT CAPACITY (INCHES) / ACTUAL LOAD

FLOOR PLAN LEGEND

EXISTING WALL CONSTRUCTION TO REMAIN

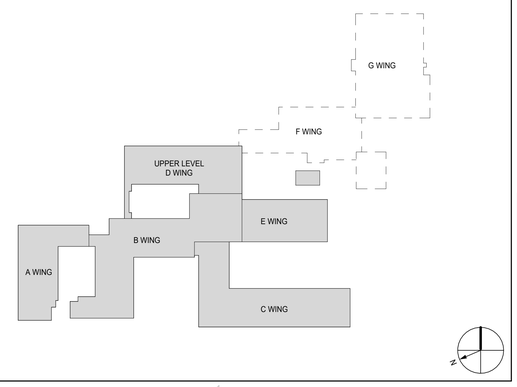
NEW WALL CONSTRUCTION — ? — INDICATES PARTITION TYPE REFER TO G-020 SERIES

EXISTING DOOR TO REMAIN

NEW DOOR — ? — DOOR NUMBER: REFER TO A-601 SERIES DOOR SCHEDULE AND FRAME/PANEL TYPES

SPOT ELEVATION — 100'-0"

KEY PLAN (NOT TO SCALE)



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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS		
Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO:	2430.03
DATE:	07/01/26
SCALE:	As indicated
DRAWN BY:	AR
CHECKED BY:	AR

UPPER LEVEL PLAN

A-110

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PLOTTED ON: 6/24/2026 10:14:28 AM

KEYNOTE LEGEND

NUMBER	DESCRIPTION
02.04.01	EXISTING MASONRY VENEER TO REMAIN
02.04.04	EXISTING CMU WALL TO REMAIN
02.05.04	EXISTING K BAR JOIST TO REMAIN
02.05.05	EXISTING FIXED VERTICAL LADDER TO REMAIN
02.07.04	EXISTING ROOF HATCH TO REMAIN
02.09.04	EXISTING DROP CEILING TO REMAIN
02.22.05	EXISTING PIPING TO REMAIN
02.22.06	EXISTING RAIN LEADER TO REMAIN
02.26.01	SALVAGE LIGHT FIXTURE AND STORE FOR REUSE IN NEW WORK
02.26.04	EXISTING ELECTRICAL CONDUITS TO REMAIN
02.26.05	EXISTING LIGHT FIXTURE TO REMAIN
03.40.01	CONCRETE INFILL FLOOR TO PATCH TRENCHING
04.20.04	MASONRY INFILL, MATCH EXISTING, TOOTH INTO EXISTING MASONRY WALLS ON BOTH SIDES, TYP. BY [401]
04.20.49	L3.5x3.5x1/4 MASONRY ANGLE, BEAR 4" MIN EACH SIDE
06.83.01	FIBERGLASS REINFORCED PANEL
07.13.01	SELF ADHERED MEMBRANE FLASHING
07.13.02	TERMINATION BAR
07.21.01	BATT INSULATION
07.92.01	BACKER ROD AND SEALANT, BOTH SIDES
07.92.02	CONTINUOUS EXTERIOR SEALANT
08.31.01	ACCESS DOOR/HATCH
08.90.01	LOUVER - REF MECH BY [231]
09.21.01	GYPSUM WALLBOARD (GB)
09.51.01	ACOUSTICAL PANEL CEILING
09.65.01	VINYL COVE BASE, REFER TO FINISH PLANS
09.65.07	VCT FLOORING, REFER TO FINISH PLANS
09.65.08	INFILL VCT FLOORING TO PATCH
09.90.01	PAINT FINISH REFER TO FINISH PLANS
22.00.01	WALL MOUNTED TOILET, REFER TO PLUMBING
22.00.03	WALL MOUNTED LAVATORY, REFER TO PLUMBING
23.31.01	DUCTWORK BY [231]
23.37.01	EXHAUST DIFFUSER, REFER TO MECHANICAL BY [231]
23.37.04	LOUVER W/BIRD SCREEN TYP BY [231]
23.37.05	ALUMINUM SILL BY [231]
26.50.02	REINSTALL SALVAGED LIGHT FIXTURE BY [261]

LEGEND

TAG	ITEM DESCRIPTION	BY*
A-1	42" GRAB BARS	GC
C	SOAP DISPENSER	OFCI
D	MIRROR	GC
E-1	PAPER TOWEL DISPENSER	OFCI
H	SANITARY SUPPLY DISPENSER	GC
J	SANITARY WASTE RECEPTACLE	GC
L	COAT HOOK	GC
P	TOILET PAPER DISPENSER	OFCI

GENERAL NOTES

1) PROVIDE BLOCKING FOR WALL MOUNTED ACCESSORIES AS REQUIRED. REFER TO SPECIFICATIONS SECTION 06100 ROUGH CARPENTRY.

* CFCI = CONTRACTOR FURNISHED CONTRACTOR INSTALLED
OFOI = OWNER FURNISHED OWNER INSTALLED
OFCI = OWNER FURNISHED CONTRACTOR INSTALLED
CFOI = CONTRACTOR FURNISHED OWNER INSTALLED

FLOOR PLAN LEGEND

EXISTING WALL CONSTRUCTION TO REMAIN

NEW WALL CONSTRUCTION — INDICATES PARTITION TYPE REFER TO G-020 SERIES

EXISTING DOOR TO REMAIN

NEW DOOR — DOOR NUMBER: REFER TO A-601 SERIES DOOR SCHEDULE AND FRAME/PANEL TYPES

SPOT ELEVATION — 100'-0"

CEILING PLAN LEGEND

ACT-1 — CEILING MATERIAL
EL. X'-XX" — CEILING HEIGHT AFF

NEW — PTD HARD CEILING

EXISTING — HARD CEILING REMAIN

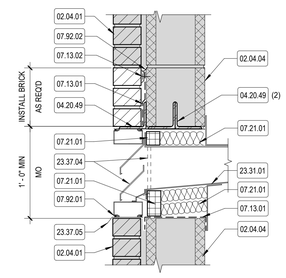
NEW — 2' x 2' ACOUSTICAL CEILING TILE

EXISTING — EXISTING 2'X2' ACOUSTICAL CEILING TILE - TO REMAIN

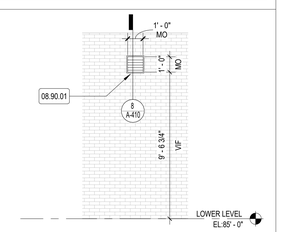
LIGHT FIXTURE TYPES

NEW / EXISTING

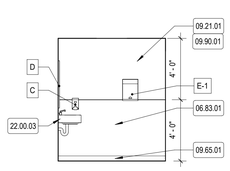
- 2 X 2 LIGHT FIXTURE
- 1 X 4 LIGHT FIXTURE
- DOWNLIGHT SEE
- CEILING EXIT LIGHT
- EMERGENCY LIGHT



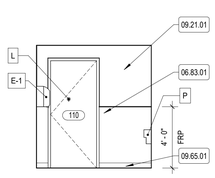
8 **LOUVER DETAIL**
SCALE: 1 1/2" = 1'-0"



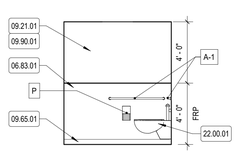
7 **EXTERIOR LOUVER ELEVATION**
SCALE: 1/4" = 1'-0"



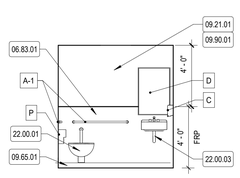
6 **G WING RESTROOM ELEVATION**
SCALE: 1/4" = 1'-0"



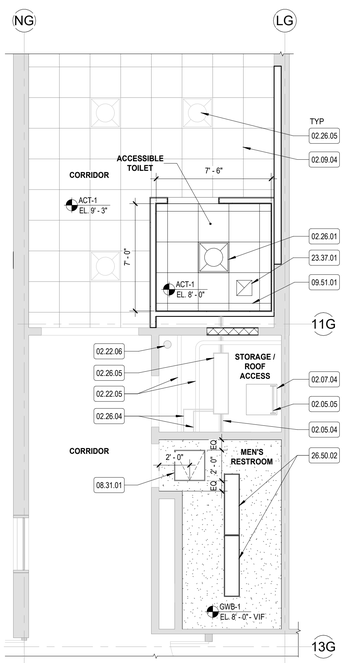
5 **G WING RESTROOM ELEVATION**
SCALE: 1/4" = 1'-0"



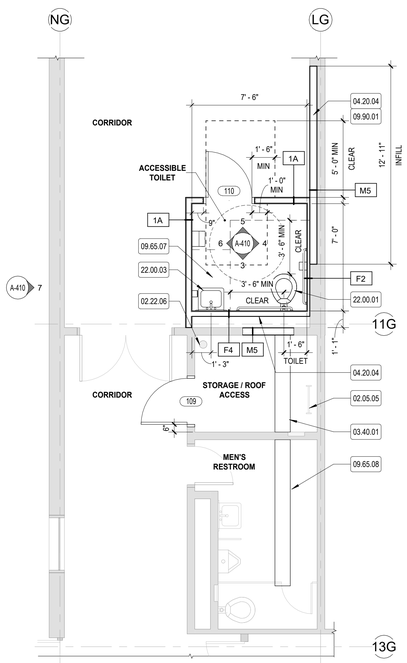
4 **G WING RESTROOM ELEVATION**
SCALE: 1/4" = 1'-0"



3 **G WING RESTROOM ELEVATION**
SCALE: 1/4" = 1'-0"



2 **G WING ACCESSIBLE RESTROOM CEILING PLAN**
SCALE: 1/4" = 1'-0"



1 **G WING ACCESSIBLE RESTROOM PLAN**
SCALE: 1/4" = 1'-0"

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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

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REVISIONS		
Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO:	2430.03
DATE:	07/01/26
SCALE:	As indicated
DRAWN BY:	AR
CHECKED BY:	MB/TP

ENLARGED PLANS & ELEVATIONS

A-410

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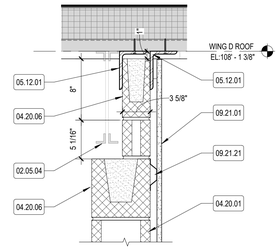
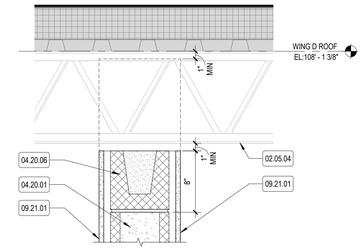
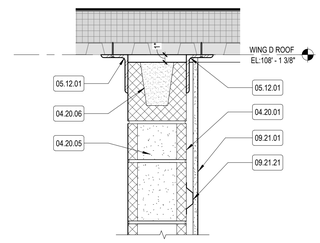


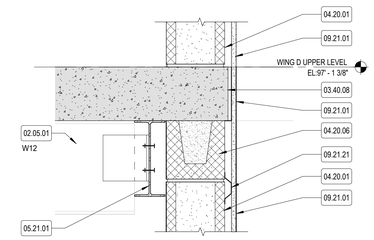
10 **TYP LIFT SHAFT @ JOIST DETAIL**
SCALE: 1 1/2" = 1'-0"



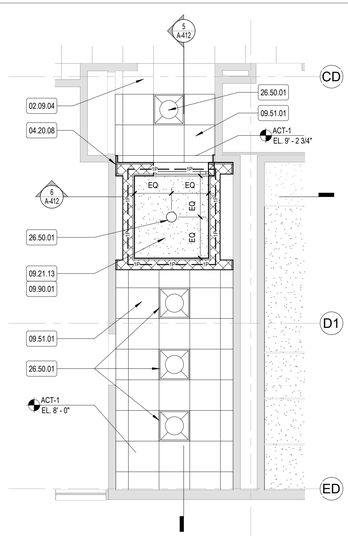
8 **TYP LIFT SHAFT @ JOIST DETAIL**
SCALE: 1 1/2" = 1'-0"



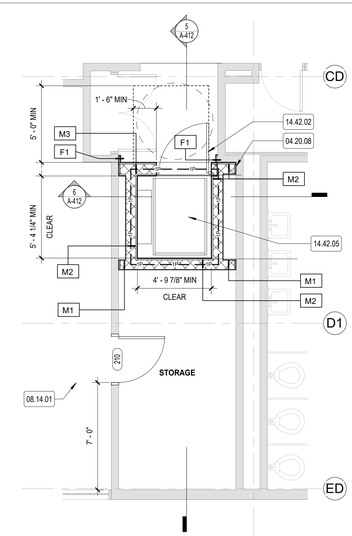
9 **TYP LIFT SHAFT @ ROOF DECK DETAIL**
SCALE: 1 1/2" = 1'-0"



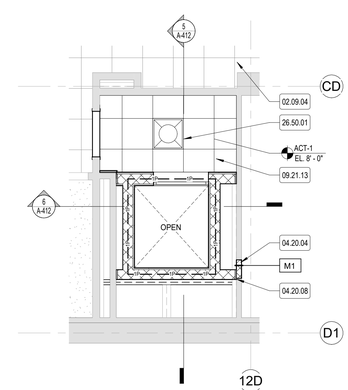
7 **TYP DETAIL @ NEW STUCTURE & CMU**
SCALE: 1 1/2" = 1'-0"



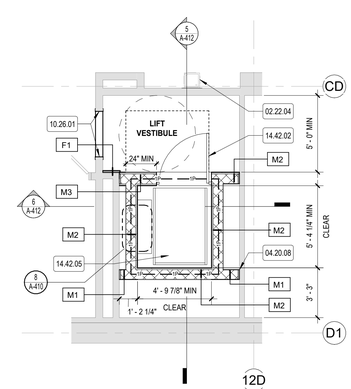
4 **LIFT UPPER LEVEL CEILING PLAN**
SCALE: 1/4" = 1'-0"



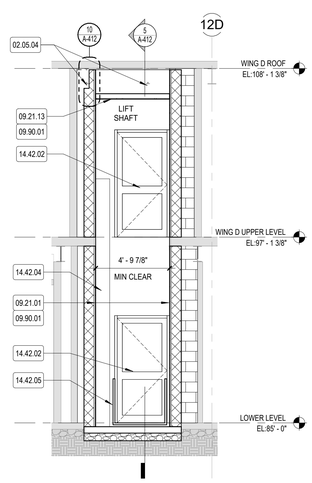
2 **LIFT UPPER LEVEL PLAN**
SCALE: 1/4" = 1'-0"



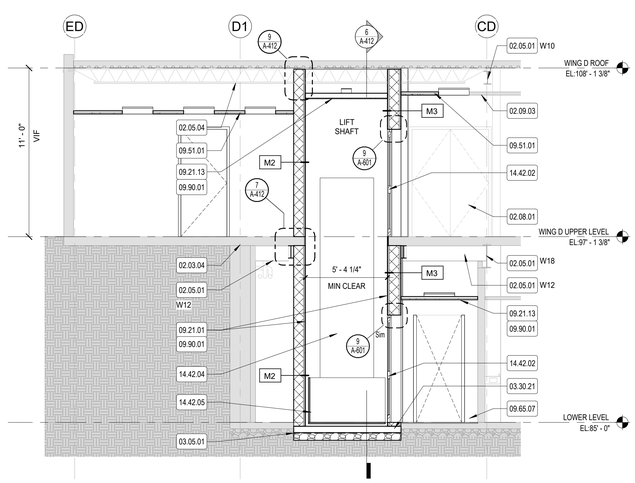
3 **LIFT LOWER LEVEL CEILING PLAN**
SCALE: 1/4" = 1'-0"



1 **LIFT LOWER LEVEL PLAN**
SCALE: 1/4" = 1'-0"



6 **LIFT SHORT SECTION**
SCALE: 1/4" = 1'-0"



5 **LIFT LONG SECTION**
SCALE: 1/4" = 1'-0"

KEYNOTE LEGEND

NUMBER	DESCRIPTION
02.03.04	EXISTING CONCRETE SLAB TO REMAIN
02.05.01	EXISTING STEEL STRUCTURE TO REMAIN
02.05.04	EXISTING K BAR JOIST TO REMAIN
02.08.01	EXISTING DOOR AND FRAME TO REMAIN
02.09.03	EXISTING HARD CEILING TO REMAIN
02.09.04	EXISTING DROP CEILING TO REMAIN
02.22.04	EXISTING DRINKING FOUNTAIN TO REMAIN
03.05.01	VAPOR BARRIER
03.30.21	CONCRETE SLAB-ON-GRADE
03.40.08	SAW CUT EDGE OF EXISTING 7" SLAB
04.20.01	8" CMU BLOCK BY [401]
04.20.04	MASONRY INFILL, MATCH EXISTING, TOOTH INTO EXISTING MASONRY WALLS ON BOTH SIDES, TYP. BY [401]
04.20.05	FULLY GROUTED CELL BY [401]
04.20.06	BOND BEAM BY [401]
04.20.08	MASONRY EXPANSION JOINT, TYP
05.12.01	L-BRACKET, REF. STRUCTURAL
05.21.01	STRUCTURAL STEEL, STEEL JOIST. REF. STRUCTURAL
08.14.01	WOOD DOOR, SEE DOOR SCHEDULE
09.21.01	GYPSUM WALLBOARD (GB)
09.21.13	GYPSUM CEILING
09.21.21	7/8" METAL HAT CHANNEL AT 24" O.C. MIN
09.51.01	ACOUSTICAL PANEL CEILING
09.65.07	VCT FLOORING, REFER TO FINISH PLANS
09.90.01	PAINT FINISH REFER TO FINISH PLANS
10.26.01	CORNER GUARD
14.42.02	RATED LIFT DOOR BY MANUFACTURER, OWNER FURNISHED, GC INSTALLED
14.42.04	LIFT CONTROL BOX BY MANUFACTURER, OWNER FURNISHED - ELECTRICAL CONNECTION BY ELECTRICIAN
14.42.05	VERTICAL PLATFORM LIFT BY MANUFACTURER, OWNER FURNISHED, GC INSTALLED
26.50.01	LIGHT FIXTURE, REFER TO ELECTRICAL BY [261]

FLOOR PLAN LEGEND

EXISTING WALL CONSTRUCTION TO REMAIN

NEW WALL CONSTRUCTION — ? — INDICATES PARTITION TYPE REFER TO G-020 SERIES

EXISTING DOOR TO REMAIN

NEW DOOR — ? — **DOOR NUMBER:** REFER TO A-601 SERIES DOOR SCHEDULE AND FRAME/PANEL TYPES

SPOT ELEVATION — 100'-0"

CEILING PLAN LEGEND

ACT-1
EL. X'-XX"

EXISTING
EXISTING 2'X2' ACOUSTICAL CEILING TILE - TO REMAIN

NEW
NEW 2'X2' ACOUSTICAL CEILING TILE

EXISTING
HARD CEILING TO REMAIN

NEW
HARD CEILING GWB CEILING

EXP — EXISTING
UNPAINTED EXPOSED STRUCTURE ABOVE

PTD - EXP — EXISTING
PTD EXPOSED STRUCTURE ABOVE

LIGHT FIXTURE TYPES

NEW	EXISTING	
		2 X 2 LIGHT FIXTURE
		1 X 4 LIGHT FIXTURE
		DOWNLIGHT SEE
		CEILING EXIT LIGHT
		EMERGENCY LIGHT

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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

170 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS		
Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO: 2430.03
DATE: 07/01/26
SCALE: As indicated
DRAWN BY: JG
CHECKED BY: MB/TP

ENLARGED LIFT PLANS & ELEVATIONS

A-412

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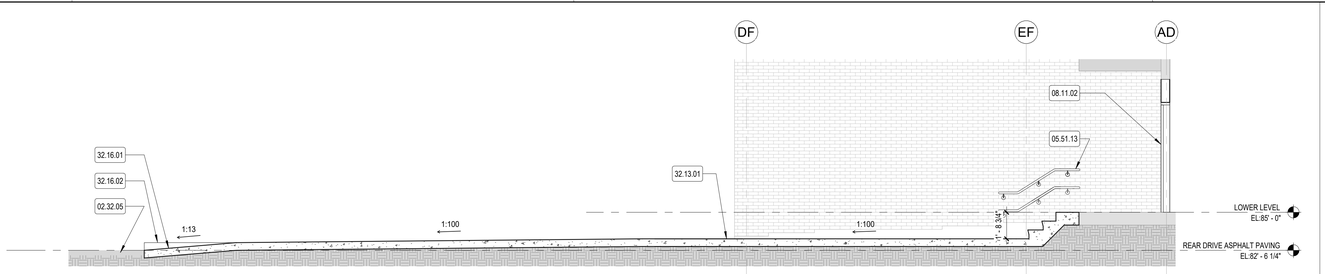
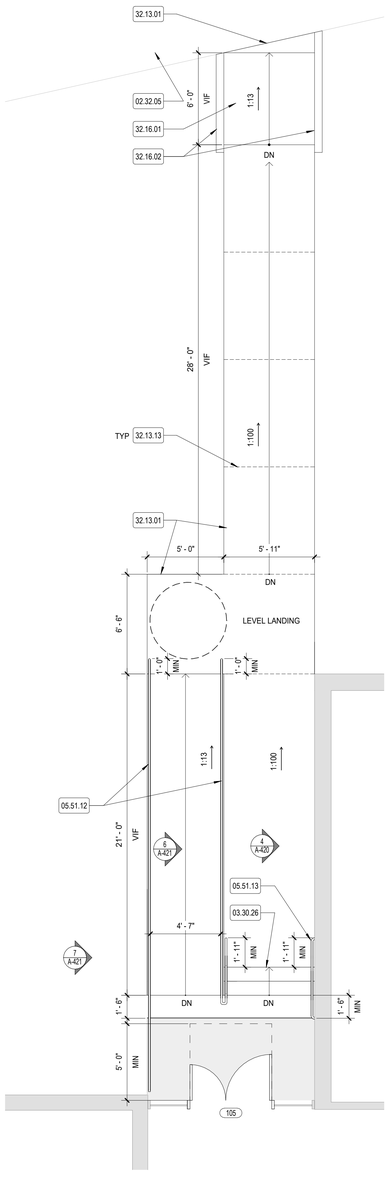


4 **LOWER LEVEL F WING EXTERIOR STAIR SECTION**

SCALE: 1/4" = 1'-0"

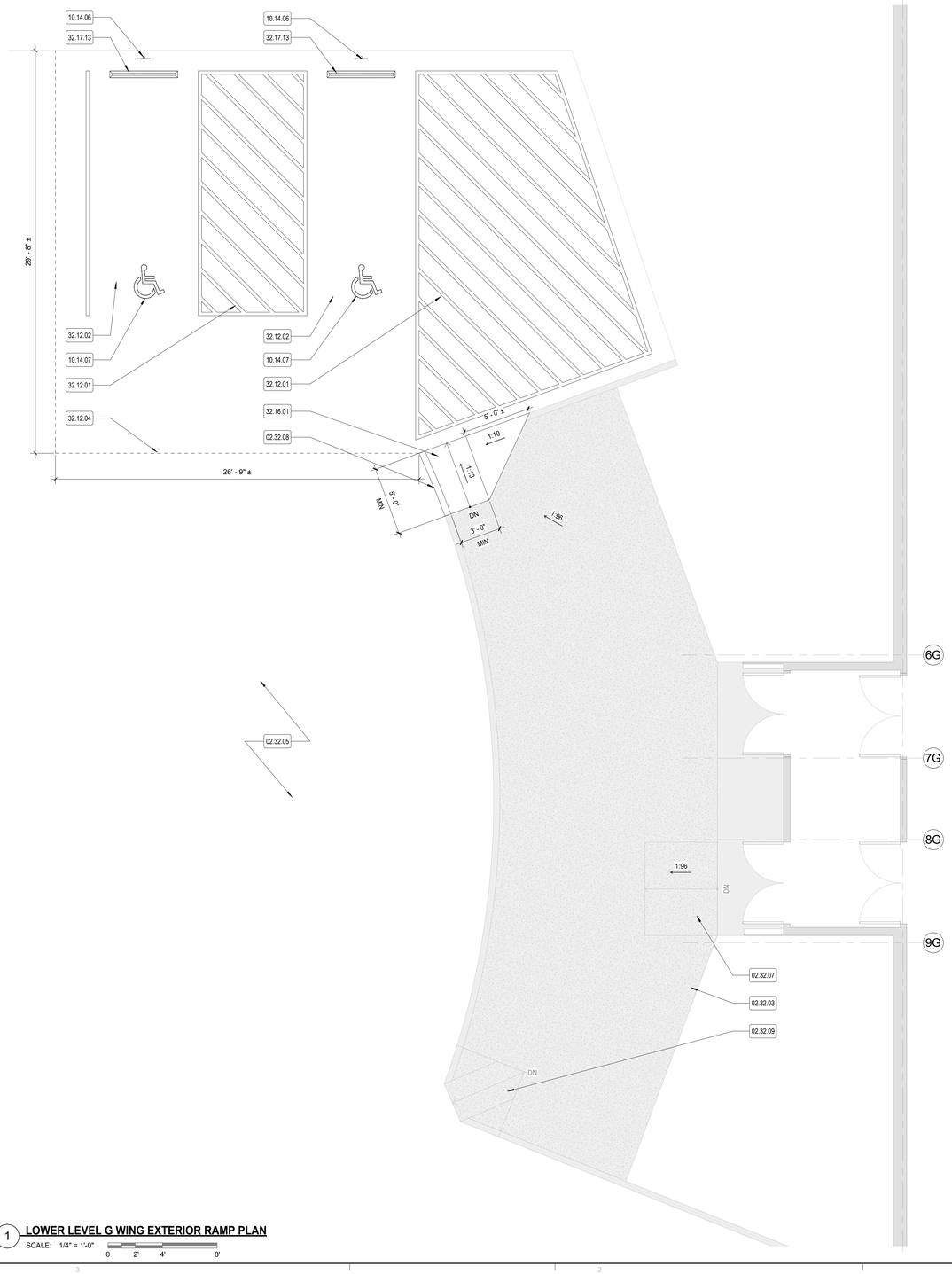
0 2' 4' 8'

NOTE: REFERENCE STRUCTURAL DRAWINGS ON SHEET S-120



2 **LOWER LEVEL F WING EXTERIOR RAMP PLAN**

SCALE: 1/4" = 1'-0"



1 **LOWER LEVEL G WING EXTERIOR RAMP PLAN**

SCALE: 1/4" = 1'-0"

0 2' 4' 8'

KEYNOTE LEGEND

NUMBER	DESCRIPTION
02.32.03	EXISTING CONCRETE SIDEWALK TO REMAIN
02.32.05	EXISTING ASPHALT PAVING TO REMAIN
02.32.07	EXISTING ASPHALT RAMP TO REMAIN
02.32.08	EXISTING CURB TO REMAIN
02.32.09	EXISTING CURB CUT TO REMAIN
03.30.26	CONCRETE STAIRS
05.51.12	GALVANIZED PIPE HANDRAIL BY [501]
05.51.13	GALVANIZED WALL MOUNTED PIPE HANDRAIL BY [501]
08.11.02	HOLLOW METAL DOOR
10.14.06	ADA PARKING SIGNAGE
10.14.07	ADA PARKING SYMBOL
32.12.01	8' X 18' ADA PARKING STRIPING
32.12.02	9' X 18' ADA VAN ACCESSIBLE PARKING SPACE
32.12.04	ASPHALT PAVING
32.13.01	CONCRETE PAVING
32.13.13	CONCRETE PAVING CONTROL JOINTS EQUALLY SPACED
32.16.01	ACCESSIBLE CURB CUT
32.16.02	CONCRETE CURB
32.17.13	CONCRETE WHEEL STOP

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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS		
Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO:	2430.03
DATE:	07/01/26
SCALE:	1/4" = 1'-0"
DRAWN BY:	JG
CHECKED BY:	MB/TP

EXTERIOR RAMP PLANS & ELEVATIONS

A-420

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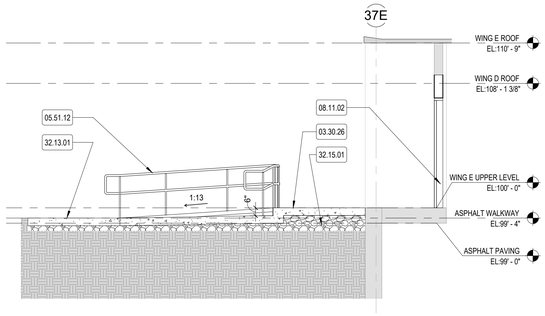
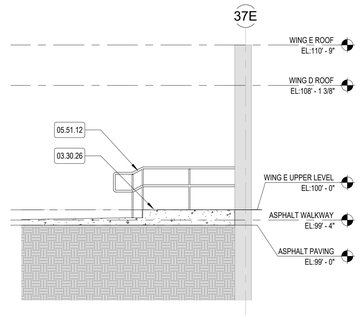


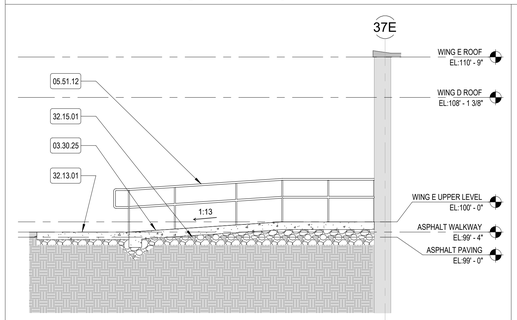
5 **UPPER LEVEL EXTERIOR RAMP & STEP SECTION**
SCALE: 1/4" = 1'-0"



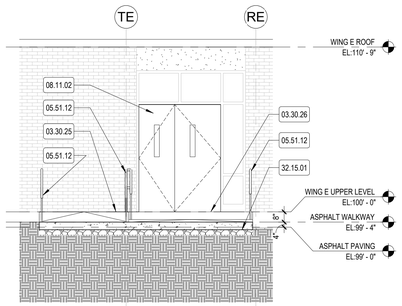
4 **UPPER LEVEL EXTERIOR STEP SECTION**
SCALE: 1/4" = 1'-0"

KEYNOTE LEGEND

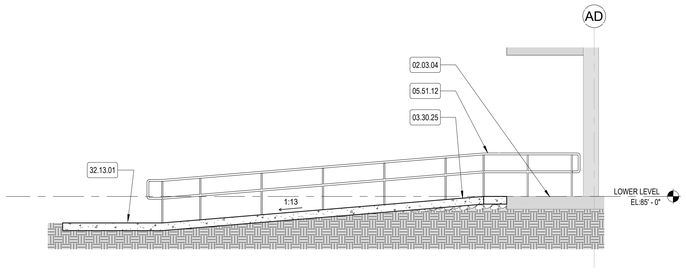
NUMBER	DESCRIPTION
02.03.04	EXISTING CONCRETE SLAB TO REMAIN
02.32.05	EXISTING ASPHALT PAVING TO REMAIN
02.32.08	EXISTING CURB TO REMAIN
03.30.25	CONCRETE RAMP
03.30.26	CONCRETE STAIRS
05.51.12	GALVANIZED PIPE HANDRAIL BY [501]
08.11.02	HOLLOW METAL DOOR
32.00.20	FILL & REPAIR DISTURBED GROUND CONDITIONS AS REQUIRED FOR NEW FOOTINGS
32.12.04	ASPHALT PAVING
32.13.01	CONCRETE PAVING
32.13.12	1/2" EXPANSION JOINT
32.15.01	GRAVEL INFILL
32.16.01	ACCESSIBLE CURB CUT
32.16.02	CONCRETE CURB



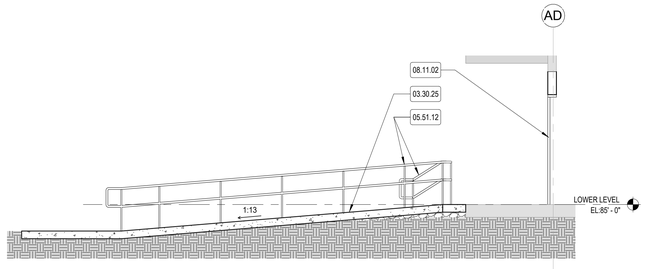
3 **UPPER LEVEL EXTERIOR RAMP SECTION**
SCALE: 1/4" = 1'-0"



2 **UPPER LEVEL EXTERIOR NORTH SECTION**
SCALE: 1/4" = 1'-0"

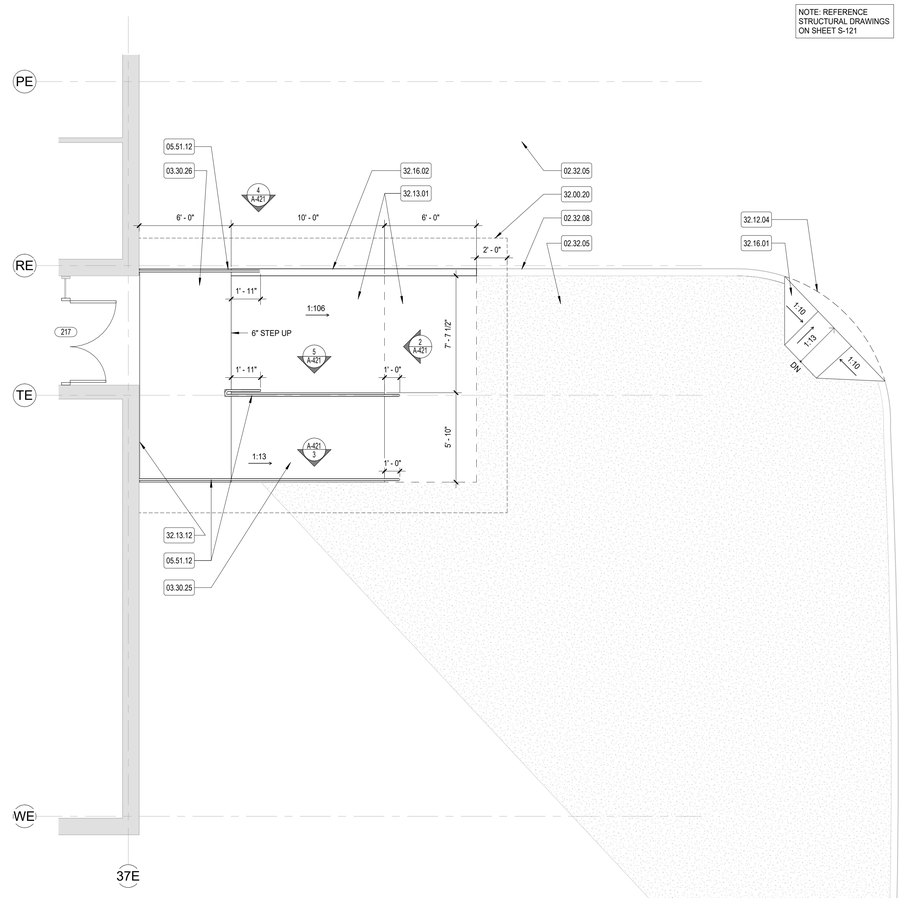


7 **LOWER LEVEL F WING EXTERIOR RAMP SECTION**
SCALE: 1/4" = 1'-0"



6 **LOWER LEVEL F WING EXTERIOR RAMP SECTION**
SCALE: 1/4" = 1'-0"

NOTE: REFERENCE STRUCTURAL DRAWINGS ON SHEET S-121



1 **UPPER LEVEL E WING EXTERIOR RAMP PLAN**
SCALE: 1/4" = 1'-0"

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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

170 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS		
Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO: 2430.03
DATE: 07/01/26
SCALE: 1/4" = 1'-0"
DRAWN BY: JG
CHECKED BY: MB/TP

EXTERIOR RAMP PLANS & ELEVATIONS

A-421

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KEYNOTE LEGEND

NUMBER	DESCRIPTION
05.51.09	WALL MOUNTED PIPE HANDRAIL BY [501]
09.90.02	PAINTED

FLOOR PLAN LEGEND

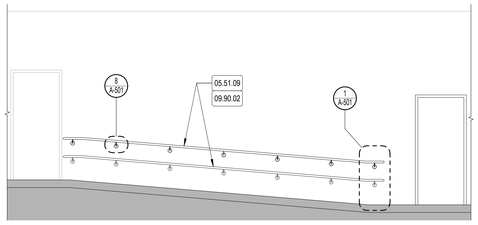
EXISTING WALL CONSTRUCTION TO REMAIN

NEW WALL CONSTRUCTION — ? — INDICATES PARTITION TYPE REFER TO G-020 SERIES

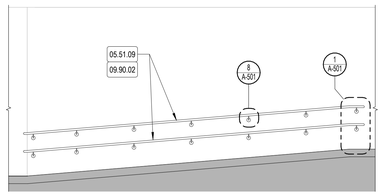
EXISTING DOOR TO REMAIN

NEW DOOR — ? — **DOOR NUMBER:** REFER TO A-601 SERIES DOOR SCHEDULE AND FRAME/PANEL TYPES

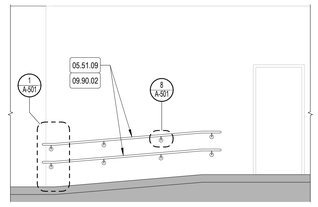
SPOT ELEVATION — 100'-0"



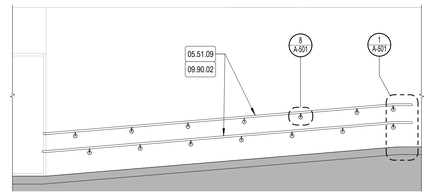
8 **F WING RAMP SECTION**
SCALE: 1/4" = 1'-0" (0 2' 4' 8')



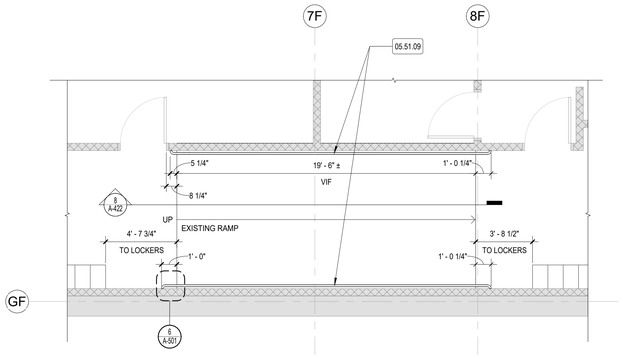
6 **B WING RAMP SECTION**
SCALE: 1/4" = 1'-0" (0 2' 4' 8')



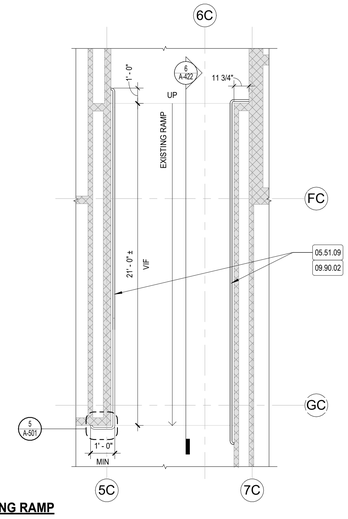
4 **C WING RAMP SECTION**
SCALE: 1/4" = 1'-0" (0 2' 4' 8')



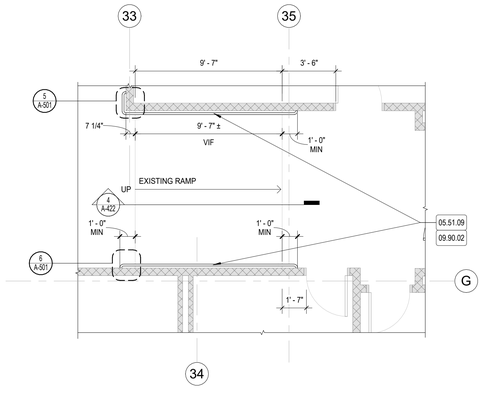
2 **C WING RAMP SECTION**
SCALE: 1/4" = 1'-0" (0 2' 4' 8')



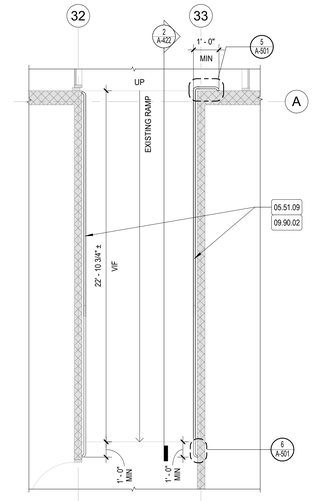
7 **LOWER LEVEL F WING RAMP**
SCALE: 1/4" = 1'-0" (0 2' 4' 8')



5 **UPPER LEVEL B WING RAMP**
SCALE: 1/4" = 1'-0" (0 2' 4' 8')



3 **UPPER LEVEL C WING RAMP**
SCALE: 1/4" = 1'-0" (0 2' 4' 8')



1 **UPPER LEVEL C WING RAMP**
SCALE: 1/4" = 1'-0" (0 2' 4' 8')

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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

170 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS		
Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO:	2430.03
DATE:	07/01/26
SCALE:	As indicated
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CHECKED BY:	MB/TP

INTERIOR RAMP PLANS & ELEVATIONS

A-422

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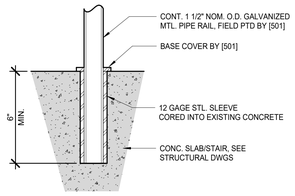
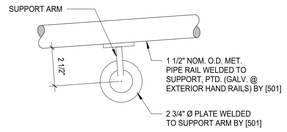
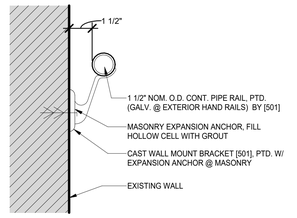
PLOTTED ON: 6/24/2026 10:14:33 AM



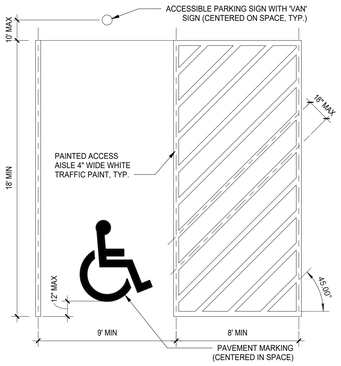
9 **STAIR-GUARDRAIL POST BASE DETAIL**
SCALE: 3" = 1'-0"



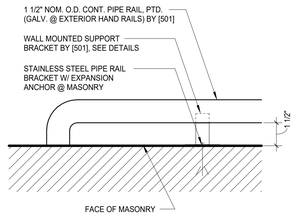
8 **WALL MOUNTED HANDRAIL ELEV.**
SCALE: 3" = 1'-0"



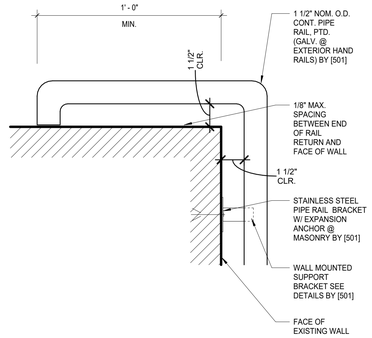
7 **WALL MOUNTED RAIL, TYP**
SCALE: 3" = 1'-0"



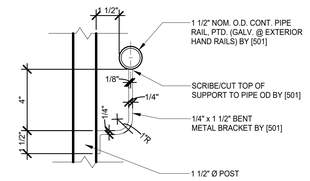
PARKING STRIPING



6 **HANDRAIL IN PLAN @ WALL**
SCALE: 3" = 1'-0"



5 **HANDRAIL IN PLAN @ RETURN**
SCALE: 3" = 1'-0"

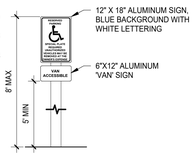


NOTE: DISTANCE B'W BRACKETS NOT TO EXCEED 4'-6"

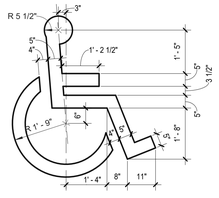
NOTE: ALL WELDED SURFACES TO BE GROUND AND FINISHED, TO BE FREE OF BURRS, ROUGH EDGES, AND SMOOTHED TO PROVIDE CLEAN TRANSITION FROM ONE SURFACE TO ANOTHER.

4 **WALL MOUNTED RAIL, TYP Copy 1**
SCALE: 3" = 1'-0"

NOTES:
1. ALL ACCESSIBLE PARKING AND SIGNAGE SHALL BE IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE ARCHITECTURAL ACCESS BOARD.
2. SIGN(S) SHALL BE LOCATED AS SHOWN UNLESS INDICATED OTHERWISE ON THE SITE PLAN.
3. THE LENGTH OF ACCESSIBLE SPACES SHALL BE IN ACCORDANCE WITH THE LOCAL ZONING REQUIREMENTS, OR 18 FEET, WHICHEVER IS LONGER.

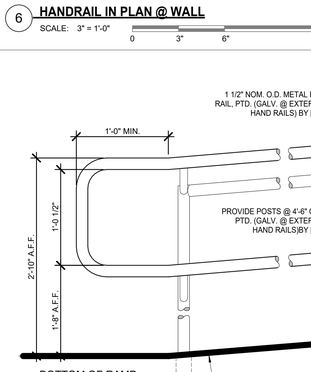


ACCESSIBLE SIGNAGE



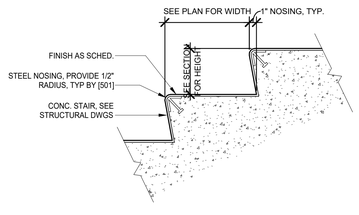
PAVEMENT MARKING

11 **ACCESSIBLE PARKING AND SIGNAGE**
SCALE: NOT TO SCALE

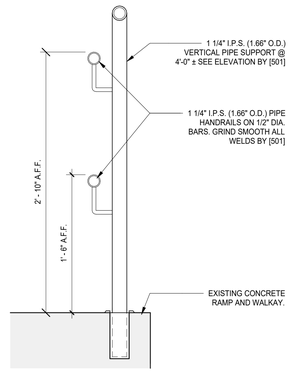


NOTE: PROVIDE HOT DIP GALVANIZED MTL. HANDRAIL ASSEMBLY AT ALL EXTERIOR LOCATIONS, TYP.

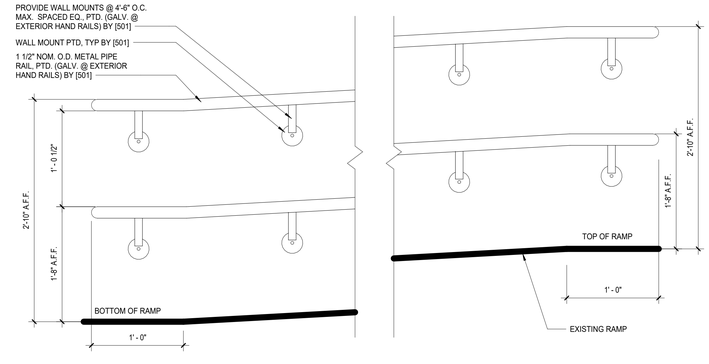
3 **STAIR-POST MOUNTED HANDRAIL @ RAMP & STAIR**
SCALE: NOT TO SCALE



10 **STAIR . NOSING DETAIL @ CONC. STAIR**
SCALE: 1 1/2" = 1'-0"



2 **GAURDRAIL SECTION**
SCALE: 1 1/2" = 1'-0"



1 **WALL MOUNTED HANDRAIL @ RAMP**
SCALE: NOT TO SCALE

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179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS		
Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO:	2430.03
DATE:	07/01/26
SCALE:	As indicated
DRAWN BY:	JG
CHECKED BY:	MB/TP

RAMP & STAIR DETAILS

A-501

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PLOTTED ON: 6/24/2026 10:14:33 AM

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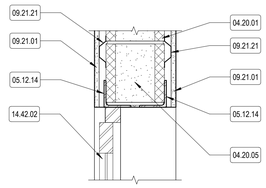
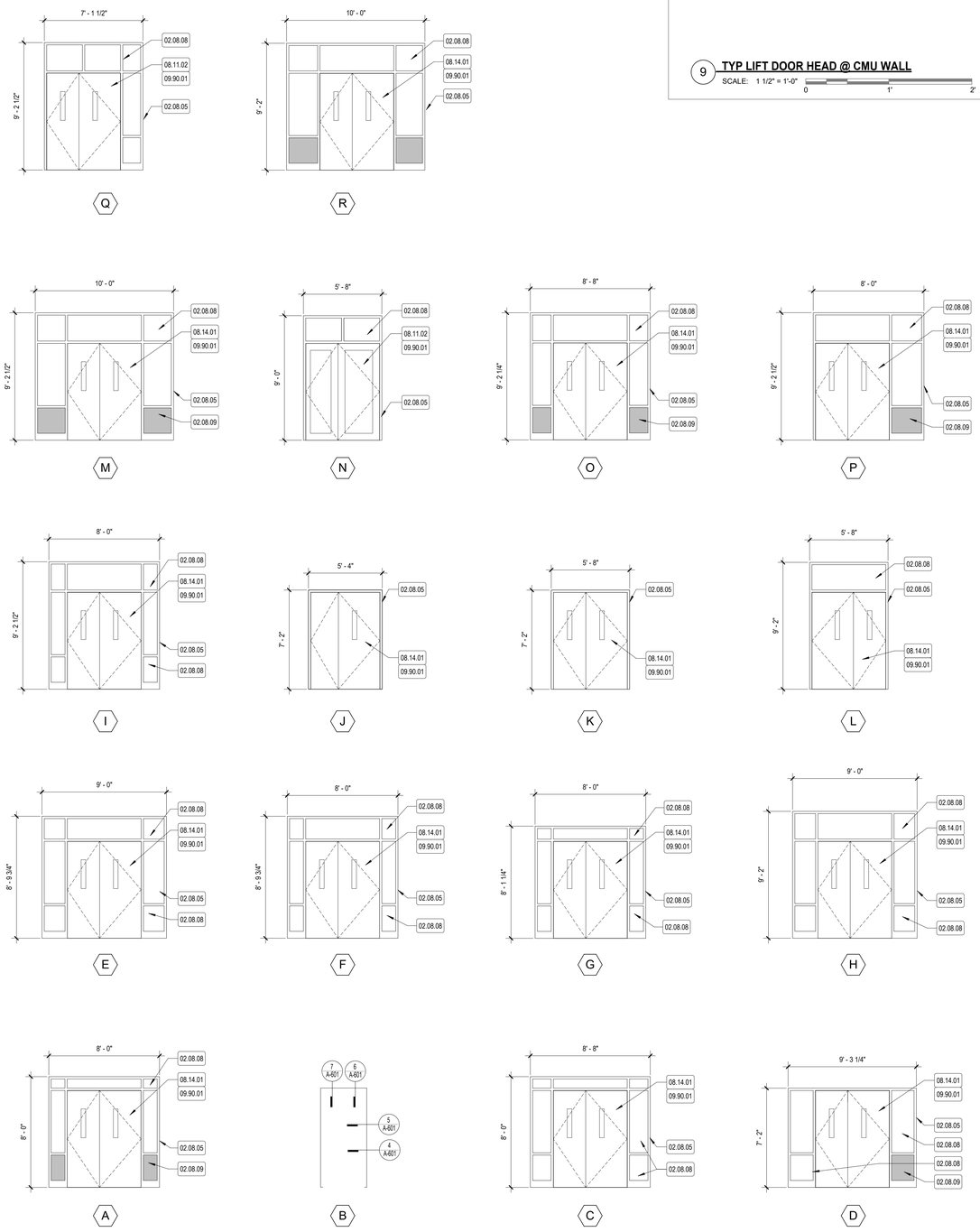


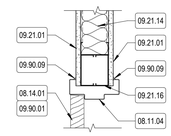
9 **TYP LIFT DOOR HEAD @ CMU WALL**
SCALE: 1 1/2" = 1'-0"



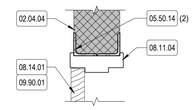
8 **FRAME / OPENING TYPES**
SCALE: 1/4" = 1'-0"

DOOR AND FRAME SCHEDULE

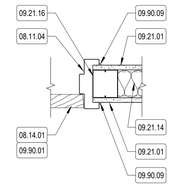
MARK	LOCATION	OPENING WIDTH	OPENING HEIGHT	DOOR PANEL PANEL WIDTH	DOOR PANEL PANEL 2 WIDTH	DOOR PANEL TYPE	DOOR PANEL MATL	LITE MATERIAL	DOOR PANEL THICK	HDWE SET	FRAME TYPE	FRAME MATL	FRAME DETAILS HEAD	FRAME DETAILS JAMB	FRAME DETAILS SILL	FIRE RATING	COMMENTS	CURRENT REVISION
101	LOWER LEVEL, D WING, CORRIDOR	5' - 4"	7' - 0"	3' - 0"	2' - 4"	UN	WD	GLASS	1 3/4"	5	A	EXISTING	EX	EX	EX	20-MIN	S-LABEL	
103	LOWER LEVEL, D WING, CORRIDOR	5' - 4"	7' - 0"	3' - 0"	2'-4"	UN	WD	GLASS	1 3/4"	5	C	EXISTING	EX	EX	EX	20-MIN	S-LABEL	
104	LOWER LEVEL, F WING, CORRIDOR	5' - 4"	7' - 0"	3' - 0"	2' - 4"	UN	WD	GLASS	1 3/4"	5	D	EXISTING	EX	EX	EX	20-MIN	S-LABEL	
105	LOWER LEVEL, F WING, EXTERIOR	5' - 4"	7' - 0"	3' - 0"	2' - 4"	UN	HM	GLASS	1 3/4"	2	M	EXISTING	EX	EX	EX			
106	LOWER LEVEL, F WING, CORRIDOR	5' - 4"	7' - 0"	3' - 0"	2' - 4"	UN	WD	GLASS	1 3/4"	5	E	EXISTING	EX	EX	EX	20-MIN	S-LABEL	
107	LOWER LEVEL, F WING, CORRIDOR	5' - 4"	7' - 0"	3' - 0"	2' - 4"	UN	WD	GLASS	1 3/4"	5	E	EXISTING	EX	EX	EX	20-MIN	S-LABEL	
108	LOWER LEVEL, D WING, CORRIDOR	5' - 4"	7' - 0"	3' - 0"	2' - 4"	UN	WD	GLASS	1 3/4"	5	F	EXISTING	EX	EX	EX	20-MIN	S-LABEL	
109	LOWER LEVEL, G WING, STORAGE / ROOF	3' - 0"	7' - 0"	3' - 0"	—	F	WD	—	1 3/4"	4	B	HM	6/A-601	4/A-601	3/A-601			
110	LOWER LEVEL, G WING, ADA RESTROOM	3' - 0"	7' - 0"	3' - 0"	—	F	WD	—	1 3/4"	7	B	HM	7/A-601	5/A-601	3/A-601			
201	UPPER LEVEL, A WING, COORIDOR	5' - 4"	7' - 0"	3' - 0"	2' - 4"	UN	WD	GLASS	1 3/4"	5	G	EXISTING	EX	EX	EX	20-MIN	S-LABEL	
202	UPPER LEVEL, B WING, CORRIDOR	5' - 4"	7' - 0"	3' - 0"	2' - 4"	UN	WD	GLASS	1 3/4"	5	H	EXISTING	EX	EX	EX	20-MIN	S-LABEL	
203	UPPER LEVEL, B WING, CORRIDOR	5' - 4"	7' - 0"	3' - 0"	2' - 4"	UN	WD	GLASS	1 3/4"	5	H	EXISTING	EX	EX	EX	20-MIN	S-LABEL	
204	UPPER LEVEL, B WING, CORRIDOR	5' - 4"	7' - 0"	3' - 0"	2' - 4"	UN	WD	GLASS	1 3/4"	5	I	EXISTING	EX	EX	EX	20-MIN	S-LABEL	
205	UPPER LEVEL, B WING, ENGLISH B-5	5' - 0"	7' - 0"	3' - 0"	2' - 0"	UN	WD	GLASS	1 3/4"	6	J	EXISTING	EX	EX	EX			
206	UPPER LEVEL, B WING, CORRIDOR	5' - 4"	7' - 0"	3' - 0"	2' - 4"	UN	WD	GLASS	1 3/4"	5	H	EXISTING	EX	EX	EX	20-MIN	S-LABEL	
207	UPPER LEVEL, B WING, CAFETERIA B-16	5' - 4"	7' - 0"	3' - 0"	2' - 4"	UN	WD	GLASS	1 3/4"	5	K	EXISTING	EX	EX	EX			
208	UPPER LEVEL, D WING, CORRIDOR	5' - 4"	7' - 0"	3' - 0"	2' - 4"	UN	WD	GLASS	1 3/4"	5	L	EXISTING	EX	EX	EX	20-MIN	S-LABEL	
209	UPPER LEVEL, D WING, CORRIDOR	5' - 4"	7' - 0"	3' - 0"	2' - 4"	UN	WD	GLASS	1 3/4"	5	M	EXISTING	EX	EX	EX	20-MIN	S-LABEL	
210	UPPER LEVEL, D WING, CLASSROOM D-5	3' - 0"	7' - 0"	3' - 0"	—	F	WD		1 3/4"	4	B	HM	6/A-601	4/A-601	3/A-601			
211	UPPER LEVEL, D WING, CORRIDOR	5' - 4"	7' - 0"	3' - 0"	2' - 4"	UN	WD	GLASS	1 3/4"	5	M	EXISTING	EX	EX	EX	20-MIN	S-LABEL	
212	UPPER LEVEL, D WING, EXTERIOR	5' - 4"	7' - 0"	3' - 0"	2' - 4"	UG	HM	GLASS	1 3/4"	2	N	EXISTING	EX	EX	EX			
213	UPPER LEVEL, D WING, CORRIDOR	5' - 4"	7' - 0"	3' - 0"	2' - 4"	UN	WD	GLASS	1 3/4"	5	O	EXISTING	EX	EX	EX	20-MIN	S-LABEL	
215	UPPER LEVEL, E WING, CORRIDOR	5' - 4"	7' - 0"	3' - 0"	2' - 4"	UN	WD	GLASS	1 3/4"	5	P	EXISTING	EX	EX	EX	20-MIN	S-LABEL	
216	UPPER LEVEL, E WING, CORRIDOR	5' - 4"	7' - 0"	3' - 0"	2' - 4"	UN	WD	GLASS	1 3/4"	5	Q	EXISTING	EX	EX	EX	20-MIN	S-LABEL	
217	UPPER LEVEL, E WING, EXTERIOR	5' - 4"	7' - 0"	3' - 0"	2' - 4"	UN	HM	GLASS	1 3/4"	1	Q	EXISTING	EX	EX	EX			
218	UPPER LEVEL, C WING, CORRIDOR	5' - 4"	7' - 0"	3' - 0"	2' - 4"	UN	WD	GLASS	1 3/4"	5	R	EXISTING	EX	EX	EX	20-MIN	S-LABEL	
219	UPPER LEVEL, C WING, CORRIDOR	5' - 4"	7' - 0"	3' - 0"	2' - 4"	UN	WD	GLASS	1 3/4"	5	R	EXISTING	EX	EX	EX	20-MIN	S-LABEL	



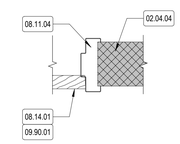
7 **TYP HM HEAD @ TYPE A1 WALL**
SCALE: 1 1/2" = 1'-0"



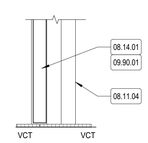
6 **TYP HM HEAD @ CMU WALL**
SCALE: 1 1/2" = 1'-0"



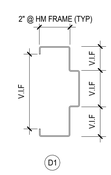
5 **TYP HM JAMB @ TYPE A1 WALL**
SCALE: 1 1/2" = 1'-0"



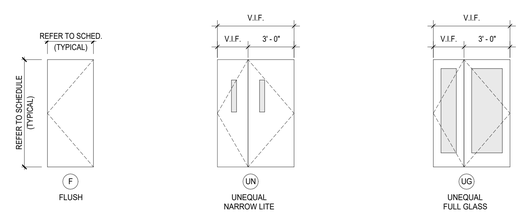
4 **TYP HM JAMB @ CMU WALL**
SCALE: 1 1/2" = 1'-0"



3 **TYP HM INTERIOR SILL**
SCALE: 1 1/2" = 1'-0"



2 **FRAME PROFILE**
SCALE: 3" = 1'-0"



1 **DOOR PANEL TYPES**
SCALE: 1/4" = 1'-0"

KEYNOTE LEGEND

NUMBER	DESCRIPTION
02.04.04	EXISTING CMU WALL TO REMAIN
02.08.05	EXISTING HOLLOW METAL FRAME TO REMAIN
02.08.08	EXISTING GLAZING TO REMAIN
02.08.09	EXISTING METAL PANEL TO REMAIN
04.20.01	8" CMU BLOCK BY [401]
04.20.05	FULLY GROUTED CELL BY [401]
05.12.14	BEAR 6" MIN EACH END ON MASONRY
05.50.14	L3x3x1/4 LLV
08.11.02	HOLLOW METAL DOOR
08.11.04	HOLLOW METAL FRAME
08.14.01	WOOD DOOR, SEE DOOR SCHEDULE
09.21.01	GYPSUM WALLBOARD (GB)
09.21.14	SOUND ATTENUATION BLANKET
09.21.16	DOUBLE METAL STUD AT HEAD, TYP
09.21.21	7/8" METAL HAT CHANNEL AT 24" O.C. MIN
09.90.01	PAINT FINISH REFER TO FINISH PLANS
09.90.09	INTERIOR CAULKING, BOTH SIDES.
14.42.02	RATED LIFT DOOR BY MANUFACTURER, OWNER FURNISHED, GC INSTALLED

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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

170 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS		
Δ	MM-DD-YYYY	DESCRIPTION

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DOOR AND FRAME TYPES & DETAILS

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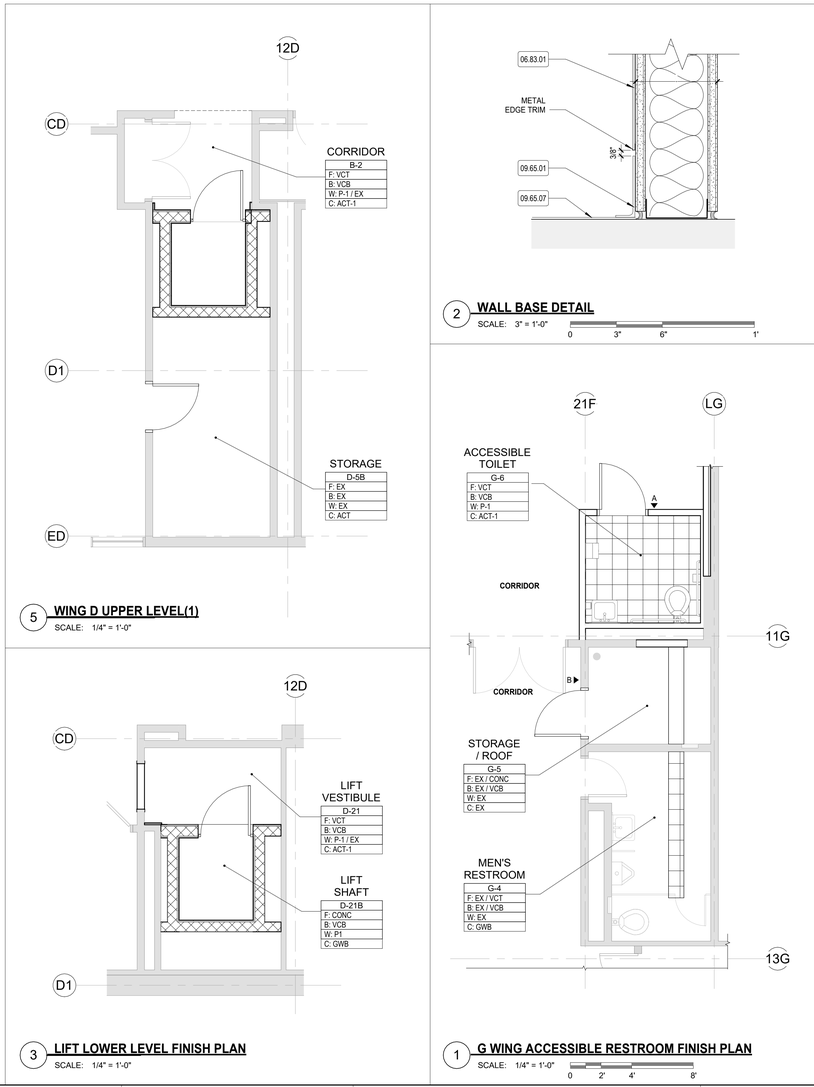


5 **WING D UPPER LEVEL(1)**
SCALE: 1/4" = 1'-0"

3 **LIFT LOWER LEVEL FINISH PLAN**
SCALE: 1/4" = 1'-0"

2 **WALL BASE DETAIL**
SCALE: 3" = 1'-0"
0 3" 6" 1'

1 **G WING ACCESSIBLE RESTROOM FINISH PLAN**
SCALE: 1/4" = 1'-0"
0 2' 4' 8'

KEYNOTE LEGEND

NUMBER	DESCRIPTION
06.83.01	FIBERGLASS REINFORCED PANEL
09.65.01	VINYL COVE BASE, REFER TO FINISH PLANS
09.65.07	VCT FLOORING, REFER TO FINISH PLANS

FLOOR PLAN LEGEND

EXISTING WALL CONSTRUCTION TO REMAIN

NEW WALL CONSTRUCTION

EXISTING DOOR TO REMAIN

NEW DOOR

SIGNAGE SCHEDULE

SIGN NUMBER	SIGN TYPE	TEXT (BY TYPE)
1	A	INCLUSIVE RESTROOM
2	B	STORAGE ROOM ROOF HATCH ACCESS

SIGNAGE LEGEND

WALL MOUNTED SIGN

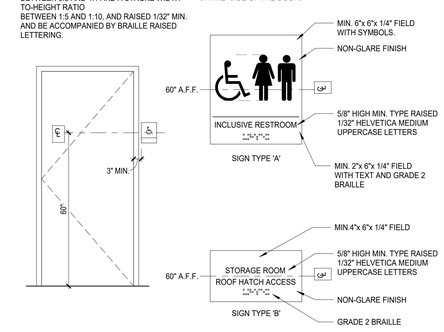
# DENOTES SIGN TYPE (REFER TO SIGNAGE SCHEDULE)

DENOTES SIGN LOCATION

TOILET ROOM SIGNAGE LEGEND

NOTES: LETTERS AND NUMBERS ON SIGNS SHALL BE RAISED, CONTRASTING IN COLOR, AND HAVE A WIDTH-TO-HEIGHT RATIO OF BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10, AND RAISED 1/32" MIN. AND BE ACCOMPANIED BY BRAILLE RAISED LETTERING.

WHERE PERMANENT SIGNAGE IS PROVIDED FOR ROOMS AND SPACES, SIGNAGE AS DESCRIBED ABOVE SHALL BE PROVIDED ON THE STRIKE SIDE OF THE DOOR.



LEGEND OF FINISHES

FLOOR	
EX	EXISTING TO REMAIN
VCT	VINYL COMPOSITION TILE
CONC	SEALED CONCRETE
BASE	
EX	EXISTING TO REMAIN
VCB	VINYL COVE BASE
WALL	
EX	EXISTING TO REMAIN
P-1	PAINTED GWB
P-2	PAINTED MASONRY
FRP	FIBER REINFORCED PANEL UP TO 6'-0" AFF
CEILING	
EX	EXISTING TO REMAIN
ACT-1	ACOUSTIC CEILING TILE
GWB	GYPSUM WALL BAORD

NOTE: REFER TO PROJECT SPECIFICATIONS DIVISION 9 FOR ADDITIONAL INFORMATION

ROOM FINISH SCHEDULE

LEVEL	ROOM #	ROOM NAME	FLOORS	WALLS	BASE	CEILING HEIGHT	COMMENTS
LOWER LEVEL	G-6	ACCESSIBLE TOILET	VCT	P-1	VCB		
LOWER LEVEL	D-21B	LIFT SHAFT	CONC	P1	VCB		
LOWER LEVEL	D-21	LIFT VESTIBULE	VCT	P-1 / EX	VCB		
LOWER LEVEL	G-4	MEN'S RESTROOM	EX / VCT	EX	EX / VCB		
LOWER LEVEL	G-5	STORAGE/ROOF	EX / CONC	EX	EX / VCB		
WING D UPPER LEVEL	D-5	CLASSROOM	VCT / EX	EX	VCB / EX		
WING D UPPER LEVEL	B-2	CORRIDOR	VCT	P-1 / EX	VCB		
WING D UPPER LEVEL	D-5B	STORAGE	EX	EX	EX		

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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

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FINISH PLANS & DETAILS

A-701

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GENERAL NOTES

BUILDING CODE
MASSACHUSETTS STATE BUILDING CODE (10TH EDITION)

DESIGN LOADS:

BASIS OF DESIGN – 2021 INTERNATIONAL BUILDING CODE, AS AMENDED BY MSBC

ROOF DEAD LOADS:		ROOF LIVE LOADS:
ROOFING	10 PSF	ROUND SNOW LOAD 50 PSF
SUSPENDED UTILITIES	4 PSF	IMPORTANCE FACTOR, IS 1.0
STRUCTURE – ACTUAL WEIGHT		EXPOSURE FACTOR, CE 1.0
		THERMAL FACTOR, CT 1.0
		FLAT ROOF SNOW LOAD 35 PSF

GENERAL

THE STRUCTURAL CONSTRUCTION DOCUMENTS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO BRACING, SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC. THE STRUCTURAL ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S MEANS, METHODS, TECHNIQUES, SEQUENCES FOR PROCEDURE OF CONSTRUCTION, OR THE SAFETY PRECAUTIONS AND THE PROGRAMS INCIDENT THERETO (NOR SHALL OBSERVATION VISITS TO THE SITE INCLUDE INSPECTION OF THESE ITEMS).

CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED CONSTRUCTION. LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT.

WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH STANDARDS SHALL BE THE LATEST EDITION AND/ OR ADDENDA.

ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL COMPONENTS WITH APPROPRIATE TRADES, DRAWINGS AND SUBCONTRACTORS PRIOR TO CONSTRUCTION.

NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO START OF CONSTRUCTION. RESOLVE ANY DISCREPANCY WITH THE ARCHITECT.

TYPICAL DETAILS MAY NOT NECESSARILY BE CUT ON PLANS, BUT APPLY U.N.O.

WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL STRUCTURAL NOTES AND SPECIFICATIONS, THE GREATER REQUIREMENTS SHALL GOVERN.

ANY ENGINEERING DESIGN, PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW, SHALL BEAR THE SEAL OF AN ENGINEER REGISTERED IN THE STATE OF MASSACHUSETTS.

FOR CLARITY, ALL OPENINGS MAY NOT BE SHOWN ON FRAMING PLANS. FOR EXACT SIZE, NUMBER, AND LOCATION OF OPENINGS, SEE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS. FOR FRAMING AT OPENINGS, SEE TYPICAL STRUCTURAL DETAILS. VERIFY ALL SIZES, WEIGHTS AND LOCATIONS OF MECHANICAL EQUIPMENTS WITH MECHANICAL ENGINEER AND MECHANICAL CONTRACTOR THROUGH ARCHITECT.

FOUNDATIONS

EXTERIOR FOUNDATION SHALL BE SET AT OR BELOW FROST DEPTH, 4'-0" MINIMUM BELOW FINISHED GRADE.

ASSUMED SOIL BEARING PRESSURE = 4000 PSF

CONCRETE

CONCRETE WORK AND REINFORCING BAR DETAILS SHALL CONFORM TO THE LATEST A.C.I. CODE AND MANUAL.MINIMUM 28 DAY STRENGTH 4,000 PSI, AIR ENTRAINED:
FOUNDATIONS (AIR ENTRAINED) 4,000 PSI

MECHANICALLY VIBRATE ALL CONCRETE WHEN PLACED EXCEPT THAT SLABS ON GRADE NEED BE VIBRATED ONLY AROUND UNDER-FLOOR DUCTS, PIPES, ETC.

NO FLY ASH ADDITIVES SHALL BE USED IN FLATWORK.

ALL OPENINGS IN SLABS ARE NOT SHOWN. VERIFY SIZES AND LOCATIONS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.

CONCRETE WALLS MUST HAVE CONTROL JOINTS OR CONSTRUCTION JOINTS SPACED NO MORE THAN 25'-0" O.C.

REINFORCING

ASTM A615 (F_Y = 60 KSI) DEFORMED BARS FOR ALL BARS.

WELDED WIRE FABRIC PER ASTM A185, WIRE PER ASTM A82.

NO TACK WELDING OF REINFORCING BARS ALLOWED WITHOUT PRIOR REVIEW OF PROCEDURE WITH THE STRUCTURAL ENGINEER.

LATEST ACI CODE AND DETAILING MANUAL APPLY. CLEAR CONCRETE COVERAGES AS FOLLOWS:
CAST AGAINST PERMANENTLY AND PERMANENTLY EXPOSED TO EARTH: 3"
EXPOSED TO EARTH OR WEATHER:
#6 OR LARGER: 2"
#5 AND SMALLER: 1-1/2"
ALL OTHER PER LATEST EDITION OF ACI 318.

FORMWORK:

1. ALL KEYS SHALL BE 2"X4" WITH BEVELED SIDES, UNO.
THE CONTRACTOR SHALL SUBMIT DRAWINGS SHOWING THE COMPLETE LAYOUTS OF ALL CONTROL JOINTS, CONSTRUCTION JOINTS, AND ISOLATION JOINTS FOR SLABS ON GRADE. CONCRETE PLACEMENT SHALL NOT PROCEED UNTIL THESE DRAWINGS ARE REVIEWED AND APPROVED BY THE ENGINEER.

LAP SPLICES IN CONCRETE

LAP SPLICES, UNLESS OTHERWISE NOTED, SHALL BE 48 BAR DIAMETERS IN LENGTH MINIMUM. LAPS IN WELDED WIRE FABRIC SHALL BE MADE SO THAT OVERLAPS MEASURED BETWEEN OUTERMOST CROSS WIRE EACH FABRIC SHEET IS NOT LESS THAN THE SPACING OF CROSS WIRES PLUS 2 INCHES.

ALL WELDED WIRE FABRIC SHALL BE CHAIRED TO ENSURE PROPER CLEARANCES.

ALL SPLICE LOCATIONS SUBJECT TO APPROVAL BY THE STRUCTURAL ENGINEER.

PROVIDE CORNER BARS TO MATCH AND LAP WITH HORIZONTAL BARS AT ALL CORNERS AND INTERSECTIONS PER TYPICAL CONCRETE DETAIL DRAWING(S).

REINFORCING BAR SPACINGS GIVEN ARE MAXIMUM ON CENTERS. ALL BARS PER CRSI SPECIFICATIONS AND HANDBOOK. DOWEL ALL VERTICAL REINFORCING TO FOUNDATION WITH STANDARD 90 DEGREE HOOKS UNLESS OTHERWISE NOTED. SECURELY TIE ALL BARS IN LOCATION BEFORE PLACING CONCRETE.

CONCRETE SLAB NOTES

A MINIMUM OF 48 HOURS SHALL ELAPSE BETWEEN PLACEMENT OF ADJACENT SECTIONS.

NO ADDITIVES, OTHER THAN THOSE NOTED IN THE SPECIFICATIONS, WILL BE PERMITTED WITHOUT PERMISSION FROM THE STRUCTURAL ENGINEER.

NO FOOT TRAFFIC SHALL BE PERMITTED ON SLAB FOR A PERIOD OF 3 DAYS AFTER PLACEMENT.

NO VEHICLES AND/OR EQUIPMENT SHALL BE PERMITTED ON SLAB FOR A PERIOD OF 7 DAYS AFTER PLACEMENT.

GROUT

GROUT SHALL BE 5,000 PSI AND NON-SHRINK GROUT, FIVE STAR OR EQUIVALENT. INSTALL GROUT UNDER BEARING PLATES BEFORE FRAMING MEMBER IS INSTALLED.

STRUCTURAL STEEL

1. ALL SHOP CONNECTIONS SHALL BE WELDED TO CONFORM TO THE "STRUCTURAL WELDING CODE," AWS D1.1, LATEST EDITION OF THE AMERICAN WELDING SOCIETY, E70 SERIES. SHOP CONNECTIONS MAY BE HIGH STRENGTH BOLTED TO CONFORM TO ASTM A325.
2. ALL FIELD CONNECTIONS SHALL BE HIGH STRENGTH BOLTED TO CONFORM TO ASTM A325-N (OR A490), UNO. WHERE WELDING IS SPECIFIED, PERFORM WELDING AS NOTED ABOVE.
3. PROVIDE 3/8" STIFFENER PLATES AT ALL BEAMS THAT EXTEND OVER COLUMNS.
4. ALL STRUCTURAL STEEL BEAMS AND COLUMNS SHALL BE PRIMED, UNLESS RECEIVING FIREPROOFING. ALL STRUCTURAL STEEL EXPOSED TO THE WEATHER SHALL BE HOT-DIPPED GALVANIZED, UNO.
5. PROVIDE ¼" LEVELING PLATES ¾" NON-SHRINK GROUT UNDER ALL COLUMN BASE PLATES SUPPORTED ON CONCRETE. LEVELING PLATES SHALL BE SET AND GROUTED BEFORE ERECTION OF COLUMN.
6. ANCHOR RODS SHALL CONFORM TO ASTM F1554, GRADE 36, UNO. EMBEDMENT INTO CONCRETE SHALL BE 12" WITH A 3" LONG 90° HOOK. SET ANCHOR RODS WITH TEMPLATE TO ENSURE PROPER POSITIONING.
7. ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS. CERTIFICATIONS MUST BE CURRENT WHEN WELDING IS PERFORMED FOR THE SPECIFIED WELD TYPE.
8. ALL STRUCTURAL STEEL MATERIALS, WORKMANSHIP, AND DETAILS SHALL CONFORM TO THE LATEST EDITIONS OF THE ANSI/AISC 360 "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS" AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:

STRUCTURAL STEEL SHAPES – W SHAPES	ASTM A992 (GRADE 50)
STRUCTURAL STEEL TUBES	ASTM A500, GRADE B, FY=46 KSI
STRUCTURAL STEEL PIPES	ASTM A500, GRADE B, FY=42 KSI
STRUCTURAL STEEL PLATES	ASTM A36 MIN
STEEL ANGLES AND CHANNELS	ASTM A36 MIN

MASONRY

ALL MASONRY WORK SHALL CONFORM TO THE LATEST EDITION OF "BUILDING CODE REQUIREMENTS MASONRY STRUCTURES" (ACI 530/ ASCE 5)

UNLESS OTHERWISE APPROVED BY THE STRUCTURAL ENGINEER ON THE BASIS OF PRISM TEST THE COMPONENTS OF THE MASONRY SHALL BE AS GIVEN BELOW:
ALL CONCRETE MASONRY UNITS (CMU) SHALL CONFORM TO ASTM C90, GRADE N-1, RUNNING BOND WITH AN INDIVIDUAL COMPRESSIVE STRENGTH OF 1500 PSI. MORTAR FOR BLOCK WALL CONSTRUCTION SHALL BE TYPE M OR S CONFORMING TO ASTM C270, WITH A MIN. INDIVIDUAL COMPRESSIVE STRENGTH OF 1800 PSI. GROUT FOR PIERS AND BLOCK WALLS SHALL CONFORM TO ASTM C1019.

UNLESS OTHERWISE NOTED ON PLANS, PROVIDE THE FOLLOWING MINIMUM REINFORCEMENT:
8" CMU WALLS - #5 @ 32" O.C. VERTICAL, 2-#5 FOR EACH BOND BEAM, U.N.O.
6" CMU WALLS - #5 @ 32" O.C. VERTICAL, 1-#5 FOR EACH BOND BEAM, U.N.O.
CONTINUOUS WIRE REINFORCING (HORIZONTAL JOINT REINFORCING) SHALL BE DUR-O-WALL. STANDARD TRUSS TYPE @ 16" O.C. VERTICAL FOR ALL 6" & 8" CMU WALLS.

ADDITIONAL REINFORCING IN MASONRY WALLS:
ALL REINFORCED CELLS SHALL BE FULLY GROUTED TO TOP OF WALL USING HI-LIFT OR LOW-LIFT GROUTING PROCEDURES.

PROVIDE BOND BEAMS AT THE TOP OF ALL WALLS AT EACH FLOOR LEVEL, AND WHERE SHOWN ON THE DRAWINGS. PROVIDE BENT BARS PER TYPICAL DETAILS TO MATCH HORIZONTAL BOND BEAM REINFORCEMENT AT CORNERS AND WALL INTERSECTIONS.

PROVIDE ADDITIONAL VERTICAL REINFORCEMENT IN THE CELLS IMMEDIATELY ADJACENT TO EACH SIDE OF A MASONRY OPENING AND IN THE CELLS OF DISCONTINUOUS WALLS. THESE BARS ARE TO EXTEND FULL HEIGHT OF THE WALL OR IN THE CASE OF MASONRY OPENINGS AT MULTI-STORY WALLS, FROM STORY TO LEVEL ABOVE TO STORY LEVEL BELOW AT THE OPENING. EXTEND ADDITIONAL REINFORCEMENT A MINIMUM OF 40 BAR DIAMETERS BEYOND THE OPENING.

EXPANSION BOLTS AND ANCHOR BOLTS SHALL BE LOCATED AT SOLID CELLS OR BOND BEAMS. WOOD NAILERS ON MASONRY SHALL BE ANCHORED WITH 1/2" DIA. ANCHOR BOLTS @ 2'-8" O.C. AND 6" EMBEDMENT UNLESS NOTED OTHERWISE.

VERTICAL AND HORIZONTAL REINFORCING NOTED ON PLAN SHALL GOVERN.

SHOP DRAWINGS

SHOP DRAWINGS SHALL BE SUBMITTED FOR CONCRETE, REINFORCING STEEL, AND MASONRY REINFORCING (INCLUDING MASONRY WALL ELEVATIONS).

THE CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMITTAL. THE SUBMITTAL SHALL BEAR SIGN REVIEW STAMP OF THE CONTRACTOR. SUBMITTALS WITHOUT THIS STAMP WILL BE RETURNED WITHOUT REVIEW. ITEMS NOT IN ACCORDANCE WITH CONTRACT DOCUMENTS SHALL BE FLAGGED UPON HIS REVIEW.

ALL DIMENSIONS TO BE VERIFIED WITH ARCHITECTURAL PLANS.

ANY CHANGES, SUBSTITUTIONS, OR DEVIATIONS FROM CONTRACT DOCUMENTS SHALL BE CLOUDED BY MANUFACTURER OR FABRICATOR. ANY OF THE AFOREMENTIONED WHICH ARE NOT CLOUDED OR FLAGGED BY SUBMITTING PARTIES SHALL NOT BE CONSIDERED APPROVED AFTER ENGINEER'S REVIEW, UNLESS NOTED OTHERWISE.

THE ENGINEER HAS THE RIGHT TO APPROVE OR DISAPPROVE ANY CHANGES TO CONTRACT DOCUMENTS AT ANYTIME BEFORE OR AFTER SHOP DRAWING REVIEW.

THE SHOP DRAWINGS DO NOT REPLACE THE CONTRACT DOCUMENTS. ITEMS OMITTED OR SHOWN INCORRECTLY AND ARE NOT FLAGGED BY THE STRUCTURAL ENGINEER OR ARCHITECT ARE NOT TO BE CONSIDERED CHANGES TO CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE SURE ITEMS ARE CONSTRUCTED TO CONTRACT DOCUMENTS.

THE ADEQUACY OF ENGINEERING DESIGNS AND LAYOUT PERFORMED BY OTHERS RESTS WITH THE DESIGNING OR SUBMITTING AUTHORITY.

REVIEWING IS INTENDED ONLY AS AN AID TO THE CONTRACTOR IN OBTAINING CORRECT SHOP DRAWINGS. RESPONSIBILITY FOR CORRECTNESS SHALL REST WITH THE CONTRACTOR.

SHOP DRAWINGS SHALL BE SUBMITTED IN A TIMELY FASHION TO ALLOW 10 WORKING DAYS FOR THE ENGINEER'S REVIEW.

MISCELLANEOUS LINTEL

UNLESS OTHERWISE NOTED OR SHOWN, PROVIDE LINTELS FOR OPENINGS REQUIRED BY OTHER DISCIPLINES (MECHANICAL, ELECTRICAL, PLUMBING, ETC.). PROVIDE MINIMUM OF 5" BEARING OF ANGLES.

LINTELS SHALL BE 6" LONGER THAN MASONRY OPENINGS, AND PLACED SYMMETRICALLY ABOUT THE CENTERLINE OF OPENING. LONG LEGS SHALL BE VERTICAL. ALL EXTERIOR LINTELS SHALL BE HOT DIPPED GALVANIZED.

LINTELS, OR THE OPENINGS THEY SPAN, SHALL NOT BE PLACED SO AS TO INTERFERE WITH THE REQUIREMENTS OF OTHER STRUCTURAL ELEMENTS (I.E. BOND BEAMS, LINTELS, CONTROL JOINTS, CONCENTRATED POINTS OF BEARING, ETC.) WITHOUT THE PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.

SOLID GROUT SHALL BE PROVIDED BETWEEN WEBS AND MASONRY FACE SHELLS FOR FULL LENGTH OF ALL STEEL LINTELS. MORTAR MAY BE USED FOR GROUT FOR THIS PURPOSE ONLY. FACE UNITS, SOAP, ROMANS, ETC. SHALL BE LAID WITH FULL HEAD AND BED JOINTS.

REFER TO TYPICAL DETAILS FOR ADDITIONAL INFORMATION AT OPENINGS IN MASONRY WALLS.

QUALITY ASSURANCE:

1. THE OWNER SHALL EMPLOY AND PAY FOR THE SERVICES OF AN INDEPENDENT TESTING AGENCY TO PROVIDE QUALITY ASSURANCE TESTING AND INSPECTION FOR THE WORK SPECIFIED IN CHAPTER 17 OF THE MSBC. THE TESTING AGENCY SHALL BE LICENSED IN THE COMMONWEALTH OF MASSACHUSETTS AND ALL TESTING AND INSPECTIONS SHALL BE PERFORMED UNDER THE SUPERVISION OF AN ENGINEER REGISTERED IN THE COMMONWEALTH OF MASSACHUSETTS.
2. FAILURE OF QUALITY ASSURANCE AND INSPECTIONS TO DETECT ANY DEFECTIVE WORK OR MATERIAL SHALL NOT IN ANY WAY PREVENT SUBSEQUENT REJECTION WHEN DEFECTS ARE NOTED, NOR SHALL IT OBLIGATE THE OWNER AS REPRESENTING FINAL ACCEPTANCE.
3. REFER TO THE SPECIFICATIONS FOR SPECIFIC REQUIREMENTS FOR QUALITY ASSURANCE TESTING AND INSPECTIONS.
4. THE TESTING AGENCY AND ITS REPRESENTATIVES ARE NOT AUTHORIZED TO REMOVE OR ALTER PROJECT REQUIREMENTS, OR PERFORM ANY DUTIES OF THE CONTRACTOR.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF THE TESTING AT APPLICABLE INTERVALS, WITH REQUIRED NOTICE TO THE TESTING AGENCY.
6. RECORDS OF INSPECTIONS SHALL BE MADE AVAILABLE TO THE BUILDING OFFICIAL DURING THE PROGRESS OF THE WORK, AND FOR TWO YEARS AFTER COMPLETION OF THE PROJECT.
7. THE CONTRACTOR SHALL SUBMIT A SCHEDULE OF SHOP DRAWING SUBMITTAL DATES AT LEAST 30 DAYS PRIOR TO THE FIRST SUBMITTAL. FAILURE TO SUBMIT DRAWINGS ON DESIGNATED DATE MAY IMPACT REVIEW SCHEDULE. THE CONTRACTOR SHALL PROVIDE FOR REVIEW AND RESUBMITTAL OF SHOP DRAWINGS IN THE PROJECT SCHEDULE.

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REVISIONS		
Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO: 2430.03
DATE: 07/01/26
SCALE:
DRAWN BY: JG
CHECKED BY: EL

GENERAL NOTES

S-000

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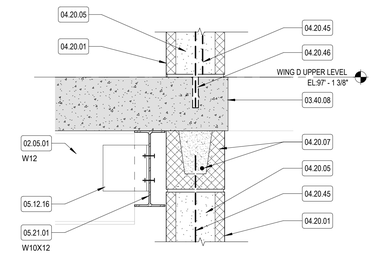

7 **TYP DETAIL @ NEW STUCTURE & CMU**
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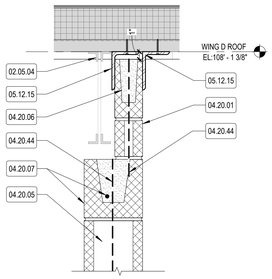

11 **TYP LIFT SHAFT @ JOIST DETAIL**
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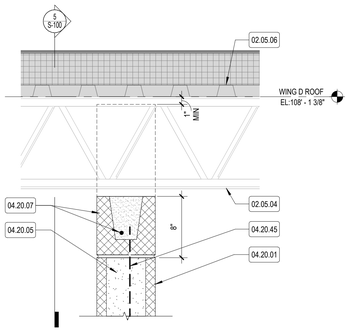

6 **TYP LIFT SHAFT @ JOIST DETAIL**
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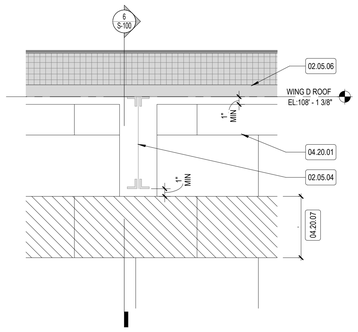

5 **TYP LIFT SHAFT @ JOIST DETAIL**
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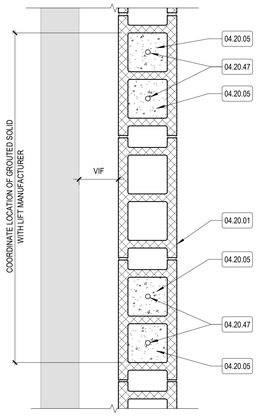

10 **TYP LIFT WALL @ BRACKET LOCATION**
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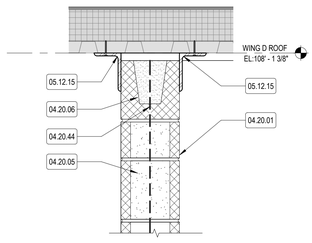

9 **TYP LIFT SHAFT @ ROOF DECK DETAIL**
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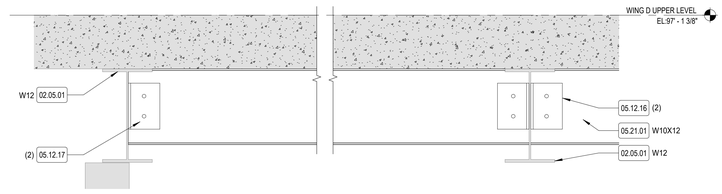

4 **TYP DETAIL @ EXISTING STUCTURE**
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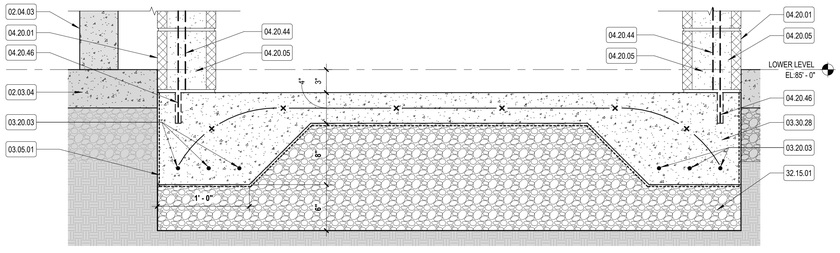

8 **TYP LIFT SHAFT @ FLOOR SLAB DETAIL**
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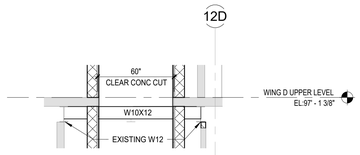
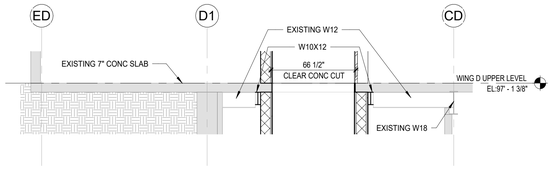


3 **SHORT SECTION**
SCALE: 1/4" = 1'-0"



2 **LONG SECTION**
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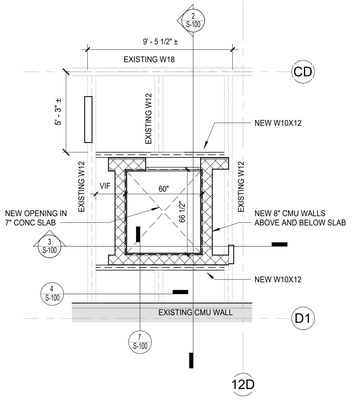

1 **LIFT LOWER LEVEL PLAN**
SCALE: 1/4" = 1'-0"

KEYNOTE LEGEND

NUMBER	DESCRIPTION
02.03.04	EXISTING CONCRETE SLAB TO REMAIN
02.04.03	EXISTING MASONRY WALL TO REMAIN
02.05.01	EXISTING STEEL STRUCTURE TO REMAIN
02.05.04	EXISTING K BAR JOIST TO REMAIN
02.05.06	EXISTING METAL DECK ON BAR JOISTS
03.05.01	VAPOR BARRIER
03.20.03	(3) #5 CONTINUOUS AT PERIMETER; 6x6 W1.4xW1.4 WWF IN 4" SLAB
03.30.28	NEW SLAB FOR LIFT WITH 4000 PSI CONCRETE (3-5" SLUMP)
03.40.08	SAW CUT EDGE OF EXISTING 7" SLAB
04.20.01	8" CMU BLOCK BY [401]
04.20.05	FULLY GROUTED CELL BY [401]
04.20.06	BOND BEAM BY [401]
04.20.07	8" BOND BEAM AT TOP WITH (1) #5 CONTINUOUS, FULLY GROUTED BY [401]
04.20.44	#5 AT 48" OC MIN, IN FULLY GROUTED CELL. DOWEL MASONRY INTO SLAB BY [401]
04.20.45	#5 AT 32" OC MAX AT DOOR JAMBS AND CORNERS IN FULLY GROUTED CELL BY [401]
04.20.46	#5 X 2'-0" AT EACH VERTICAL REBAR. DRILL 3/4" DIA X 4" HOLE IN SLAB, FILL HOLE WITH EPOXY AND INSERT DOWEL BY [401]
04.20.47	#5 AT BRACKET LOCATION, FULL HEIGHT OF WALL. (2) CELLS AT EACH BRACKET, MIN BY [401]
05.12.15	L5x3-1/2x1/4x4" LLV AT 32" OC MAX WITH (2) #12 TEK SCREWS TO DECK
05.12.16	L6x4x5/16
05.12.17	L4x4x1/4
05.21.01	STRUCTURAL STEEL, STEEL JOIST. REF. STRUCTURAL
32.15.01	GRAVEL INFILL

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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

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PROJECT NO:	2430.03
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STRUCTURAL LIFT DETAILS

S-100

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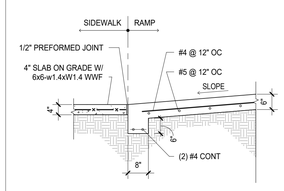

6 **RAMP TO SIDEWALK**
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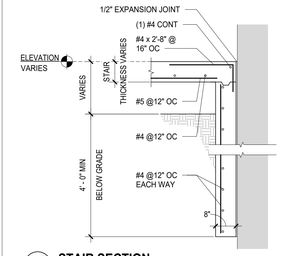

5 **STAIR SECTION**
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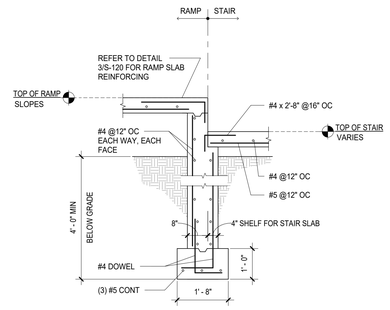
NOTE: RAILING NOT SHOWN FOR CLARIY



4 **RAMP / STAIR SECTION**
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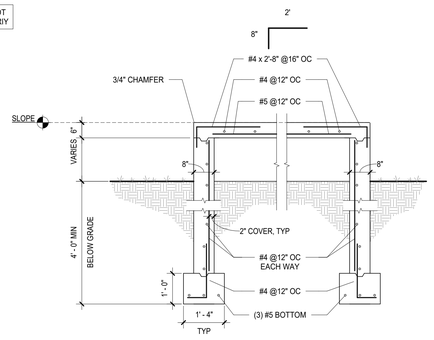

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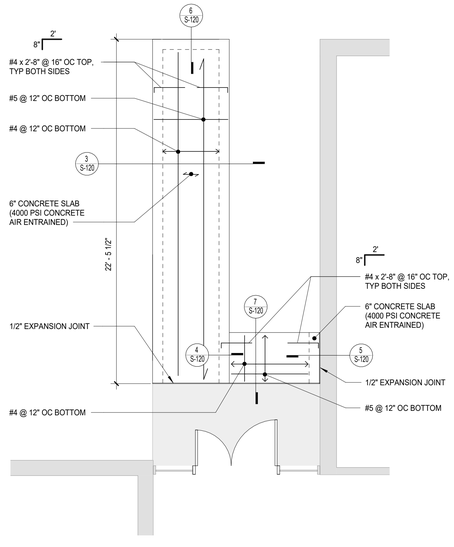
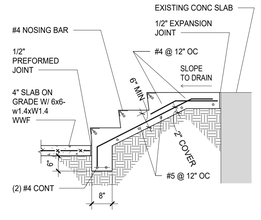


2 **LOWER LEVEL F WING EXTERIOR RAMP SLAB REINFORCING**
SCALE: 1/4" = 1'-0"

NOTE: RAILING NOT SHOWN FOR CLARIY



7 **STAIR TO SIDEWALK SECTION**
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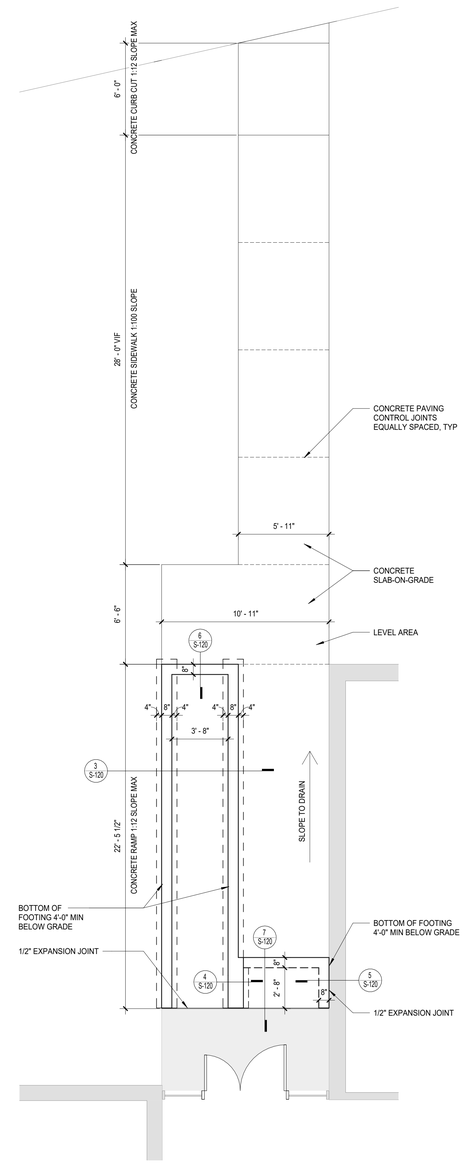

1 **LOWER LEVEL F WING EXTERIOR RAMP FOUNDATION PLAN**
SCALE: 1/4" = 1'-0"

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CHECKED BY:	MB / EL

STRUCTURAL RAMP DETAILS

S-120

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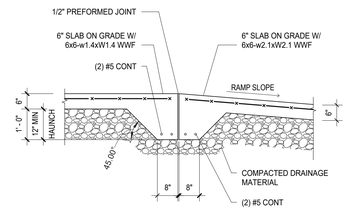
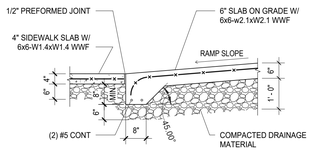


7 **LANDING TO RAMP SECTION**
SCALE: 1/2" = 1'-0"

NOTE: RAILING NOT SHOWN FOR CLARIY



6 **RAMP TO SIDEWALK SECTION**
SCALE: 1/2" = 1'-0"

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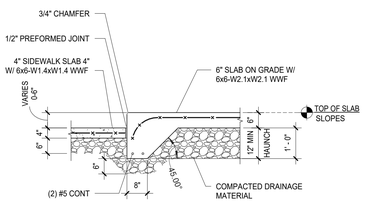

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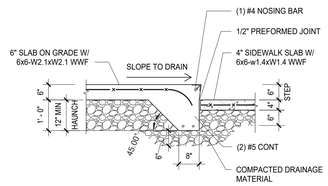
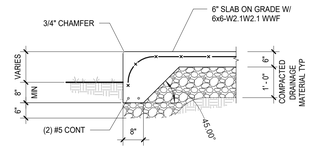
NOTE: RAILING NOT SHOWN FOR CLARIY

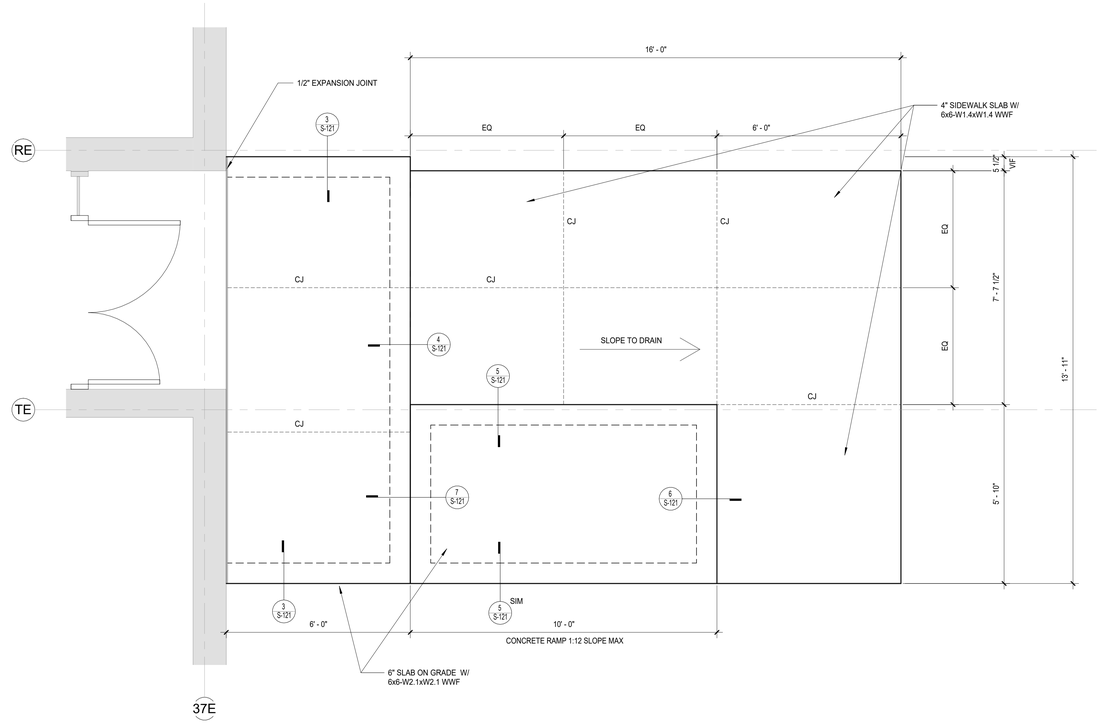


4 **STAIR TO SIDEWALK SECTION**
SCALE: 1/2" = 1'-0"

NOTE: RAILING NOT SHOWN FOR CLARIY



3 **LANDING SECTION**
SCALE: 1/2" = 1'-0"



1 **FOUNDATION PLAN**
SCALE: 1/2" = 1'-0"

HABEEB & ASSOCIATES ARCHITECTS
H&A
100 CONCORD STREET
SUITE 200
WORCESTER, MA 01609
413 MAIN AND ST
SPRINGFIELD, MA 01103
habeebarch.com

BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS		
Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO:	2430.03
DATE:	07/01/26
SCALE:	1/2" = 1'-0"
DRAWN BY:	JG
CHECKED BY:	MB / EL

STRUCTURAL RAMP DETAILS

S-121

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VIEW KEY

NAME — LEVEL NAME
10'-0" — HEIGHT ABOVE PROJECT 0'-0"

1 — KEYNOTE: INDICATES NOTE USED TO DESCRIBE ADDITIONAL INFORMATION ABOUT WORK REQUIRED, SPECIFIC TO THE SHEET AND/OR DETAIL

INDICATES DIRECTION OF TRUE NORTH
PLAN OR DETAIL NUMBER
PLAN OR DETAIL NAME
VIEW NAME
1/8" = 1'-0"
PLAN OR DETAIL SCALE
NORTH

INDICATES SIMILAR DETAIL REFERENCED IN MULTIPLE LOCATIONS
DETAIL REFERRED TO BY SECTION CUT
SHEET DETAIL IS LOCATED ON

LINE TYPE AND TAG KEY:

NEW WORK BY THIS CONTRACTOR (WIDE LINE)
NEW
EXISTING TO BE REMOVED (SHORT DASHED PATTERN)
NEW UNDERFLOOR OR UNDERGROUND (LONG DASHED PATTERN)

EXISTING TO REMAIN OR WORK BY OTHERS (NARROW LINE)
EXISTING
EXISTING TO BE REMOVED BY OTHERS (SHORT DASHED PATTERN)
EXISTING UNDERFLOOR OR UNDERGROUND (LONG DASHED PATTERN)

HALFTONING DOES NOT MODIFY SCOPE.

'TAG'-E — TAGS WITH DASH 'E' INDICATES THE REFERENCED OBJECT IS EXISTING

TAG-1 — UNDERLINED TAG INDICATES OBJECT IS IN-SCOPE. IF NEW, ADDITIONAL INFORMATION IS AVAILABLE IN A SCHEDULE, MATERIAL LIST, OR SYMBOL LIST

INDICATES AN EXISTING SYSTEM'S POINT OF CONNECTION/REMOVAL

FIRE / SMOKE BARRIER DESIGNATIONS

FIRE AND SMOKE SEPARATIONS ARE NOT SHOWN ON THESE DOCUMENTS. CONTRACTOR SHALL REVIEW THE ARCHITECTURAL PLANS AND DETERMINE THE LOCATIONS OF ALL FIRE AND SMOKE PARTITIONS, BARRIERS, AND WALLS. THIS INCLUDES FLOOR RATINGS. PRICING SHALL INCLUDE ALL MATERIALS AND LABOR REQUIRED TO MAINTAIN THE RATINGS OF ALL RATED SEPARATIONS, WHETHER SHOWN ON THE ENGINEERING PLANS OR NOT.

CONTRACTOR ABBREVIATION KEY

ABBR:	DESCRIPTION:
A.C.	ASBESTOS ABATEMENT CONTRACTOR
A.V.C.	AUDIO/VISUAL CONTRACTOR
C.C.	CIVIL CONTRACTOR
C.M.	CONSTRUCTION MANAGER
E.C.	ELECTRICAL CONTRACTOR
F.P.C.	FIRE PROTECTION CONTRACTOR
F.S.C.	FOOD SERVICE CONTRACTOR
G.C.	GENERAL CONTRACTOR
H.C.	HEATING CONTRACTOR
M.C.	MECHANICAL CONTRACTOR
N.C.C.	NURSE CALL CONTRACTOR
P.C.	PLUMBING CONTRACTOR
S.C.	SECURITY CONTRACTOR
T.C.	TECHNOLOGY CONTRACTOR
T.C.C.	TEMPERATURE CONTROLS CONTRACTOR
V.C.	VENTILATION CONTRACTOR

PLUMBING SLOPE REQUIREMENTS:

BASED ON PLUMBING CODE: 248 CMR 10 (2023)

INTERIOR:

SANITARY WASTE:	≤3"ø=1/4" PER FOOT ≥4"ø = 1/8" PER FOOT
CONDENSATE AND INDIRECT DRAINAGE:	1/8" PER FOOT
SANITARY VENT:	NO SPECIFIC PITCH, PITCH TO FIXTURES
DOMESTIC WATER:	NO SPECIFIC PITCH, PITCH TO FIXTURES

PLUMBING SHEET INDEX

P000	PLUMBING COVERSHEET
P100	LOWER LEVEL DEMOLITION PLAN - PLUMBING OVERALL
P101	UPPER LEVEL DEMOLITION PLAN - PLUMBING OVERALL
P200	LOWER LEVEL PLAN - PLUMBING OVERALL
P300	PLUMBING ENLARGED PLANS
P400	PLUMBING DETAILS
GRAND TOTAL: 6	

PLUMBING ABBREVIATION KEY

ABBR:	DESCRIPTION:
AD	ACCESS DOOR
AFF	ABOVE FINISHED FLOOR
BFP	BACKFLOW PREVENTER
BT	BATHTUB
CB	CATCH BASIN
CI	CAST IRON
CO	CLEANOUT
CS	CLINICAL SINK
DB	DIALYSIS BOX
DF	DRINKING FOUNTAIN
DI	DUCTILE IRON
DN	DOWN
E	EXISTING
EE	EMERGENCY EYEWASH
ES	EMERGENCY SHOWER
ESE	EMERGENCY SHOWER/EYEWASH
EWC	ELECTRIC WATER COOLER
FCO	FLOOR CLEANOUT
FD	FLOOR DRAIN
FM	FLOW METER
FS	FLOOR SINK
GD	GARBAGE DISPOSER
GI	GREASE INTERCEPTOR
HB	HOSE BIBB
I.E.	INVERT ELEVATION (FOR REFERENCE ONLY)
L or LAV	LAVATORY
MB	MOP BASIN
MH	MANHOLE
MV	MIXING VALVE
NIC	NOT IN CONTRACT
NT	NEUTRALIZATION TANK
OS	OIL SEPARATOR
RD	ROOF DRAIN
SCCR	SHORT CIRCUIT CURRENT RATING
SH	SHOWER
SK	SINK
SS	SERVICE SINK
TD	TRENCH DRAIN
TP	TRAP PRIMER
TYP	TYPICAL
UR	URINAL
VTR	VENT THROUGH ROOF
WC	WATER CLOSET
WCO	WALL CLEANOUT
WF	WASH FOUNTAIN
WH	WATER HEATER
WMF	WASHING MACHINE FIXTURE
WM	WATER METER
WS	WATER SOFTENER
UB	UTILITY BOX
UON	UNLESS OTHERWISE NOTED
YCO	YARD CLEANOUT

SYMBOL LIST - PLUMBING SYSTEMS

SYMBOL	DESCRIPTION
CW	COLD WATER - POTABLE
HW	HOT WATER - POTABLE
SAN	SANITARY DRAINAGE
V	VENT

SYMBOL LIST - PIPE ACCESSORIES

SYMBOL	DESCRIPTION
	ENDCAP
	PIPE DOWN AND PIPE UP / UP AND DOWN
	REDUCER
	SHUTOFF VALVE

PLUMBING ROUGH-IN SCHEDULE

NOTES: (APPLIES TO ALL PLUMBING FIXTURES LISTED BELOW)
1) SIZES SHOWN ARE MINIMUMS. LARGER SIZES SHOWN ON THE DRAWING SHALL DICTATE THE ROUGH-IN SIZE. 2) SANITARY RISERS UP IN WALL TO FIXTURES SHALL BE A MINUMUM OF 2". 3) DOMESTIC WATER BRANCH PIPING OUTSIDE OF THE WALL/CHASE SHALL BE A MINIMUM OF 3/4" UNLESS NOTED OTHERWISE. ONLY THE FINAL RISE-DROP SHALL BE SMALLER. 4) FINAL SANITARY SIZE SHALL MATCH P-TRAP SIZE (REFER TO MATERIAL LIST).

TAG NAME	DESCRIPTION	CW	HW	SAN	VENT
L-1	LAVATORY (ACCESSIBLE)	1/2"	1/2"	1 1/2"	1 1/2"
WC-1	WATER CLOSET (ACCESSIBLE)	1 1/2"	-	4"	2"

MECHANICAL RENOVATION NOTES:

THESE NOTES APPLY TO ALL MECHANICAL SHEETS AND TRADES, INCLUDING BUT NOT LIMITED TO VENTILATION, PIPING AND TEMPERATURE CONTROL.

1. EXISTING CONDITIONS ARE SHOWN BASED ON INFORMATION OBTAINED FROM FIELD SURVEYS, EXISTING BUILDING DOCUMENTS, AND STAFF. VERIFY EXISTING CONDITIONS AND REPORT ANY CONFLICTS BEFORE PROCEEDING.
2. NOT ALL EXISTING DUCTWORK AND PIPING IS SHOWN. VERIFY EXISTING CONDITIONS BEFORE STARTING WORK. NOTIFY ENGINEER OF ANY CONFLICTS WITH NEW WORK.
3. FIELD VERIFY THE AVAILABLE CLEARANCES FOR DUCTWORK AND PIPING BEFORE FABRICATION. RISES AND DROPS MAY BE NECESSARY BECAUSE OF EXISTING FIELD CONDITIONS.
4. EACH CONTRACTOR SHALL FIELD VERIFY ACCESSIBILITY TO THE AREA OF THEIR WORK AND SHALL NOTIFY THE GENERAL CONTRACTOR PRIOR TO BIDDING IF OTHER UTILITIES ARE REQUIRED TO BE REMOVED OR RELOCATED TO ALLOW ACCESS TO THEIR AREA OF WORK. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CUTTING, REMOVAL AND PATCHING OF ROOFS, WALLS, AND FLOORS ASSOCIATED WITH WORK BY ALL CONTRACTORS. CONTRACTORS SHALL NOTIFY THE GC OF AFFECTED AREAS PRIOR TO BIDDING
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF CEILINGS, CEILING TILES, AND CEILING GRIDS ASSOCIATED WITH AREAS OF WORK BY ALL CONTRACTORS.
6. WHERE EXISTING MECHANICAL SYSTEMS DIFFER FROM THOSE SHOWN ON THE PROJECT DRAWINGS AND CREATE CONFLICTS WITH NEW EQUIPMENT, PIPING, OR DUCTWORK INSTALLATIONS, THE CONTRACTOR SHALL PROVIDE DETAILED DOCUMENTATION (SUCH AS SKETCHES, PHOTOS, AND DIMENSIONS) ALONG WITH RECOMMENDATIONS TO RESOLVE THE CONFLICT. THIS INFORMATION MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL. NO WORK RELATED TO THE CONFLICT SHALL PROCEED UNTIL AN APPROVED RESOLUTION IS PROVIDED BY THE ENGINEER.
7. PROVIDE TEMPORARY CONNECTIONS TO MAINTAIN EXISTING SYSTEMS IN SERVICE DURING CONSTRUCTION. MAINTAIN ACCESS TO EXISTING MECHANICAL INSTALLATIONS THAT REMAIN ACTIVE.
8. OBTAIN PERMISSION FROM OWNER BEFORE SHUTTING DOWN ANY SYSTEM FOR ANY REASON. MAINTAIN SERVICE TO ALL COMPONENTS THAT ARE TO REMAIN UNTIL NEW SYSTEMS ARE INSTALLED.
9. MAINTAIN EXISTING SYSTEM IN SERVICE UNTIL NEW SYSTEM IS COMPLETE AND READY FOR TIE IN AND SWITCHOVER. DRAIN SYSTEM ONLY TO MAKE SWITCHOVERS AND CONNECTIONS. OBTAIN PERMISSION FROM OWNER BEFORE PARTIALLY OR COMPLETELY DRAINING SYSTEM. MAKE CHANGEOVER TO NEW SYSTEMS WITH MINIMUM OUTAGE.
10. PROPERLY RECLAIM AND DISPOSE OF ALL REFRIGERANT IN REMOVED EQUIPMENT/ REFRIGERANT PIPING. RECLAIMED REFRIGERANT SHALL HAVE DOCUMENTATION AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION (AHJ).

PLUMBING GENERAL NOTES:

1. THE SYMBOLS AND THE MATERIAL LIST ARE FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR SHALL VERIFY QUANTITIES AND FURNISH ALL MATERIALS REQUIRED FOR FULLY OPERATIONAL SYSTEMS, WHETHER SPECIFIED OR NOT.
2. CATALOG NUMBERS SHALL NOT BE CONSIDERED COMPLETE, BUT ARE GIVEN AS AN AID TO THE CONTRACTOR AND TO INDICATE THE QUALITY REQUIRED. CONTRACTOR IS RESPONSIBLE FOR A COMPLETE DESCRIPTION OF MATERIAL ON THESE DRAWINGS AND IN THE SPECIFICATIONS BEFORE ORDERING. THE DESCRIPTION OF THE MATERIAL TAKES PRECEDENCE OVER THE CATALOG NUMBER. THE FIRST MANUFACTURER LISTED IS THE BASIS OF DESIGN.
3. CONTRACTOR SHALL VERIFY THAT FIXTURES SUPPLIED ARE APPROVED PER ALL APPLICABLE STATE, LOCAL AND GOVERNING AUTHORITIES.
4. ALL FIXTURES SHALL CONFORM TO FEDERAL ACT S.3874
5. INVERT ELEVATIONS ARE FROM EXISTING DRAWINGS AND MAY NOT BE ACCURATE. VERIFY ALL ELEVATIONS BEFORE BEGINNING WORK.
6. VERIFY UNDERGROUND PIPE SIZES, INVERT ELEVATIONS, AND LOCATIONS PRIOR TO BEGINNING ANY WORK.
7. REFER TO THE PLUMBING ROUGH-IN SCHEDULE FOR THE SIZES OF BRANCH PIPES TO PLUMBING FIXTURES.
8. FOR CLARITY, NOT ALL VALVES HAVE BEEN SHOWN. PROVIDE SHUTOFF VALVES IN DOMESTIC WATER PIPING SERVING EACH ROOM WITH FIXTURES. ANGLE STOPS SHALL NOT BE CONSIDERED SHUTOFF VALVES.
9. EXISTING CONDITIONS ON DEMOLITION PLANS ARE PROVIDED TO INDICATE THE GENERAL SCOPE OF ITEMS TO BE REMOVED. REFER TO SPECIFICATION SECTION 22 05 05 FOR ADDITIONAL DEMOLITION INFORMATION.
10. P.C. SHALL CUT AND PATCH EXISTING AS REQUIRED FOR NEW OR DEMOLITION WORK UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTION 22 05 05 FOR ADDITIONAL INFORMATION.

MECHANICAL GENERAL NOTES:

THESE NOTES APPLY TO ALL MECHANICAL SHEETS AND TRADES, INCLUDING BUT NOT LIMITED TO VENTILATION, PIPING AND TEMPERATURE CONTROL.

1. DRAWINGS SHOWING LOCATIONS OF EQUIPMENT, DUCTWORK, PIPING, ETC. ARE DIAGRAMMATIC AND MAY NOT ALWAYS REFLECT EXACT INSTALLATION CONDITIONS. DRAWINGS SHOW THE GENERAL ARRANGEMENT OF DUCTWORK, PIPING, EQUIPMENT, ETC., AND MAY NOT INCLUDE ALL OFFSETS AND FITTINGS REQUIRED FOR COMPLETE INSTALLATION. THE DRAWINGS SHALL BE FOLLOWED AS CLOSELY AS ACTUAL BUILDING CONSTRUCTION AND THE WORK OF OTHERS WILL PERMIT.
2. CATALOG AND MODEL NUMBERS SHALL NOT BE CONSIDERED COMPLETE, BUT ARE GIVEN AS AN AID TO THE CONTRACTOR AND TO INDICATE THE QUALITY REQUIRED. CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE DESCRIPTION OF MATERIAL SCHEDULED ON THESE DRAWINGS AND IN THE SPECIFICATIONS BEFORE ORDERING. THE DESCRIPTION OF THE MATERIAL AND SCHEDULED PERFORMANCE TAKES PRECEDENCE OVER THE MODEL NUMBER. THE FIRST MANUFACTURER SCHEDULED IS THE BASIS OF DESIGN.
3. DETERMINATION OF QUANTITIES OF MATERIAL AND EQUIPMENT REQUIRED SHALL BE MADE BY THE CONTRACTOR FROM THE DOCUMENTS. WHERE MATERIAL AND/OR QUANTITY DISCREPANCIES ARISE BETWEEN DRAWINGS, SCHEDULES AND/OR SPECIFICATIONS, THE HIGHER QUALITY/ GREATER NUMBER SHALL GOVERN.
4. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND CLEARANCES FROM ARCHITECTURAL, STRUCTURAL, SUBMITTALS, AND OTHER APPROPRIATE DRAWINGS OR PHYSICALLY AT SITE. REVIEW ALL DRAWINGS, INCLUDING THOSE OF OTHER TRADES.
5. COORDINATE ALL WORK WITH ALL OTHER TRADES PRIOR TO INSTALLATION TO PROVIDE CLEARANCES REQUIRED FOR OPERATION, MAINTENANCE, CODE COMPLIANCE, AND TO VERIFY NON-INTERFERENCE WITH OTHER WORK. DO NOT FABRICATE PRIOR TO VERIFICATION OF NECESSARY CLEARANCES FOR ALL TRADES. BRING ANY INTERFERENCES OR CONFLICTS TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH FABRICATION OR EQUIPMENT ORDERS.
6. REVIEW SPACE REQUIREMENTS OF EQUIPMENT SPECIFIED OR SUBSTITUTED AND MAKE REASONABLE ACCOMMODATIONS IN LAYOUT AND POSITIONING TO PROVIDE PROPER ACCESS.
7. ANY CHANGES REQUIRED TO ELIMINATE CONFLICTS OR THAT RESULT FROM A FAILURE TO COORDINATE SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COST OR EXPENSE TO OTHERS.
8. EACH CONTRACTOR IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ELECTRICAL CHANGES REQUIRED FOR EQUIPMENT PROPOSED THAT DIFFERS FROM THE BASIS OF DESIGN.
9. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN, ELECTRICAL, TECHNOLOGY AUDIO/VISUAL, AND OTHER MECHANICAL PLANS FOR EXACT LOCATIONS OF ALL CEILING MOUNTED DEVICES, OTHER THAN SPRINKLERS.
10. EACH CONTRACTOR IS RESPONSIBLE FOR DAMAGE CAUSED BY THEIR ACTIONS TO WALLS, FLOORS, CEILINGS, AND ROOFS. THE CONTRACTOR WHOSE WORK CAUSES DAMAGE IS RESPONSIBLE FOR PATCHING TO MATCH ORIGINAL CONSTRUCTION, FIRE RATING, AND FINISH.
11. IN AREAS WITH DRYWALL CEILINGS COORDINATE LOCATIONS OF ACCESS PANELS WITH THE GC FOR ACCESS TO VALVES, DUCTWORK ACCESSORIES, DAMPERS, ETC. COORDINATE PANEL TYPE AND COLOR WITH ARCHITECT. NOTIFY THE GC OF THE REQUIRED ACCESS PANELS PRIOR TO BIDDING.
12. SEAL ALL FLOOR, WALL, AND ROOF PENETRATIONS AIRTIGHT WHERE CONDUITS, PIPING, AND DUCTS PENETRATE. PENETRATIONS THROUGH EXTERIOR WALLS AND ROOF SHALL BE SEALED AIRTIGHT WITH WATERPROOFING MATERIALS RECOMMENDED BY MANUFACTURER FOR OUTDOOR USE.
13. CAULK ALL PIPE AND DUCT PENETRATIONS OF FULL HEIGHT NON-FIRE RATED WALL, PARTITION, FLOOR, AND ROOF ASSEMBLIES. THIS IS ESSENTIAL TO PREVENT NOISE TRANSMISSION FROM ONE ROOM TO ANOTHER AND TO PROVIDE THE DESIRED NC LEVELS WITHIN ROOMS.
14. WHERE PIPES AND DUCTS ARE SHOWN TO PENETRATE FLOORS, PROVIDE SLEEVED OPENINGS WITH THE TOP EDGE RAISED ABOVE FLOOR SURFACE IN ACCORDANCE WITH ALL RELEVANT SPEC SECTIONS. SEAL SLEEVE PERIMETER TO BE WATERTIGHT.
15. EQUIPMENT SIZES AND SERVICE CLEARANCE REQUIREMENTS VARY AMONG DIFFERENT MANUFACTURERS. CONSULT APPROVED SHOP DRAWINGS FOR EQUIPMENT SIZES AND REQUIRED SERVICE CLEARANCES. COORDINATE WITH LAYOUT OF EQUIPMENT PADS, PIPING, DUCTWORK, ETC.
16. DO NOT BLOCK TUBE PULL OR EQUIPMENT SERVICE CLEARANCES.
17. MAINTAIN A MINIMUM WORKING CLEARANCE OF 3'-6" IN FRONT OF ALL ELECTRICAL EQUIPMENT REQUIRING MAINTENANCE, INSPECTION, AND TESTING INCLUDING BUT NOT LIMITED TO PANELS, DISTRIBUTION PANELS, SWITCHBOARDS, MOTOR CONTROL CENTERS, TRANSFORMERS, EQUIPMENT DISCONNECTS AND STARTERS.
18. MAINTAIN THE DEDICATED ELECTRICAL EQUIPMENT SPACE DEFINED BY THE WIDTH / DEPTH OF ELECTRICAL EQUIPMENT MEASURED FROM THE FLOOR TO A HEIGHT 6'-0" ABOVE THE EQUIPMENT OR THE STRUCTURAL CEILING, WHICHEVER IS LOWER. SYSTEMS FOREIGN TO THE ELECTRICAL DISTRIBUTION SYSTEM ARE NOT ALLOWED IN THE DEDICATED ELECTRICAL SPACE INCLUDING: DUCTWORK, PIPING, ETC.
19. DO NOT EXCEED 25 LBS PER HANGER AND A MINIMUM SPACING OF 2'-0" ON CENTER WHEN ATTACHING TO METAL ROOF DECKING (LIMITATION NOT REQUIRED WITH CONCRETE ON METAL DECK). THIS 25 LBS. LOAD AND 2'-0" SPACING INCLUDE ADJACENT ELECTRICAL AND ARCHITECTURAL ITEMS HANGING FROM DECK. IF THE HANGER RESTRICTIONS CANNOT BE ACHIEVED, SUPPLEMENTAL FRAMING OFF STEEL FRAMING SHALL BE ADDED. ANCHORS EMBEDDED IN CONCRETE SHALL BE CRACKED CONCRETE APPROVED IN ACCORDANCE WITH SPECIFICATIONS.

PLUMBING MATERIAL LIST

TAG NAME	DESCRIPTION	MANUFACTURER AND MODEL
L-1	LAVATORY - ACCESSIBLE, WALL MOUNTED, WHITE VITREOUS CHINA, 20"x18", 4" HIGH CONTOURED BACKSPLASH, FAUCET HOLES ON 4" CENTERS, DRILLED FOR CONCEALED ARM CARRIER. LAVATORY TRIM - SENSOR ACTIVATED NON-MIXING FAUCET, BATTERY POWERED, BRASS CONSTRUCTION, CHROME-PLATED FINISH, SPOUT WITH SPRAY PATTERN OUTLET, 4" CENTERSET INSTALLATION, PERFORATED GRID STRAINER WITH 1-1/4" 17 GAUGE TAILPIECE, SOLID BRASS SOLENOID WITH BUILT-IN FILTER, WATERPROOF CONNECTORS AND CABLE. MOUNT CONTROLS AND BATTERIES IN WATERPROOF VANDAL-RESISTANT ENCLOSURE BELOW LAVATORY. MAXIMUM FLOW TO BE 0.5 GPM IN COMPLIANCE WITH ENERGY POLICY ACT OF 2005 AND ASME/ANSI STANDARD A112.18.1M. 0.5 GPM FAUCET SHALL COMPLY WITH FEDERAL ACT S.3874. PROVIDE RESTRICTIVE DEVICE AS REQUIRED. MOUNT MIXING VALVE UNDER COUNTER/LAVATORY. MIXING VALVE SHALL NOT BE WYE PATTERN STYLE. MIXING VALVE - POINT-OF-USE ANTI-SCALD THERMOSTATIC MIXING VALVE FOR TEMPERED WATER CONTROL, ALL BRONZE/BRASS CONSTRUCTION, ROUGH FINISH, THREADED INLETS, TAMPER RESISTANT SETPOINT, 3/8" COMPRESSION INLETS AND OUTLETS, COLD WATER BYPASS IF USED WITH MIXING FAUCET 0.5 GPM OUTPUT UNIT TO MIX 120 DEGREE F HOT WATER SUPPLY AND 40 DEGREE F COLD WATER SUPPLY FOR 110 DEGREE F OUTLET. UNIT SHALL BE ASSE 1070 LISTED AND APPROVED. VALVE SHALL COMPLY WITH FEDERAL ACT S.3874. ENCLOSURE - PROVIDE A PREMANUFACTURED RIGID ENCLOSURE FOR TRAP, STOP VALVES AND SUPPLY LINES. ALL TUBING, MODULES AND WIRING SHALL BE LOCATED WITHIN THE ENCLOSURE. REFER TO 22 40 00. MOUNT LAVATORY WITH SUPPORT CARRIER BOLTED SECURELY TO FLOOR AT HEIGHT SPECIFIED BY ARCHITECT.	LAVATORY - AMERICAN STANDARD (0355.012), KOHLER (K-2005), SLOAN (SS-3003), TOTO (LT307), ZURN (Z5364) LAVATORY TRIM - SLOAN (SF-2350), ZURN (Z6915-XL), CHICAGO FAUCETS (EVR SERIES), HYDROTEK (HB-1000C-LR), MOEN (M-POWER CA8301) MIXING VALVE - WATTS (LFUSG-B), LEONARD (170CI-LF), LAWLER (TMM-1070T), ACORN CONTROLS (ST70), APOLLO (34DLF), POWERS (LFE480). SLOAN (MIX-135-A), CHICAGO FAUCETS (131-CABNF), SYMMONS (8210CK), WILKINS (ZW3870XLT) ENCLOSURE - TRUEBRO (LAV SHIELD)
WC-1	WATER CLOSET - ACCESSIBLE, WALL HUNG, FLUSH VALVE TYPE, WHITE VITREOUS CHINA, SIPHON JET, HIGH EFFICIENCY RATED FOR 1.28 GPF, ELONGATED BOWL, 1-1/2" TOP SPUD. FLUSH VALVE - EXPOSED, SENSOR OPERATED, BATTERY POWERED, 1.28 GALLONS PER FLUSH, CHROME PLATED 1" I.P.S. SCREWDRIVER STOP-CHECK VALVE, CHEMICAL RESISTANT MATERIAL, VACUUM BREAKER, SPUD COUPLING AND FLANGE, WALL FLANGE WITH SET SCREW, MECHANICAL OVER-RIDE BUTTON, LOW BATTERY INDICATOR LIGHT, RANGE ADJUSTMENT SCREW, 3 YEAR WARRANTY. SEAT - WHITE, EXTRA HEAVY, OPEN FRONT, INJECTION MOLDED SOLID ANTI-MICROBIAL PLASTIC, SELF-SUSTAINING HINGE, STAINLESS STEEL OR PLATED STEEL POSTS AND NUTS. CONTRACTOR OPTION: COMBINATION WATER CLOSET/FLUSH VALVE PACKAGED SYSTEM BY AMERICAN STANDARD, KOHLER, SLOAN, OR ZURN ACCESSORIES - WATER CLOSET SUPPORT CARRIER RATED FOR 500 LBS. MOUNT WATER CLOSET WITH CARRIER BOLTED SECURELY TO FLOOR. TOP OF SEAT SHALL BEAT AT HEIGHT SPECIFIED BY ARCHITECT. VERIFY EQUIPMENT REQUIREMENTS AND ROUGH-IN LOCATIONS.	WATER CLOSET - AMERICAN STANDARD (2257.101), SLOAN (ST-2050), ZURN (Z5615), KOHLER (K-84325), TOTO (CT708E) FLUSH VALVE - ZURN (ZER6000AV-HET), SLOAN (111-1.28SFSM), HYDROTEK (HBB-128), MOEN (8311), TOTO (TET1LA32#CP), AMTC (AEF-801-CT-12)

PIPE INSULATION SCHEDULE (PLUMBING)

GENERAL NOTES:
1. REFER TO THE SPECIFICATIONS FOR TYPE DESCRIPTIONS AND JACKETING REQUIREMENTS.
2. TYPE A INSULATION IS NOT PERMITTED IN NON-CONDITIONED OR HIGH-HUMIDITY SPACES (E.G., MECHANICAL ROOMS, EXTERIOR, ATTICS, AND AHU SUPPLY/RETURN AIR TUNNELS). AHU TUNNELS SHALL NOT BE CONSIDERED CONDITIONED SPACES.
3. TYPE B INSULATION GREATER THAN 1" THICK SHALL BE INSTALLED USING MULTIPLE LAYERS OF 3/4" OR 1" WITH STAGGERED SEAMS.
4. TYPE E IS NOT ALLOWED IN RETURN AIR PLENUMS, UNLESS LISTED AND LABELED AS 25/50 RATED PER ASTM E84/UL723
5. TYPE G 4" SHALL BE INSTALLED IN TWO (2) 2" LAYERS WITH STAGGERED SEAMS.
6. PROVIDE RIGID INSERT AT HANGERS, EITHER PRE-MANUFACTURED COUPLINGS (REFER TO PIPE HANGER AND SUPPORTS SPECIFICATIONS) OR TYPE C, D, OR E INSULATION. SEE SPEC. FOR MORE DETAILS.
7. DIRECT BURIED PIPING SHALL ONLY USE TYPE C OR TYPE E. REDUCTION IN THICKNESS FOR DIRECT BURIED PIPING IS ALLOWED PER ASHRAE / IECC AS APPLICABLE.

SYMBOL	PIPE SYSTEM	INSULATION TYPE	INSULATION THICKNESS PER NOMINAL PIPE OR TUBE SIZE					NOTES
			< 1"	1" TO < 1.5"	1.5" TO < 4"	4" TO < 8"	≥ 8"	
22 PLUMBING - WATER								
CW	COLD WATER - POTABLE	A (GlsFbr), B (Elasto), E (Plyiso), F (Phenol)	1/2"	1/2"	1"	1"	1"	
HW	HOT WATER - POTABLE	A (GlsFbr), B (Elasto), E (Plyiso), F (Phenol)	1"	1"	1 1/2"	1 1/2"	1 1/2"	

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10 FRANKLIN STREET BOSTON, MA 02110
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PROJECT #YY###### ##

BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS		
Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO:	2430.03
DATE:	06/22/26
SCALE:	As indicated
DRAWN BY:	TL/HP
CHECKED BY:	SG

PLUMBING COVERSHEET

P000

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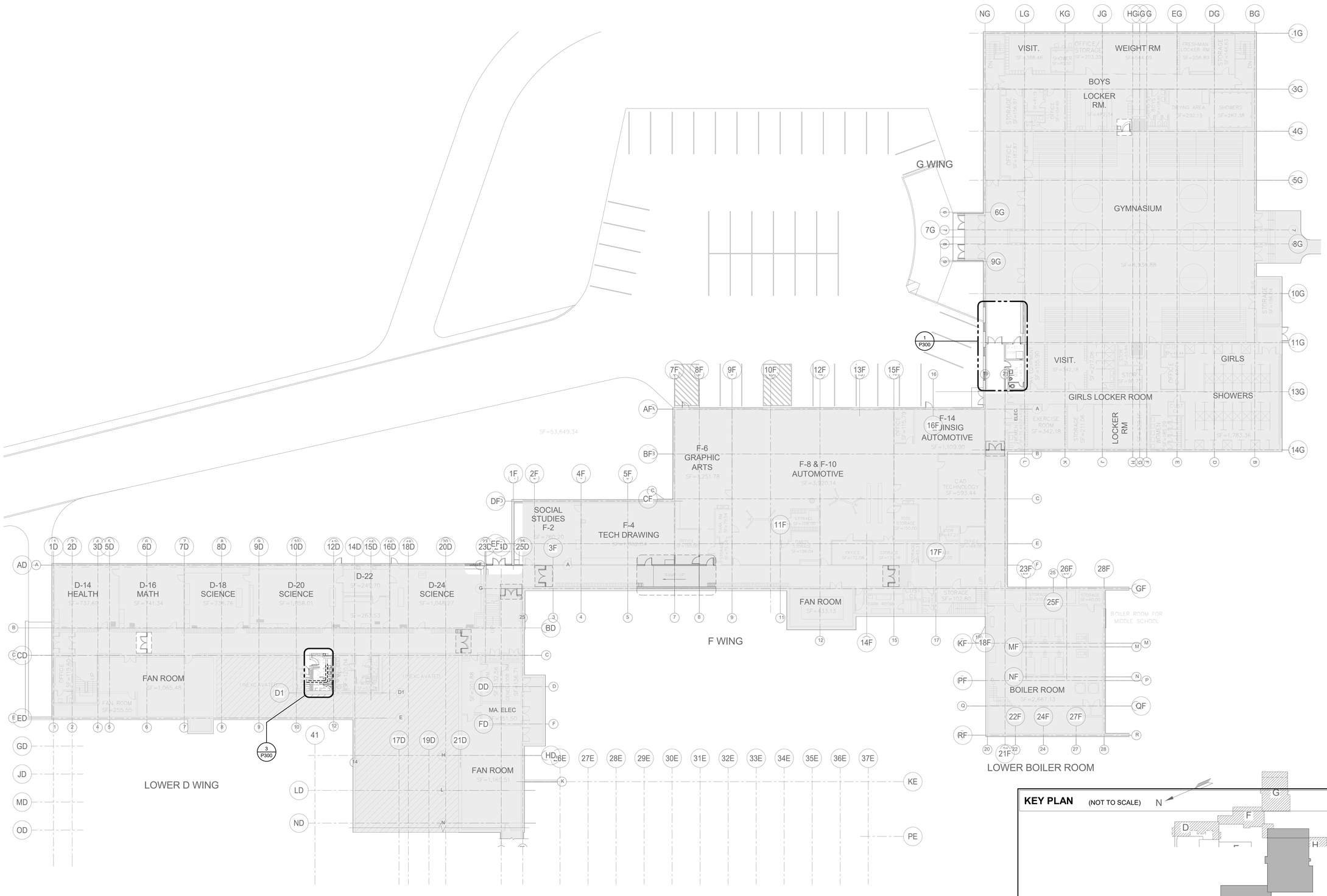
This Border is intended for a 30" x 42" sheet. If printed sheet size differs, refer to graphic bar scales only.

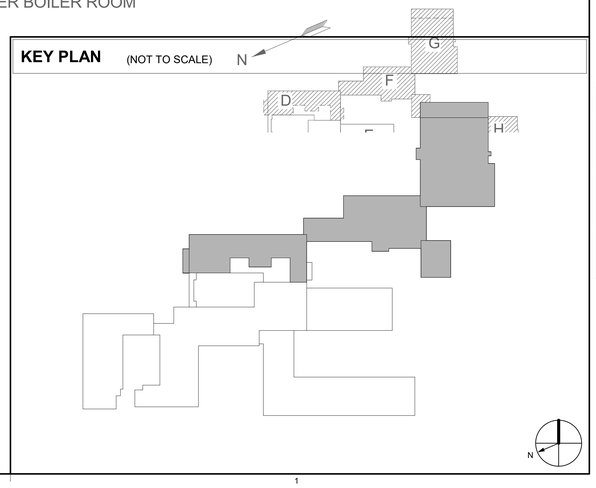
PLOTTED ON: 6/23/2026 4:17:16 PM



1 LOWER LEVEL DEMOLITION PLAN - PLUMBING OVERALL

1/16" = 1'-0"

KEY PLAN (NOT TO SCALE)



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PROJECT #YY#######.##

BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS

Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO:	2430.03
DATE:	06/22/26
SCALE:	1/16" = 1'-0"
DRAWN BY:	TL/HP
CHECKED BY:	SG

LOWER LEVEL DEMOLITION PLAN - PLUMBING OVERALL

P100

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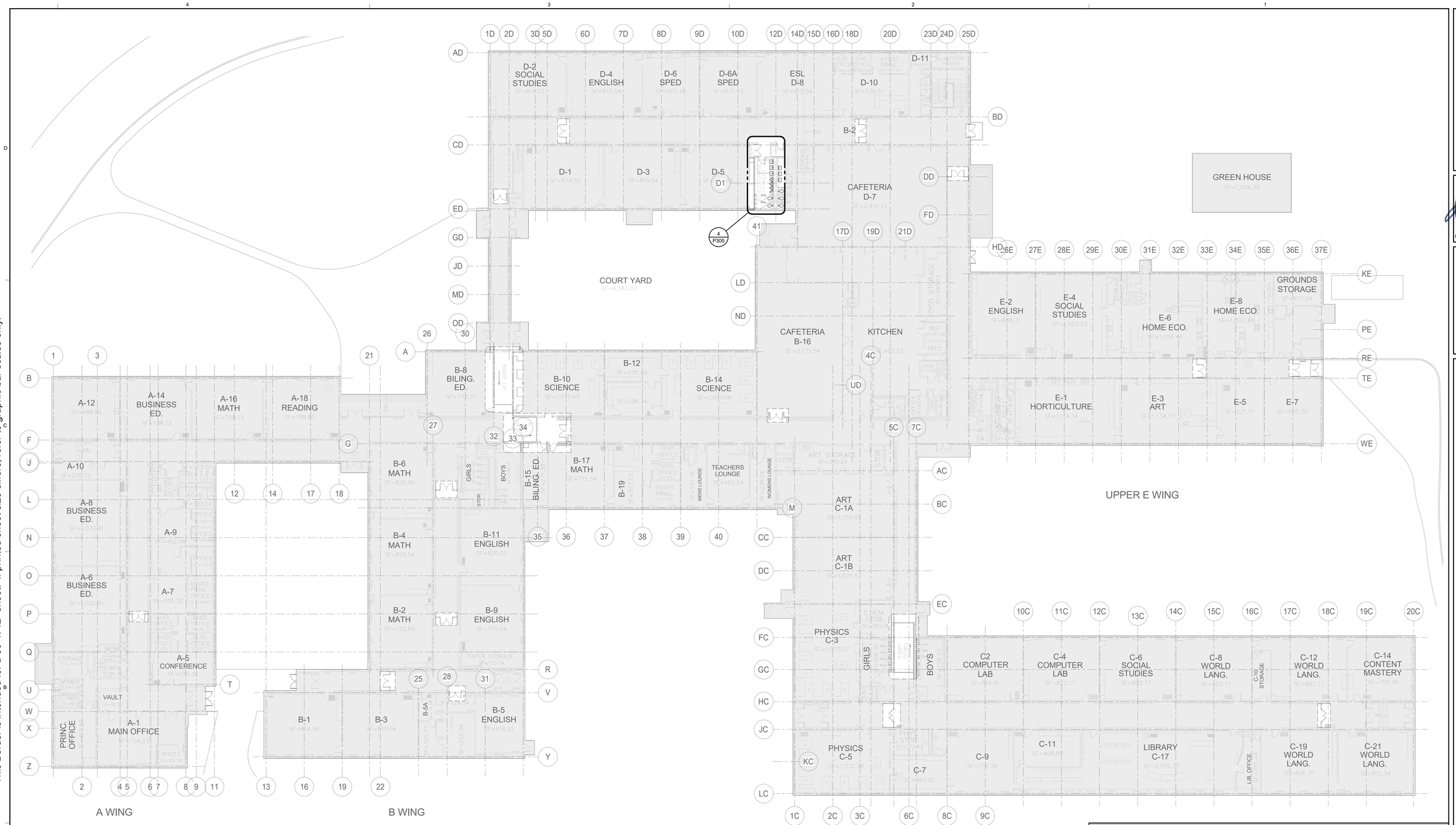
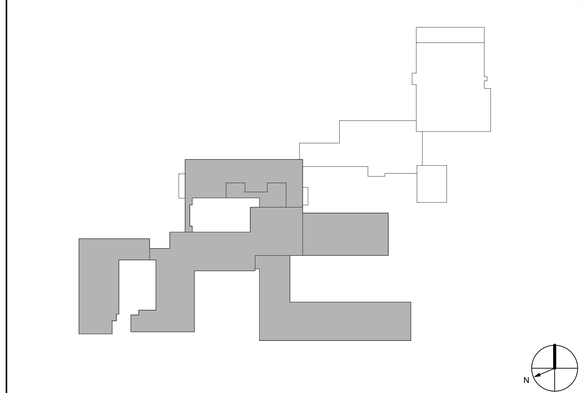


1 UPPER LEVEL DEMOLITION PLAN - PLUMBING OVERALL

1/16" = 1'-0"

KEY PLAN (NOT TO SCALE)



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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS

Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO:	2430.03
DATE:	06/22/26
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DRAWN BY:	TL/HP
CHECKED BY:	SG

UPPER LEVEL DEMOLITION PLAN - PLUMBING OVERALL

P101

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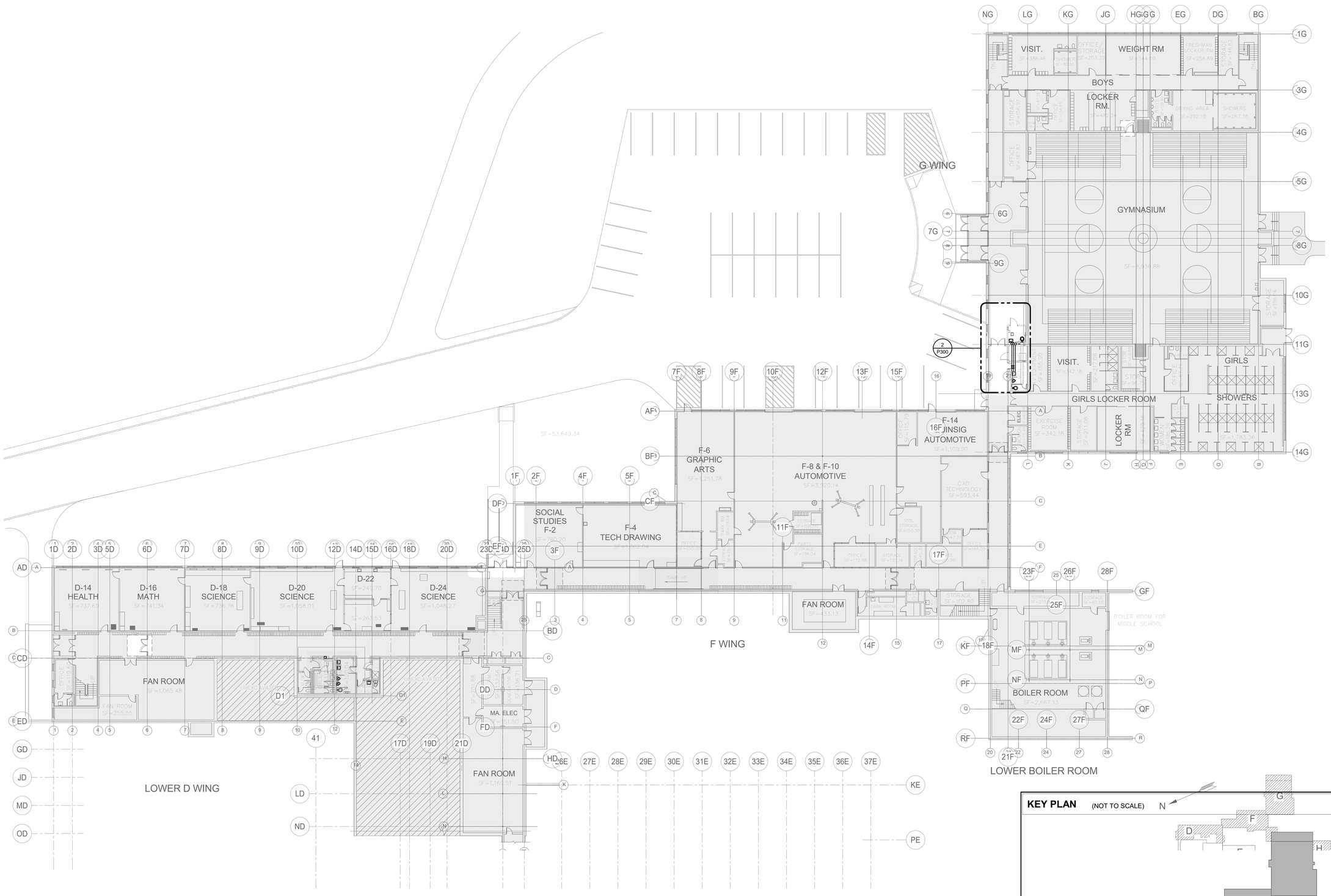
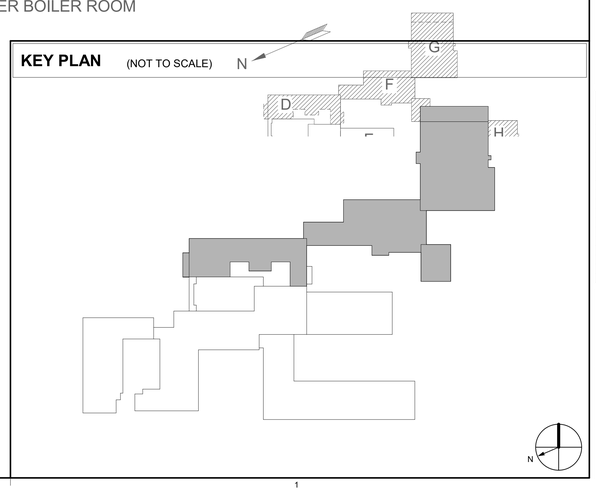


1 LOWER LEVEL PLAN - PLUMBING OVERALL

1/16" = 1'-0"

KEY PLAN (NOT TO SCALE)



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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS		
Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO:	2430.03
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LOWER LEVEL PLAN - PLUMBING OVERALL

P200

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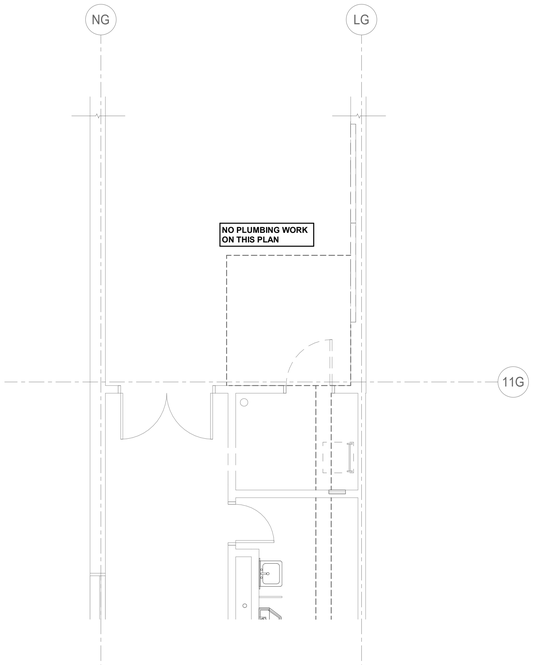
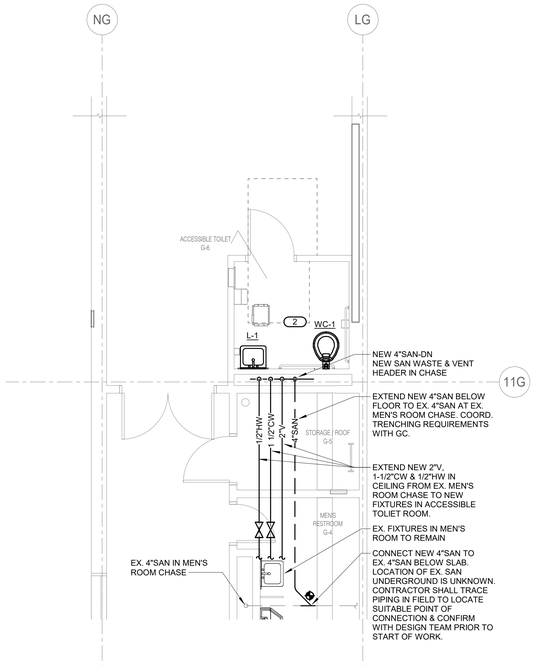


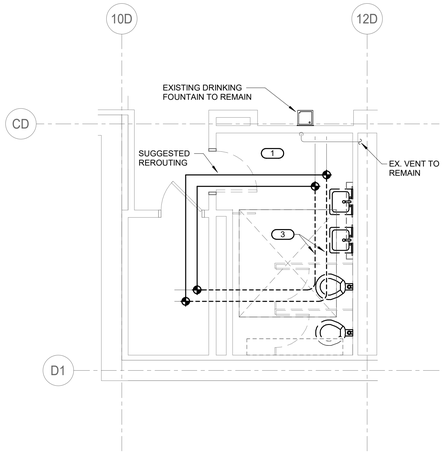
1 G WING RESTROOM - PLUMBING DEMO
1/4" = 1'-0"



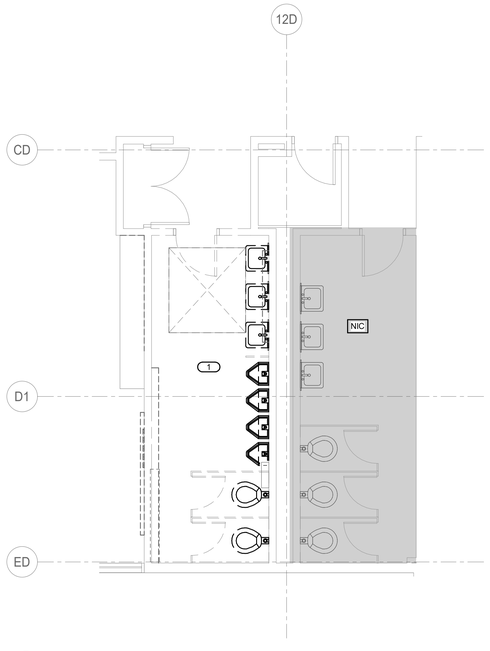
2 G WING RESTROOM - PLUMBING
1/4" = 1'-0"

KEYNOTES

1. DEMOLISH ALL PLUMBING FIXTURES INCLUDING CARRIERS IN ROOM. CAP WATER AND WASTE WITHIN CHASE. EX. FLOOR DRAIN SHALL REMAIN.
2. CONNECT NEW PLUMBING FIXTURES AND CARRIERS TO NEW WATER, WASTE, AND VENT WITHIN CHASE.
3. RELOCATE ALL PLUMBING PIPING IN CEILING WITHIN AREA OF LIFT SHAFT. REROUTE AROUND LIFT SHAFT. EXISTING SIZE AND TYPE OF PIPE IS UNKNOWN DUE TO LIMITED ACCESS AND INSULATION. CONTRACTOR SHALL SURVEY EXISTING CONDITIONS. FOR BID, ASSUME (2) 4" COPPER PIPES AS SHOWN. MATCH SIZE IN KIND PER SURVEY.



3 LOWER LVL LIFT ROOM - PLUMBING DEMO
1/4" = 1'-0"



4 UPPER LVL LIFT ROOM - PLUMBING DEMO
1/4" = 1'-0"

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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS

Δ	MM-DD-YYYY	DESCRIPTION

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DRAWN BY:	TL/HP
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PLUMBING
ENLARGED PLANS

P300

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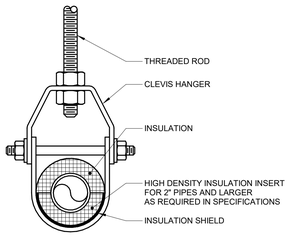
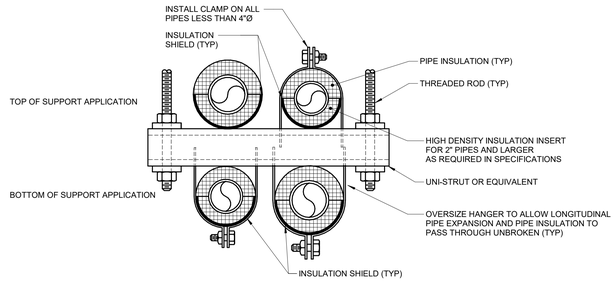


INSULATED COLD PIPE HANGER



TRAPEZE HANGER

NOTES:

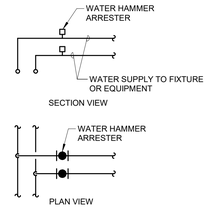
1. REFER TO SPECIFICATION SECTIONS 22 05 29 & SECTION 22 07 19.

1 PIPE - HANGERS AND SUPPORTS

NO SCALE

PROVIDE WATER HAMMER ARRESTER (WHA-#) AT PLUMBING FIXTURES AND QUICK CLOSING VALVES AS INDICATED ON DRAWINGS AND AS RECOMMENDED BY STANDARD PDI-WH201. REFER TO PLUMBING MATERIAL LIST FOR WATER HAMMER ARRESTER DESCRIPTION.

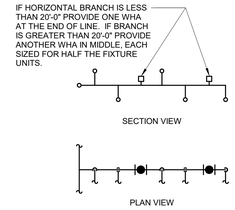
SINGLE / DOUBLE FIXTURE



PDI SIZE	PIPE SIZE	FIXTURE UNIT LOAD
A	1/2"	1-11
B	3/4"	12-32
C	1"	33-60
D	1-1/4"	61-113
E	1-1/2"	114-154
F	2"	155-330

INSTALL WHA'S PER PDI STANDARDS AND MANUFACTURER'S INSTRUCTIONS. INSTALL IN HORIZONTAL OR VERTICAL POSITION, BUT NEVER UPSIDE DOWN. INSTALL IN LINE WITH WATER FLOW DIRECTION IF POSSIBLE. SIZE THE WHA AS SHOWN PER THE TABLES ABOVE. PROVIDE ACCESSIBILITY TO WHA WITH ACCESS PANEL OR INSTALL ABOVE ACCESSIBLE CEILING.

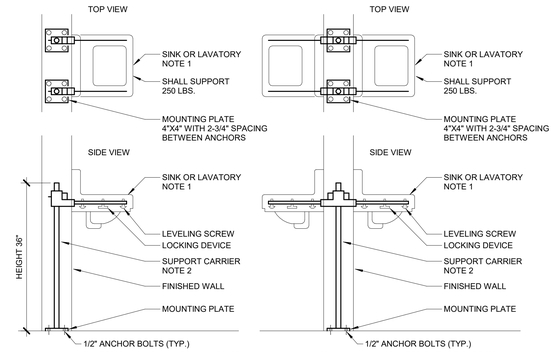
MULTIPLE FIXTURES



FIXTURE UNIT CALCULATION		
FIXTURE	COLD	HOT
WATER CLOSET (F.V.)	10	--
WATER CLOSET (TANK)	5	--
URINAL	5	--
LAVATORY	1.5	1.5
JANITOR'S SINK	3	3
SHOWER/BATHTUB	2	3
DRINKING FOUNTAIN	2	-
KITCHEN SINK	2	2
ICE MAKER / BEVERAGE	1	-

2 WATER HAMMER LOCATION AND SCHEDULE

NO SCALE

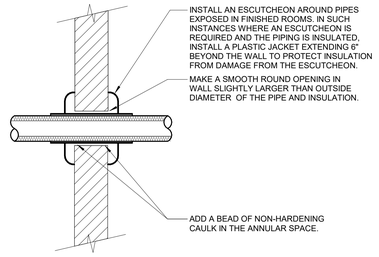


NOTES:

1. REFER TO PLUMBING MATERIAL LIST FOR SINK OR LAVATORY INFORMATION AND ARCHITECTURAL DRAWINGS FOR FIXTURE MOUNTING HEIGHT.
2. REFER TO SPECIFICATION SECTION 22 40 00 - PLUMBING FIXTURES FOR CARRIER INFORMATION. INSTALL PER MANUFACTURER INSTALLATION INSTRUCTIONS.
3. CONCRETE ANCHOR BOLTS: 1/2" DIA. HILTI KB-T2 WITH 2" MINIMUM EMBED (ICC ESR-1917)

3 WALL MOUNTED SINK AND LAVATORY CARRIER

NO SCALE

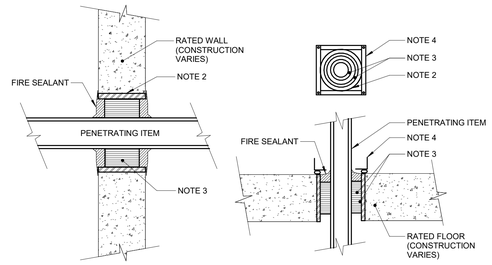


NOTES:

1. THIS DETAIL APPLIES TO ALL PIPES. THE INTENTION IS TO CONTINUE THE INSULATION AND VAPOR BARRIER THROUGH ALL PENETRATIONS. PERMIT THERMAL EXPANSION WITHOUT DAMAGING INSULATION, AND TO SEAL AIRTIGHT AROUND INSULATED AND UNINSULATED PIPES FOR NOISE TRANSMISSION CONTROL.
2. SEE SPECIFICATION SECTIONS (SECTION 22 05 29 - PLUMBING, SECTION 23 05 29 - HVAC) FOR ADDITIONAL INFORMATION.
3. FLOOR OPENINGS ARE SIMILAR. SEE SPECIFICATION SECTION (SECTION 22 05 29 - PLUMBING, SECTION 23 05 29 - HVAC) FOR DIFFERENCES BETWEEN FLOOR AND WALL PENETRATIONS.

4 WALL PENETRATION - NON-FIRE RATED

NO SCALE



NOTES:

1. THIS GENERAL DETAIL APPLIES TO ALL ITEMS PENETRATING FIRE RATED WALLS OR FLOORS. THE INTENT IS TO MAINTAIN THE FIRE RATING AND TO ALLOW LONGITUDINAL MOVEMENT. REFER TO SPECIFICATION SECTION 07 84 00 & 22 05 03 FOR SELECTION OF THROUGH PENETRATION FIRE STOPPING.
2. SCHEDULE 5 PIPE SLEEVE EMBEDDED IN WALL OR FLOOR, OR SMOOTH CORE DRILL. EACH CONTRACTOR FURNISHES SLEEVE TO G.C., COORDINATES SLEEVE LOCATIONS AND DEBURS SLEEVE. G.C. BUILDS SLEEVE INTO WALL OR FLOOR ALLOWING NO GAP AROUND SLEEVE. IF SLEEVE IS NOT PROVIDED WHEN WALL OR FLOOR IS BUILT, CONTRACTOR SHALL INSTALL SLEEVE. SLEEVE SIZE SHALL ALLOW ANNULAR SPACE REQUIRED BY THE SELECTED FIRE STOP SYSTEM.
3. INSTALL BACKING MATERIAL, SUCH AS MINERAL WOOL SAFING, AS REQUIRED FOR FIRE STOP SYSTEM. INSTALL IN ACCORDANCE WITH FIRE STOP SYSTEM APPLICATION LISTING. SECURE TO WALL OR FLOOR TO ALLOW LONGITUDINAL MOVEMENT OF PENETRATING ITEM WITHOUT MOVEMENT OF FIRE BARRIER.
4. WATERTIGHT WELDED 1"x1" 20 GAUGE MINIMUM GALVANIZED SHEET METAL ANGLE FRAME, BY CONTRACTOR IN EQUIPMENT ROOMS FOR WATER STOP. PLACE A BEAD OF WATERPROOF SEALANT BETWEEN FLOOR AND BOTTOM OF ANGLE FRAME. SECURE TO FLOOR WITH MASONRY ANCHORS IN CORNERS AND ON 12" MAXIMUM CENTERS. MULTIPLE PENETRATING ITEMS MAY BE ENCLOSED IN ONE FRAME.

5 FLOOR/WALL PENETRATION - RATED FIRE BARRIER

NO SCALE

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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS		
Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO:	2430.03
DATE:	06/22/26
SCALE:	12" = 1'-0"
DRAWN BY:	TL/HP
CHECKED BY:	SG

PLUMBING DETAILS

P400

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VIEW KEY

NAME ← LEVEL NAME
10'-0" ← HEIGHT ABOVE PROJECT 0'-0"

(1) ← KEYNOTE: INDICATES NOTE USED TO DESCRIBE ADDITIONAL INFORMATION ABOUT WORK REQUIRED, SPECIFIC TO THE SHEET AND/OR DETAIL

INDICATES DIRECTION OF TRUE NORTH
PLAN OR DETAIL NUMBER
PLAN OR DETAIL NAME
NORTH (1) **VIEW NAME**
1/8" = 1'-0"
PLAN OR DETAIL SCALE

SIM — INDICATES SIMILAR DETAIL REFERENCED IN MULTIPLE LOCATIONS — SIM
1 — DETAIL REFERRED TO BY SECTION CUT — 1 / 4 2 / 3
M101 — SHEET DETAIL IS LOCATED ON — T101

LINE TYPE AND TAG KEY:

NEW WORK BY THIS CONTRACTOR (WIDE LINE)
NEW
EXISTING TO BE REMOVED (SHORT DASHED PATTERN)
NEW UNDERFLOOR OR UNDERGROUND (LONG DASHED PATTERN)

EXISTING TO REMAIN OR WORK BY OTHERS (NARROW LINE)
EXISTING
EXISTING TO BE REMOVED BY OTHERS (SHORT DASHED PATTERN)
EXISTING UNDERFLOOR OR UNDERGROUND (LONG DASHED PATTERN)

HALFTONING DOES NOT MODIFY SCOPE.

'TAG'-E — TAGS WITH DASH 'E' INDICATES THE REFERENCED OBJECT IS EXISTING

TAG-1 — UNDERLINED TAG INDICATES OBJECT IS IN-SCOPE. IF NEW, ADDITIONAL INFORMATION IS AVAILABLE IN A SCHEDULE, MATERIAL LIST, OR SYMBOL LIST

INDICATES AN EXISTING SYSTEM'S POINT OF CONNECTION/REMOVAL

FIRE / SMOKE BARRIER DESIGNATIONS

FIRE AND SMOKE SEPARATIONS ARE NOT SHOWN ON THESE DOCUMENTS. CONTRACTOR SHALL REVIEW THE ARCHITECTURAL PLANS AND DETERMINE THE LOCATIONS OF ALL FIRE AND SMOKE PARTITIONS, BARRIERS, AND WALLS. THIS INCLUDES FLOOR RATINGS. PRICING SHALL INCLUDE ALL MATERIALS AND LABOR REQUIRED TO MAINTAIN THE RATINGS OF ALL RATED SEPARATIONS, WHETHER SHOWN ON THE ENGINEERING PLANS OR NOT.

APPLICABLE CODES

CONTRACTOR SHALL COMPLY WITH APPLICABLE CODES AND LOCAL AMENDMENTS INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:

BUILDING CODE:	780 CMR 10TH EDITION
FIRE CODE:	527 CMR 1.00
PLUMBING CODE:	248 CMR 10.00
MECHANICAL CODE:	IMC 2021
ELECTRICAL CODE:	NFPA 70 (NEC) 2026 EDITION
ENERGY CONSERVATION CODE:	IECC 2021 W/ MA AMMENDMENTS
HEALTH DEPARTMENT CODE:	CURRENT EDITION
LOCAL BUILDING CODE:	CURRENT EDITION

CONTRACTOR ABBREVIATION KEY

ABBR:	DESCRIPTION:
A.C.	ASBESTOS ABATEMENT CONTRACTOR
A.V.C.	AUDIO/VISUAL CONTRACTOR
C.C.	CIVIL CONTRACTOR
C.M.	CONSTRUCTION MANAGER
E.C.	ELECTRICAL CONTRACTOR
F.P.C.	FIRE PROTECTION CONTRACTOR
F.S.C.	FOOD SERVICE CONTRACTOR
G.C.	GENERAL CONTRACTOR
H.C.	HEATING CONTRACTOR
M.C.	MECHANICAL CONTRACTOR
N.C.C.	NURSE CALL CONTRACTOR
P.C.	PLUMBING CONTRACTOR
S.C.	SECURITY CONTRACTOR
T.C.	TECHNOLOGY CONTRACTOR
T.C.C.	TEMPERATURE CONTROLS CONTRACTOR
V.C.	VENTILATION CONTRACTOR

SYMBOL LIST - PIPE ACCESSORIES

SYMBOL	DESCRIPTION
	ENDCAP
	PIPE DOWN AND PIPE UP / UP AND DOWN
	REDUCER
⋈	SHUTOFF VALVE

SYMBOL LIST - VENTILATION

SYMBOL	DESCRIPTION
SG-1 6/115	AIR TERMINAL PROPERTIES - TAG / NECK SIZE/CFM
	DUCT CAP
	DUCT DOWN, DUCT UP

SYMBOL LIST - PIPING SYSTEMS

SYMBOL	DESCRIPTION	° F	FLUID TYPE
HWR	HEATING WATER RETURN	150	Water
HWS	HEATING WATER SUPPLY	180	Water

HVAC ABBREVIATION KEY

ABBR:	DESCRIPTION:
AD	ACCESS DOOR
AFF	ABOVE FINISHED FLOOR
C	COMMON
CO	CLEANOUT
CFSD	CONTROL/FIRE/SMOKE DAMPER
DN	DOWN
DPG (0-2")	DIFFERENTIAL PRESSURE GAUGE (RANGE)
DPS	DIFFERENTIAL PRESSURE SWITCH
EP	ELECTRICAL TO PNEUMATIC VALVE
FD	FIRE DAMPER
FOB	FLAT ON BOTTOM
FOT	FLAT ON TOP
FSD	FIRE/SMOKE DAMPER
MV	MIXING VALVE
N.C.	NORMALLY CLOSED
NIC	NOT IN CONTRACT
N.O.	NORMALLY OPEN
PS	PRESSURE SWITCH
SCCR	SHORT CIRCUIT CURRENT RATING
SD	SMOKE DAMPER
TAB	TERMINAL AIR BOX
TD	TRANSFER DUCT
TYP	TYPICAL
UC-1	DOOR UNDERCUT BY OTHERS (1" TYPICAL)
UON	UNLESS OTHERWISE NOTED

DUCT ABBREVIATION KEY

ABBR.	DESCRIPTION
EA	EXHAUST AIR

MECHANICAL RENOVATION NOTES:

THESE NOTES APPLY TO ALL MECHANICAL SHEETS AND TRADES, INCLUDING BUT NOT LIMITED TO VENTILATION, PIPING AND TEMPERATURE CONTROL.

1. EXISTING CONDITIONS ARE SHOWN BASED ON INFORMATION OBTAINED FROM FIELD SURVEYS, EXISTING BUILDING DOCUMENTS, AND STAFF. VERIFY EXISTING CONDITIONS AND REPORT ANY CONFLICTS BEFORE PROCEEDING.
2. NOT ALL EXISTING DUCTWORK AND PIPING IS SHOWN. VERIFY EXISTING CONDITIONS BEFORE STARTING WORK. NOTIFY ENGINEER OF ANY CONFLICTS WITH NEW WORK.
3. FIELD VERIFY THE AVAILABLE CLEARANCES FOR DUCTWORK AND PIPING BEFORE FABRICATION. RISES AND DROPS MAY BE NECESSARY BECAUSE OF EXISTING FIELD CONDITIONS.
4. EACH CONTRACTOR SHALL FIELD VERIFY ACCESSIBILITY TO THE AREA OF THEIR WORK AND SHALL NOTIFY THE GENERAL CONTRACTOR PRIOR TO BIDDING IF OTHER UTILITIES ARE REQUIRED TO BE REMOVED OR RELOCATED TO ALLOW ACCESS TO THEIR AREA OF WORK. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CUTTING, REMOVAL AND PATCHING OF ROOFS, WALLS, AND FLOORS ASSOCIATED WITH WORK BY ALL CONTRACTORS. CONTRACTORS SHALL NOTIFY THE GC OF AFFECTED AREAS PRIOR TO BIDDING
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF CEILINGS, CEILING TILES, AND CEILING GRIDS ASSOCIATED WITH AREAS OF WORK BY ALL CONTRACTORS.
6. WHERE EXISTING MECHANICAL SYSTEMS DIFFER FROM THOSE SHOWN ON THE PROJECT DRAWINGS AND CREATE CONFLICTS WITH NEW EQUIPMENT, PIPING, OR DUCTWORK INSTALLATIONS, THE CONTRACTOR SHALL PROVIDE DETAILED DOCUMENTATION (SUCH AS SKETCHES, PHOTOS, AND DIMENSIONS) ALONG WITH RECOMMENDATIONS TO RESOLVE THE CONFLICT. THIS INFORMATION MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL. NO WORK RELATED TO THE CONFLICT SHALL PROCEED UNTIL AN APPROVED RESOLUTION IS PROVIDED BY THE ENGINEER.
7. PROVIDE TEMPORARY CONNECTIONS TO MAINTAIN EXISTING SYSTEMS IN SERVICE DURING CONSTRUCTION. MAINTAIN ACCESS TO EXISTING MECHANICAL INSTALLATIONS THAT REMAIN ACTIVE.
8. OBTAIN PERMISSION FROM OWNER BEFORE SHUTTING DOWN ANY SYSTEM FOR ANY REASON. MAINTAIN SERVICE TO ALL COMPONENTS THAT ARE TO REMAIN UNTIL NEW SYSTEMS ARE INSTALLED.
9. MAINTAIN EXISTING SYSTEM IN SERVICE UNTIL NEW SYSTEM IS COMPLETE AND READY FOR TIE IN AND SWITCHOVER. DRAIN SYSTEM ONLY TO MAKE SWITCHOVERS AND CONNECTIONS. OBTAIN PERMISSION FROM OWNER BEFORE PARTIALLY OR COMPLETELY DRAINING SYSTEM. MAKE CHANGEOVER TO NEW SYSTEMS WITH MINIMUM OUTAGE.
10. PROPERLY RECLAIM AND DISPOSE OF ALL REFRIGERANT IN REMOVED EQUIPMENT/ REFRIGERANT PIPING. RECLAIMED REFRIGERANT SHALL HAVE DOCUMENTATION AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION (AHJ).

TAB PRE-DEMOLITION NOTES:

1. BEFORE ANY DEMOLITION WORK IS BEGUN AN AIR BALANCE TEST SHALL BE PERFORMED BY THE TESTING, ADJUSTING AND BALANCING (TAB) CONTRACTOR FOR EQUIPMENT AND DEVICES AS INDICATED ON THE DRAWINGS. AS MARKED ON THE DRAWINGS. READINGS SHALL BE DESIGNATED WITH THE ROOM NAME AND NUMBER AS MARKED ON THE DRAWINGS. IF FLOOR PLANS DO NOT HAVE UNIQUE ROOM NAMES AND NUMBERS, TAB CONTRACTOR SHALL INCLUDE FLOOR PLAN WITH UNIQUE NUMBER DESIGNATIONS ASSIGNED TO READINGS THAT MATCH THOSE USED IN THE FINAL PRE-DEMOLITION REPORT. DRAWINGS THAT ARE HAND-MARKED WITH RED INK ARE ACCEPTABLE, PROVIDED THEY ARE LEGIBLE.
   A. IN THE EVENT A DUCT TRAVERSE LOCATION AS MARKED ON THIS PLAN IS INACCESSIBLE FOR MEASUREMENT, THE TAB CONTRACTOR SHALL PERFORM THE TRAVERSE AT AN ALTERNATE LOCATION OR SHALL TAKE MULTIPLE DUCT TRAVERSES AND/OR READINGS AS REQUIRED TO DETERMINE THE AIRFLOW READING WHERE THE DUCT TRAVERSE SYMBOL IS SHOWN. IN THE EVENT TRAVERSES ARE TAKEN AT ALTERNATE LOCATION(S), TAB CONTRACTOR SHALL INCLUDE A DRAWING THAT SHOWS THE LOCATIONS WHERE THE ACTUAL MEASUREMENTS WERE TAKEN.
   B. TAKE A DUCT STATIC PRESSURE READING AT EACH LOCATION WHERE A DUCT TRAVERSE READING IS TAKEN AND INCLUDE IN THE FINAL PRE-DEMOLITION TAB REPORT.
2. TAB CONTRACTOR SHALL COMPILE AND SUBMIT THE FINAL PRE-DEMOLITION REPORT WITHIN 10 WORKING DAYS AFTER THE FIELD MEASUREMENTS ARE COMPLETED. FINAL TAB REPORT SHALL BE SUBMITTED FOR REVIEW TO THE ARCHITECT/ENGINEER. TESTING SHALL INCLUDE ALL ITEMS REQUIRED IN THE SPECIFICATIONS.
3. BALANCING CONTRACTOR SHALL PRE-BALANCE ALL EXISTING SYSTEMS TO REMAIN PER SPECIFICATION SECTION 23 05 93. BALANCE READINGS WILL BE REQUIRED AT AIR OUTLETS AND DUCT TRAVERSES TO VERIFY EXISTING AIRFLOW TO UNAFFECTED SPACES.

TAB POST-CONSTRUCTION NOTES:

1. AFTER CONSTRUCTION ACTIVITIES ARE COMPLETE, TESTING, ADJUSTING (TAB) AND BALANCING CONTRACTOR SHALL REBALANCE AIR HANDLING UNITS AND EXHAUST FANS AS REQUIRED TO ACHIEVE THE NEW AIRFLOW VALUES SHOWN ON THE CONSTRUCTION DRAWINGS.
2. AREAS SERVED BY THIS EQUIPMENT WHICH WERE NOT RENOVATED SHALL BE RE-BALANCED TO THE AIRFLOW RATES MEASURED BEFORE THE RENOVATION OCCURRED (REFER TO THE FINAL PRE- DEMOLITION REPORT).
3. IF DUCT TRAVERSE LOCATION AS MARKED ON THE DRAWINGS IS INACCESSIBLE FOR MEASUREMENT, THE TAB CONTRACTOR SHALL PERFORM THE TRAVERSE AT AN ALTERNATE LOCATION OR SHALL TAKE MULTIPLE DUCT TRAVERSES AND/OR GRILLE READINGS AS REQUIRED TO DETERMINE THE FLOW RATE. IN THE EVENT TRAVERSES ARE TAKEN AT AN ALTERNATE LOCATION(S), TAB CONTRACTOR SHALL INCLUDE A DRAWING THAT SHOWS THE LOCATIONS WHERE THE ACTUAL MEASUREMENTS WERE TAKEN.
4. A DUCT STATIC PRESSURE READING SHALL BE TAKEN AT EACH LOCATION WHERE A DUCT TRAVERSE READING IS TAKEN AND SHALL BE INCLUDED IN THE FINAL POST-CONSTRUCTION TAB REPORT.
5. TAB CONTRACTOR SHALL COMPILE AND SUBMIT COPIES OF THE FINAL POST-CONSTRUCTION TAB REPORT AS REQUIRED BY SECTION 23 05 93.
6. THE FINAL POST CONSTRUCTION REPORT SHALL INCLUDE ALL ITEMS REQUIRED IN THE SPECIFICATIONS.
7. DIFFERENTIAL PRESSURE CONTROLLED SPACES: TAB CONTRACTOR IS PERMITTED TO ADJUST RETURN AIR (RA) AIRFLOW RATES IN DP-CONTROLLED ROOMS AS NEEDED TO ACHIEVE SPECIFIED PRESSURE DIFFERENTIALS. ROOM RETURN CFMS SHOWN ON DRAWINGS ARE BASELINE ESTIMATES ONLY; ACTUAL VALUES MUST BE FIELD-ADJUSTED TO MAINTAIN SPECIFIED DP SETPOINTS.

PIPING GENERAL NOTES:

1. THE SIZE OF BRANCH PIPING TO TERMINAL HEATING DEVICES AND COILS SHALL BE 3/4" UNLESS NOTED OTHERWISE.
2. PIPE DRAIN LINES FROM EQUIPMENT TO NEAREST FLOOR DRAIN.
3. INSTALL ALL REFRIGERANT LIQUID AND SUCTION PIPING SIZED PER EQUIPMENT MANUFACTURER RECOMMENDATIONS.

VENTILATION GENERAL NOTES:

1. UNLESS NOTED OTHERWISE, THE SIZE OF EACH BRANCH DUCT TO A TERMINAL AIR BOX (TAB) SHALL MATCH THE INLET SIZE UNLESS THE BRANCH IS GREATER THAN 6 FEET IN LENGTH, IN WHICH CASE THE BRANCH DUCT SHALL BE SIZED AT A PRESSURE DROP OF 0.07" W.C. PER 100' OF DUCTWORK.
2. UNLESS NOTED OTHERWISE, THE SIZE OF EACH BRANCH DUCT TO AN AIR TERMINAL (E.G. GRILLE, REGISTER, DIFFUSER) SHALL MATCH THE INLET SIZE.
3. UNLESS NOTED OTHERWISE, DUCT SIZES SHOWN ON DRAWINGS ARE INSIDE CLEAR DIMENSIONS. MAINTAIN CLEAR DIMENSIONS INSIDE ANY LINING
4. ALIGN TEMPERATURE SENSORS WITH LIGHT SWITCHES WHEN IN CLOSE PROXIMITY TO EACH OTHER.
5. PROVIDE ACCESS DOORS AT ALL DUCT MOUNTED EQUIPMENT.
6. EXISTING AIR INLET AND OUTLET CFM SHOWN ON DRAWINGS ARE FROM EXISTING DRAWINGS, AND ARE FOR REFERENCE ONLY. CONTRACTOR SHALL USE PRE-BALANCE VALUES, AND NOT EXISTING CFM SHOWN ON DRAWINGS.
7. CONTRACTOR MAY REUSE PORTIONS OF EXISTING DUCT PROVIDED SIZES AND PRESSURE CLASSES ARE CORRECT, DUCT IS THOROUGHLY CLEANED AND FREE OF DEFECTS, AND ALL TRANSVERSE JOINTS, LONGITUDINAL SEAMS, AND DUCT WALL PENETRATIONS ARE SEALED AS SPECIFIED FOR NEW DUCTWORK.

MECHANICAL GENERAL NOTES:

THESE NOTES APPLY TO ALL MECHANICAL SHEETS AND TRADES, INCLUDING BUT NOT LIMITED TO VENTILATION, PIPING AND TEMPERATURE CONTROL.

1. DRAWINGS SHOWING LOCATIONS OF EQUIPMENT, DUCTWORK, PIPING, ETC. ARE DIAGRAMMATIC AND MAY NOT ALWAYS REFLECT EXACT INSTALLATION CONDITIONS. DRAWINGS SHOW THE GENERAL ARRANGEMENT OF DUCTWORK, PIPING, EQUIPMENT, ETC., AND MAY NOT INCLUDE ALL OFFSETS AND FITTINGS REQUIRED FOR COMPLETE INSTALLATION. THE DRAWINGS SHALL BE FOLLOWED AS CLOSELY AS ACTUAL BUILDING CONSTRUCTION AND THE WORK OF OTHERS WILL PERMIT.
2. CATALOG AND MODEL NUMBERS SHALL NOT BE CONSIDERED COMPLETE, BUT ARE GIVEN AS AN AID TO THE CONTRACTOR AND TO INDICATE THE QUALITY REQUIRED. CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE DESCRIPTION OF MATERIAL SCHEDULED ON THESE DRAWINGS AND IN THE SPECIFICATIONS BEFORE ORDERING. THE DESCRIPTION OF THE MATERIAL AND SCHEDULED PERFORMANCE TAKES PRECEDENCE OVER THE MODEL NUMBER. THE FIRST MANUFACTURER SCHEDULED IS THE BASIS OF DESIGN.
3. DETERMINATION OF QUANTITIES OF MATERIAL AND EQUIPMENT REQUIRED SHALL BE MADE BY THE CONTRACTOR FROM THE DOCUMENTS. WHERE MATERIAL AND/OR QUANTITY DISCREPANCIES ARISE BETWEEN DRAWINGS, SCHEDULES AND/OR SPECIFICATIONS, THE HIGHER QUALITY/ GREATER NUMBER SHALL GOVERN.
4. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND CLEARANCES FROM ARCHITECTURAL, STRUCTURAL, SUBMITTALS, AND OTHER APPROPRIATE DRAWINGS OR PHYSICALLY AT SITE. REVIEW ALL DRAWINGS, INCLUDING THOSE OF OTHER TRADES.
5. COORDINATE ALL WORK WITH ALL OTHER TRADES PRIOR TO INSTALLATION TO PROVIDE CLEARANCES REQUIRED FOR OPERATION, MAINTENANCE, CODE COMPLIANCE, AND TO VERIFY NON-INTERFERENCE WITH OTHER WORK. DO NOT FABRICATE PRIOR TO VERIFICATION OF NECESSARY CLEARANCES FOR ALL TRADES. BRING ANY INTERFERENCES OR CONFLICTS TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH FABRICATION OR EQUIPMENT ORDERS.
6. REVIEW SPACE REQUIREMENTS OF EQUIPMENT SPECIFIED OR SUBSTITUTED AND MAKE REASONABLE ACCOMMODATIONS IN LAYOUT AND POSITIONING TO PROVIDE PROPER ACCESS.
7. ANY CHANGES REQUIRED TO ELIMINATE CONFLICTS OR THAT RESULT FROM A FAILURE TO COORDINATE SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COST OR EXPENSE TO OTHERS.
8. EACH CONTRACTOR IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ELECTRICAL CHANGES REQUIRED FOR EQUIPMENT PROPOSED THAT DIFFERS FROM THE BASIS OF DESIGN.
9. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN, ELECTRICAL, TECHNOLOGY AUDIO/VISUAL, AND OTHER MECHANICAL PLANS FOR EXACT LOCATIONS OF ALL CEILING MOUNTED DEVICES, OTHER THAN SPRINKLERS.
10. EACH CONTRACTOR IS RESPONSIBLE FOR DAMAGE CAUSED BY THEIR ACTIONS TO WALLS, FLOORS, CEILINGS, AND ROOFS. THE CONTRACTOR WHOSE WORK CAUSES DAMAGE IS RESPONSIBLE FOR PATCHING TO MATCH ORIGINAL CONSTRUCTION, FIRE RATING, AND FINISH.
11. IN AREAS WITH DRYWALL CEILINGS COORDINATE LOCATIONS OF ACCESS PANELS WITH THE GC FOR ACCESS TO VALVES, DUCTWORK ACCESSORIES, DAMPERS, ETC. COORDINATE PANEL TYPE AND COLOR WITH ARCHITECT. NOTIFY THE GC OF THE REQUIRED ACCESS PANELS PRIOR TO BIDDING.
12. SEAL ALL FLOOR, WALL, AND ROOF PENETRATIONS AIRTIGHT WHERE CONDUITS, PIPING, AND DUCTS PENETRATE. PENETRATIONS THROUGH EXTERIOR WALLS AND ROOF SHALL BE SEALED AIRTIGHT WITH WATERPROOFING MATERIALS RECOMMENDED BY MANUFACTURER FOR OUTDOOR USE.
13. CAULK ALL PIPE AND DUCT PENETRATIONS OF FULL HEIGHT NON-FIRE RATED WALL, PARTITION, FLOOR, AND ROOF ASSEMBLIES. THIS IS ESSENTIAL TO PREVENT NOISE TRANSMISSION FROM ONE ROOM TO ANOTHER AND TO PROVIDE THE DESIRED NC LEVELS WITHIN ROOMS.
14. WHERE PIPES AND DUCTS ARE SHOWN TO PENETRATE FLOORS, PROVIDE SLEEVED OPENINGS WITH THE TOP EDGE RAISED ABOVE FLOOR SURFACE IN ACCORDANCE WITH ALL RELEVANT SPEC SECTIONS. SEAL SLEEVE PERIMETER TO BE WATERTIGHT.
15. EQUIPMENT SIZES AND SERVICE CLEARANCE REQUIREMENTS VARY AMONG DIFFERENT MANUFACTURERS. CONSULT APPROVED SHOP DRAWINGS FOR EQUIPMENT SIZES AND REQUIRED SERVICE CLEARANCES. COORDINATE WITH LAYOUT OF EQUIPMENT PADS, PIPING, DUCTWORK, ETC.
16. DO NOT BLOCK TUBE PULL OR EQUIPMENT SERVICE CLEARANCES.
17. MAINTAIN A MINIMUM WORKING CLEARANCE OF 3'-6" IN FRONT OF ALL ELECTRICAL EQUIPMENT REQUIRING MAINTENANCE, INSPECTION, AND TESTING INCLUDING BUT NOT LIMITED TO PANELS, DISTRIBUTION PANELS, SWITCHBOARDS, MOTOR CONTROL CENTERS, TRANSFORMERS, EQUIPMENT DISCONNECTS AND STARTERS.
18. MAINTAIN THE DEDICATED ELECTRICAL EQUIPMENT SPACE DEFINED BY THE WIDTH / DEPTH OF ELECTRICAL EQUIPMENT MEASURED FROM THE FLOOR TO A HEIGHT 6'-0" ABOVE THE EQUIPMENT OR THE STRUCTURAL CEILING, WHICHEVER IS LOWER. SYSTEMS FOREIGN TO THE ELECTRICAL DISTRIBUTION SYSTEM ARE NOT ALLOWED IN THE DEDICATED ELECTRICAL SPACE INCLUDING: DUCTWORK, PIPING, ETC.
19. DO NOT EXCEED 25 LBS PER HANGER AND A MINIMUM SPACING OF 2'-0" ON CENTER WHEN ATTACHING TO METAL ROOF DECKING (LIMITATION NOT REQUIRED WITH CONCRETE ON METAL DECK). THIS 25 LBS. LOAD AND 2'-0" SPACING INCLUDE ADJACENT ELECTRICAL AND ARCHITECTURAL ITEMS HANGING FROM DECK. IF THE HANGER RESTRICTIONS CANNOT BE ACHIEVED, SUPPLEMENTAL FRAMING OFF STEEL FRAMING SHALL BE ADDED. ANCHORS EMBEDDED IN CONCRETE SHALL BE CRACKED CONCRETE APPROVED IN ACCORDANCE WITH SPECIFICATIONS.

HVAC SHEET INDEX

M000	HVAC COVERSHEET - PP, V
M100	LOWER LEVEL DEMOLITION PLAN - HVAC OVERALL
M101	UPPER LEVEL DEMOLITION PLAN - HVAC OVERALL
M200	LOWER LEVEL PLAN - HVAC OVERALL
M201	UPPER LEVEL PLAN - HVAC OVERALL
M300	HVAC ENLARGED DEMO PLANS
M301	HVAC ENLARGED NEW CONST. PLANS
M400	HVAC DETAILS
M401	HVAC DETAILS
M500	HVAC DIAGRAMS
M600	HVAC SCHEDULES
GRAND TOTAL: 11	

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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS

Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO: 2430.03
DATE: 06/22/26
SCALE: As indicated
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HVAC COVERSHEET - PP, V

M000

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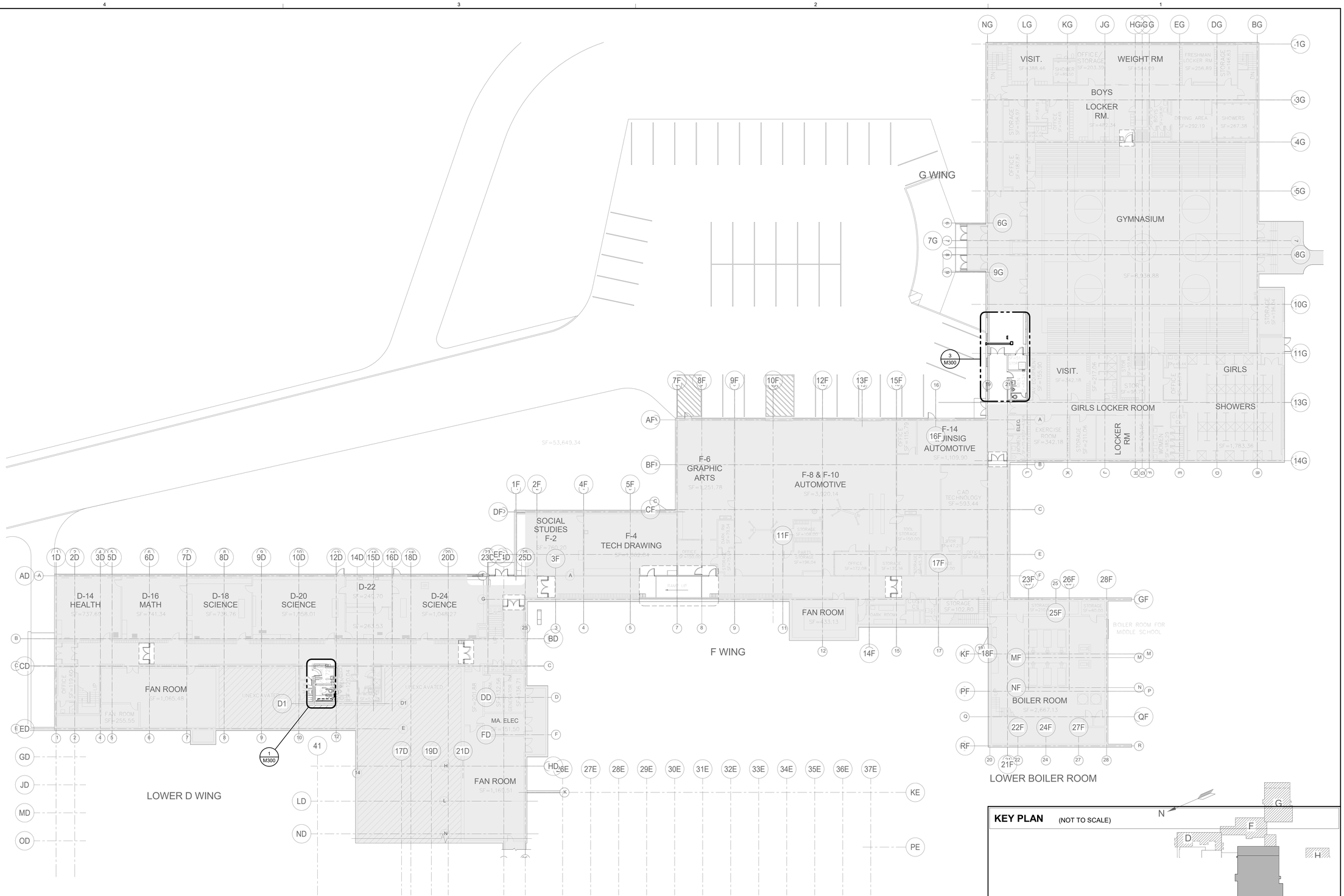
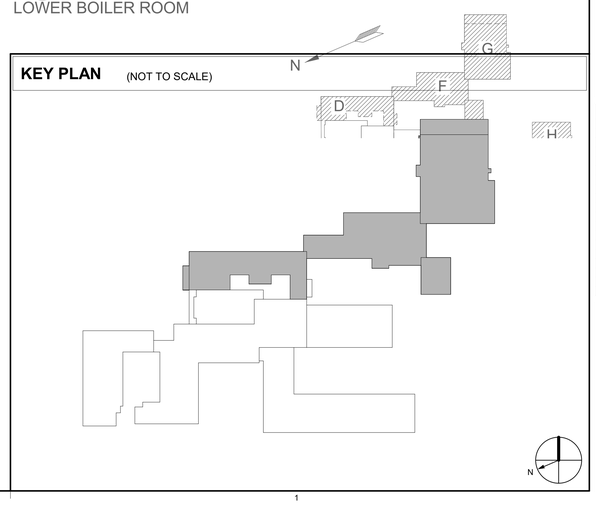


1 LOWER LEVEL DEMOLITION PLAN - HVAC OVERALL

1/16" = 1'-0"

KEY PLAN (NOT TO SCALE)



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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

170 BURNCOAT STREET
WORCESTER, MA 01606

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LOWER LEVEL DEMOLITION PLAN - HVAC OVERALL

M100

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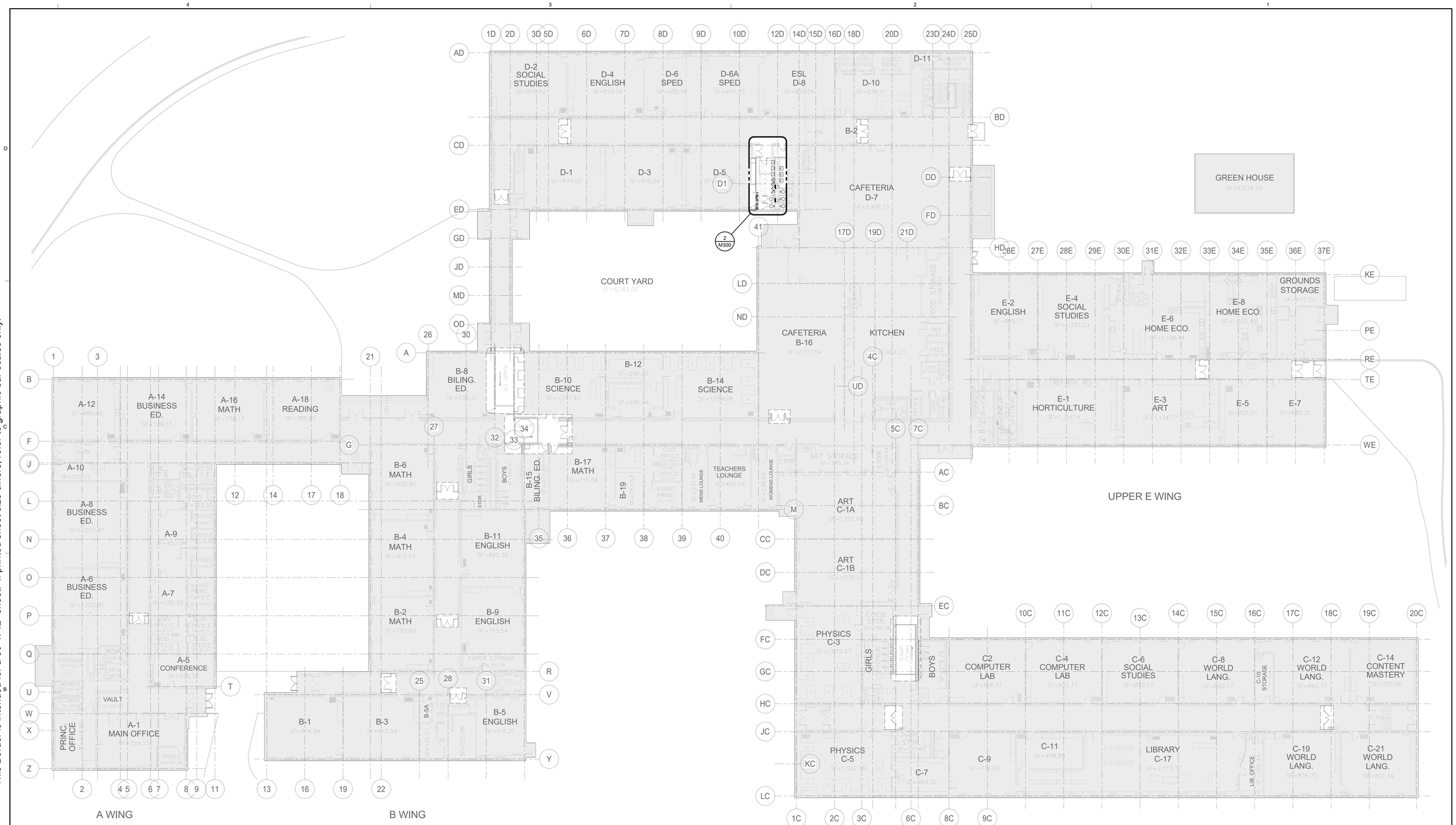
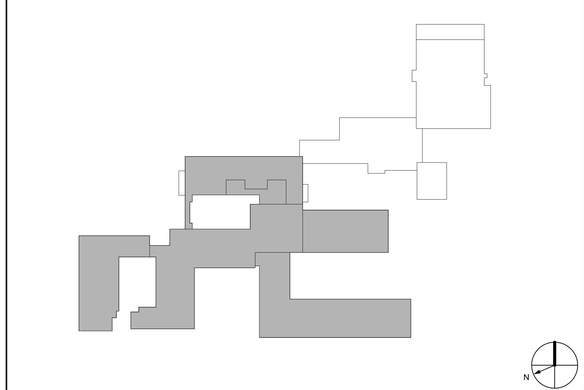


1 UPPER LEVEL DEMOLITION PLAN - HVAC OVERALL

1/16" = 1'-0"

KEY PLAN (NOT TO SCALE)



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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

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UPPER LEVEL DEMOLITION PLAN - HVAC OVERALL

M101

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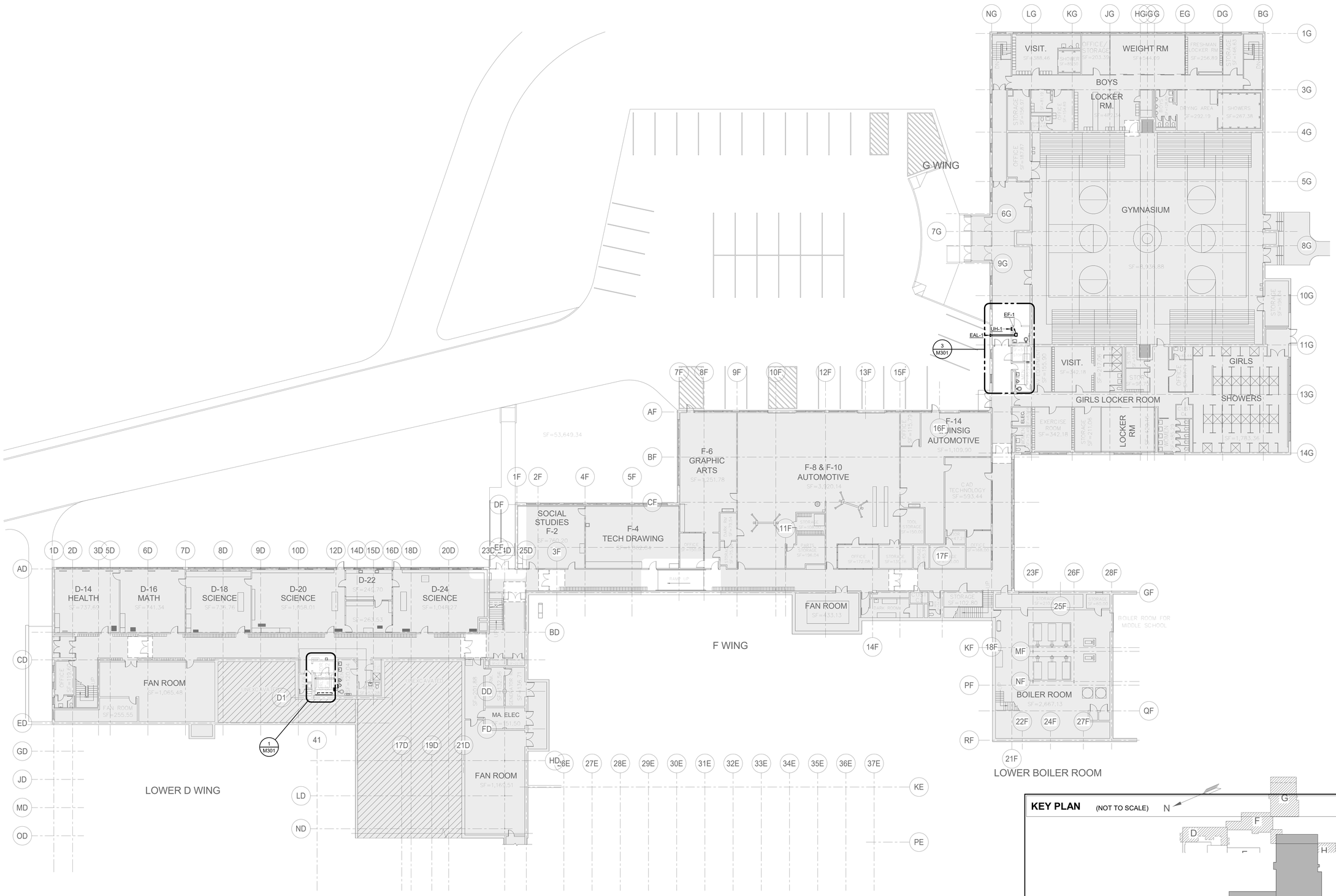
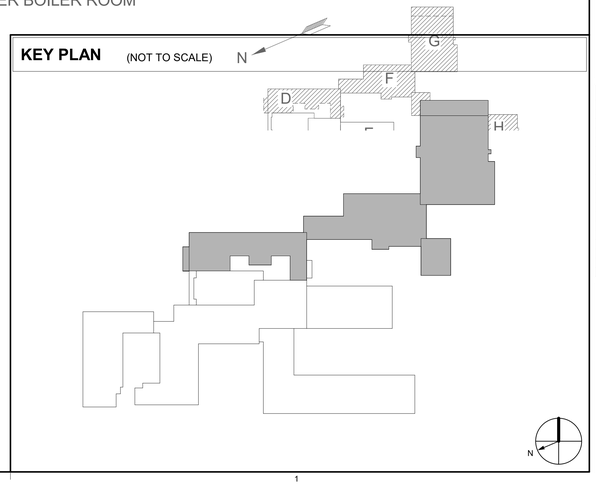


1 LOWER LEVEL PLAN - HVAC OVERALL

1/16" = 1'-0"

KEY PLAN (NOT TO SCALE)



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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

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LOWER LEVEL PLAN - HVAC OVERALL

M200

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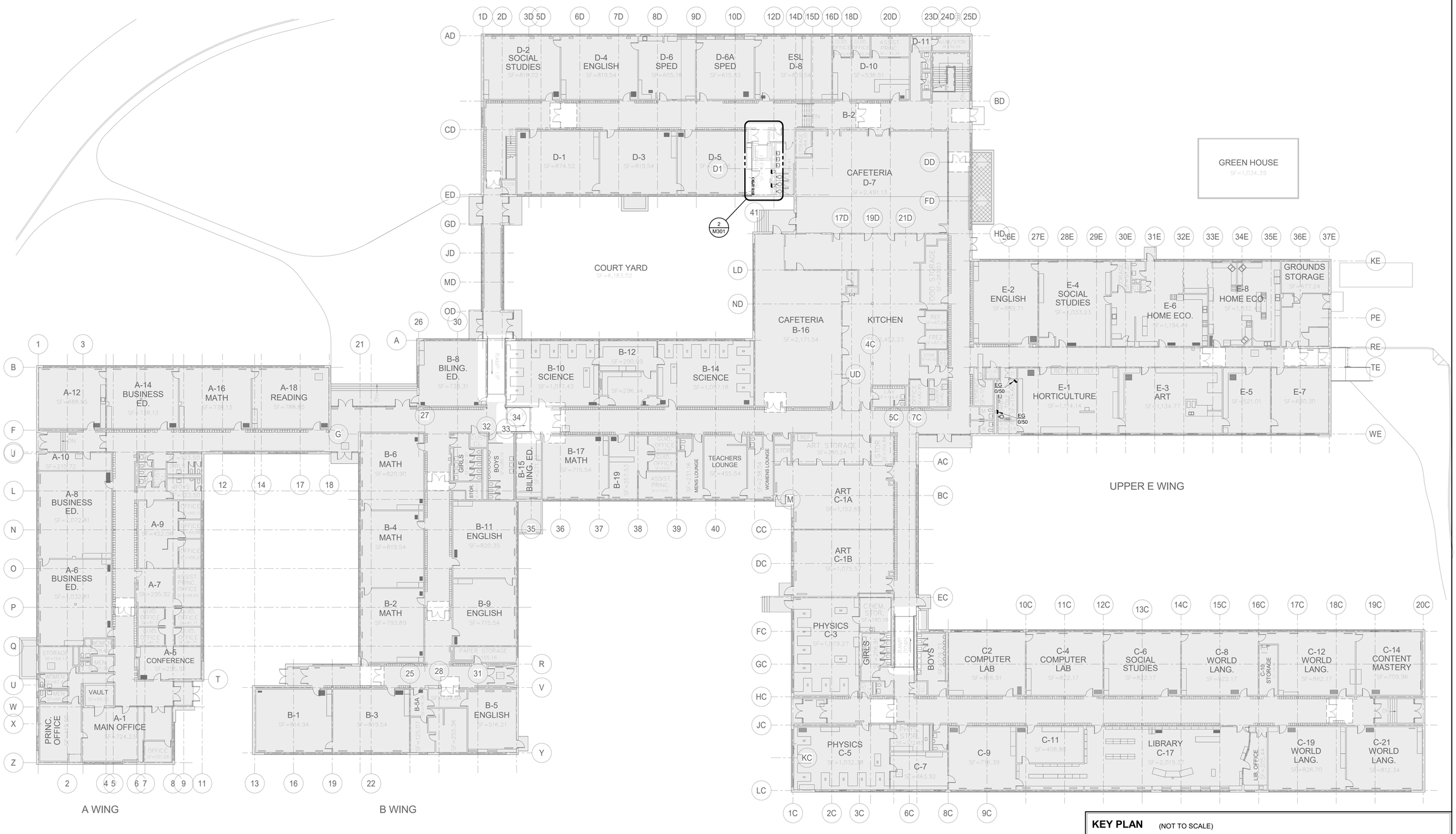
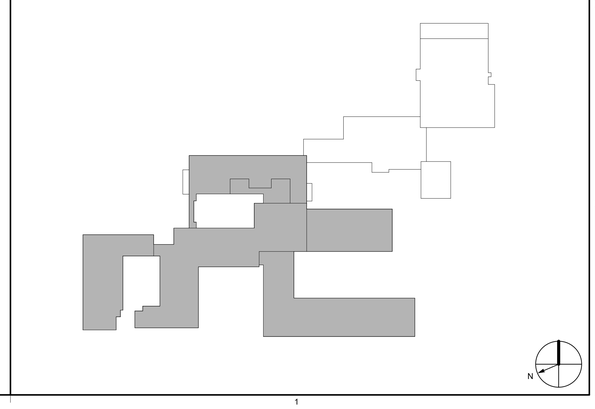


1 UPPER LEVEL PLAN - HVAC OVERALL

1/16" = 1'-0"

KEY PLAN (NOT TO SCALE)



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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

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UPPER LEVEL PLAN - HVAC OVERALL

M201

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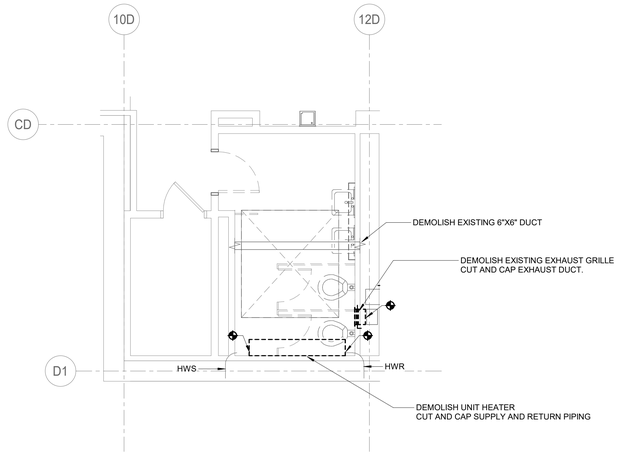
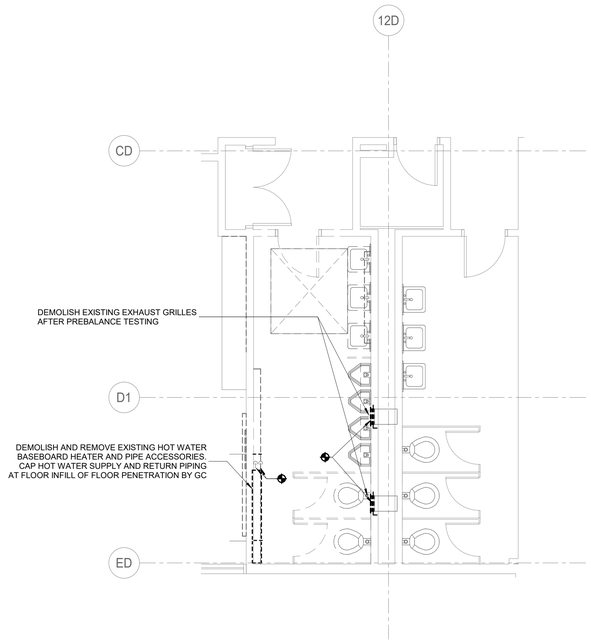
NOTES:
1. ALL EXISTING GRILLES IN THE SCOPE AREA SHALL BE TESTED/PREBALANCED PRIOR TO DEMOLITION - REFER TO NOTES ON M000

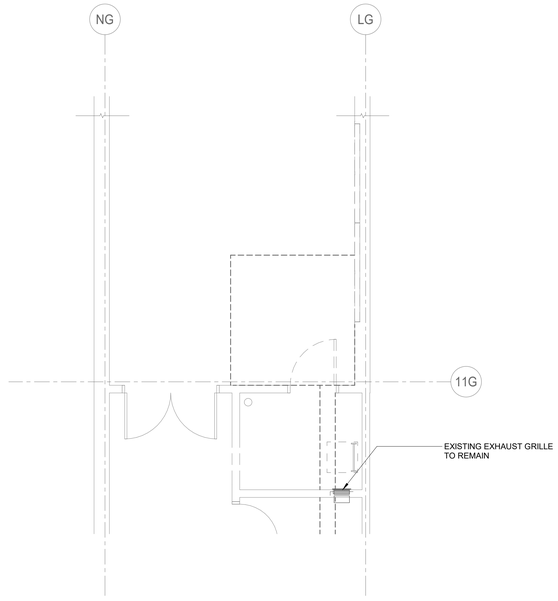
2. THE EXISTING HOT WATER SYSTEM SHALL BE DRAINED FROM THE NEAREST ISOLATION VALVE FOR ALL SCOPE AREAS THAT REQUIRE DEOMLITION AND REMOVAL OF EXISTING HOT WATRER PIPING



1 LOWER LVL LIFT ROOM - HVAC DEMO
1/4" = 1'-0"



2 UPPER LVL LIFT ROOM - HVAC DEMO
1/4" = 1'-0"



3 G WING RESTROOM - HVAC DEMO
1/4" = 1'-0"

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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

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179 BURNCOAT STREET
WORCESTER, MA 01606

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HVAC ENLARGED DEMO PLANS

M300

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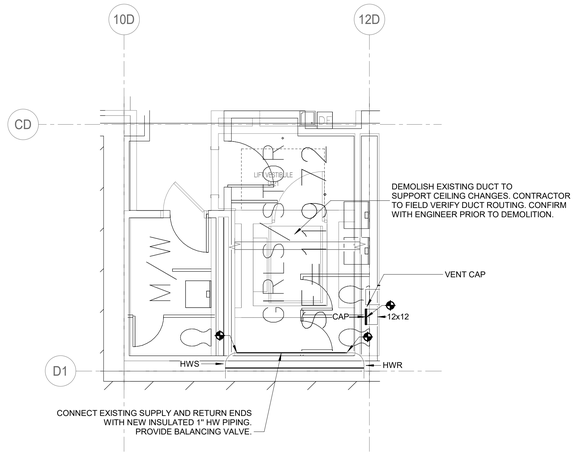
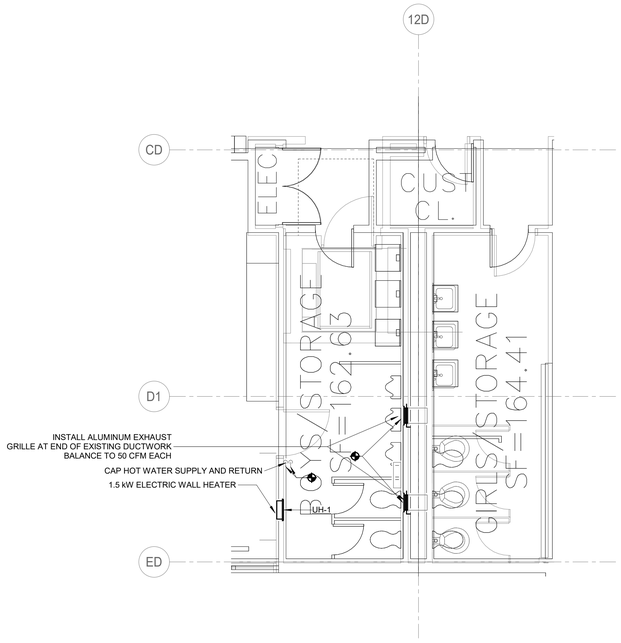


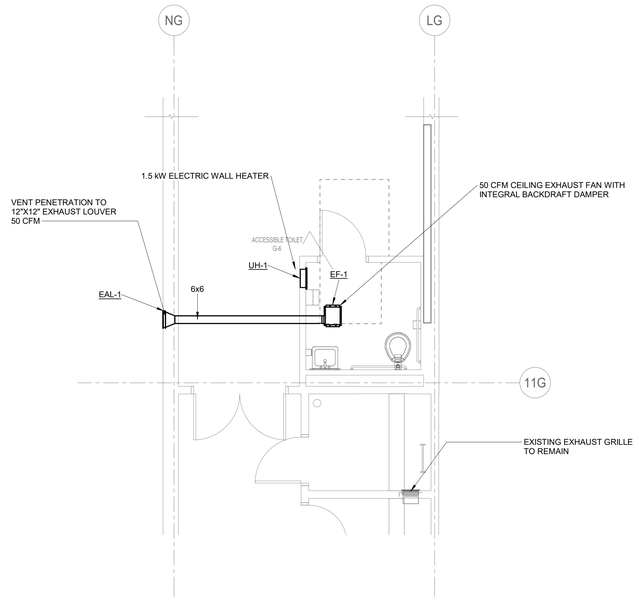
1 LOWER LVL LIFT ROOM - HVAC

1/4" = 1'-0"



2 UPPER LVL LIFT ROOM - HVAC

1/4" = 1'-0"



3 G WING RESTROOM - HVAC

1/4" = 1'-0"

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PROJECT #YY###### ##

BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS		
Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO:	2430.03
DATE:	06/22/26
SCALE:	1/4" = 1'-0"
DRAWN BY:	Author
CHECKED BY:	Checker

HVAC ENLARGED NEW CONST. PLANS

M301

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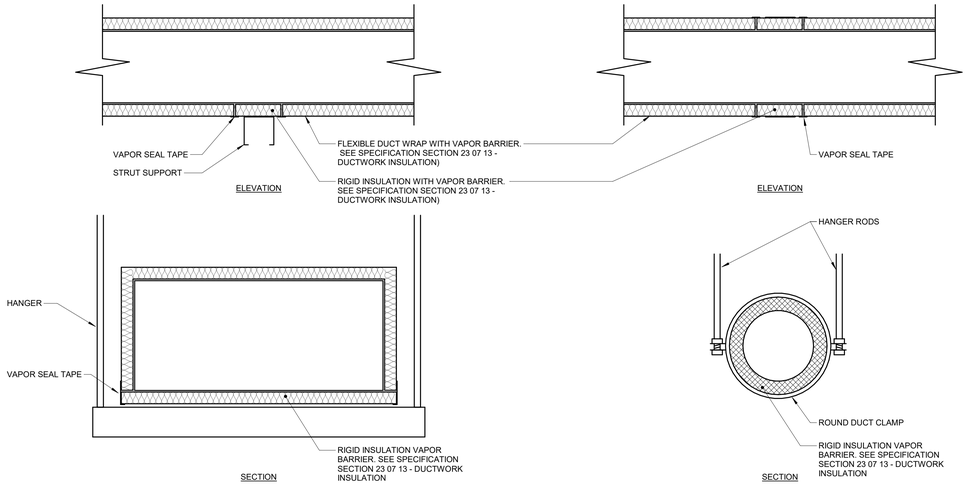
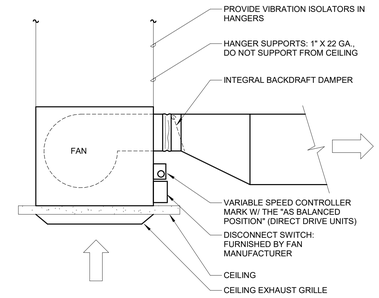


NOTES:

1. DETAIL FOR USE WHERE DUCTS REQUIRE TRAPEZE OR DOUBLE ROD HANGERS (36" DIA. OR EQUIVALENT)

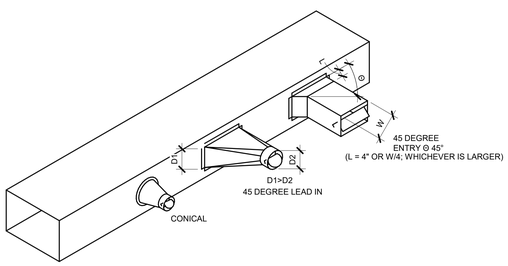
1 DUCT - HANGERS WRAPPED

12" = 1'-0"



2 FAN - CEILING MOUNTED

12" = 1'-0"



NOTES:

1. DO NOT USE CONNECTIONS WITH SCOOPS.
2. FIT ALL CONNECTIONS TO AVOID VISIBLE OPENINGS AND SEAL SUITABLY FOR THE PRESSURE CLASS.
3. ADDITIONAL MECHANICAL FASTENERS ARE REQUIRED FOR 4" W.G. AND OVER.
4. REFER TO SPECIFICATIONS FOR VOLUME DAMPER REQUIREMENTS.
5. OPENINGS SHALL BE CUT ACCURATELY (SHAPE AND SIZE).

3 DUCT - BRANCH CONNECTIONS

12" = 1'-0"

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PROJECT #YY###### ##

BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS

Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO:	2430.03
DATE:	06/22/26
SCALE:	12" = 1'-0"
DRAWN BY:	Author
CHECKED BY:	Checker

HVAC DETAILS

M400

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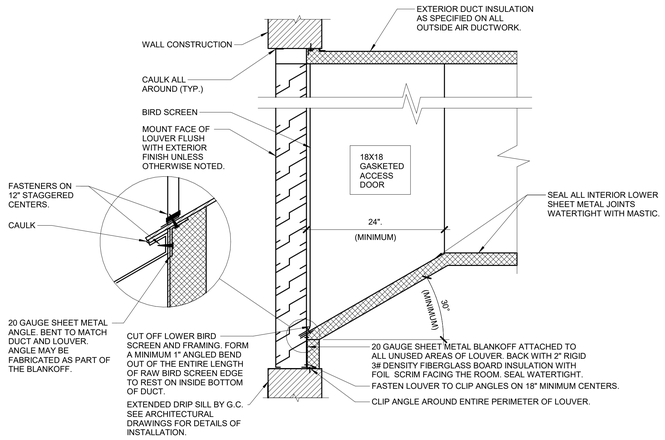
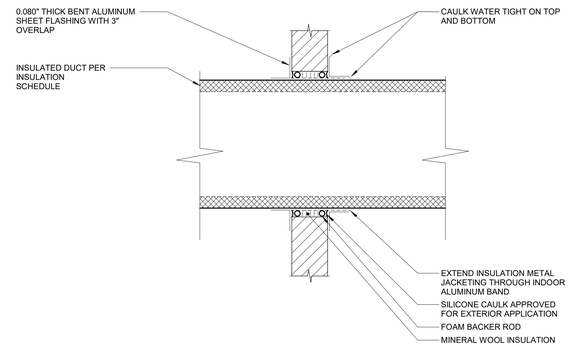


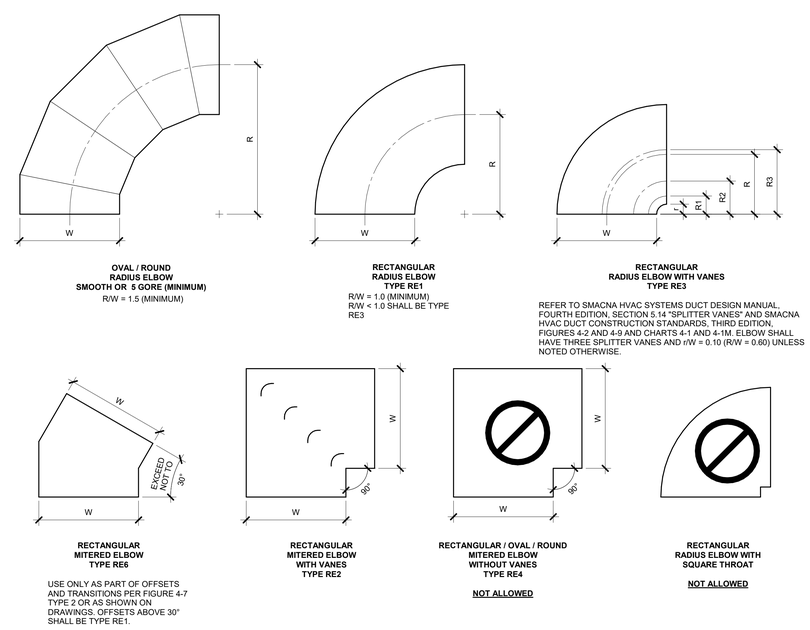
NOTES:

1. SEAL ALL JOINTS ON BOTTOM INTERIOR SURFACE OF DUCT WITHIN 6'-0" OF THE LOUVER WATER TIGHT.
2. CAULK SHEETMETAL SCREWS WHERE THEY PENETRATE METAL.

1 LOUVER INSTALLATION
12" = 1'-0"



2 WALL PENETRATION - EXTERIOR - DUCT
12" = 1'-0"



OVAL / ROUND RADIUS ELBOW SMOOTH OR 5 GORE (MINIMUM)
R/W = 1.5 (MINIMUM)

RECTANGULAR RADIUS ELBOW TYPE RE1
R/W = 1.0 (MINIMUM)
R/W < 1.0 SHALL BE TYPE RE3

RECTANGULAR RADIUS ELBOW WITH VANES TYPE RE3
REFER TO SMACNA HVAC SYSTEMS DUCT DESIGN MANUAL, FOURTH EDITION, SECTION 5.14 "SPLITTER VANES" AND SMACNA HVAC DUCT CONSTRUCTION STANDARDS, THIRD EDITION, FIGURES 4-2 AND 4-9 AND CHARTS 4-1 AND 4-1M. ELBOW SHALL HAVE THREE SPLITTER VANES AND r/W = 0.10 (R/W = 0.60) UNLESS NOTED OTHERWISE.

RECTANGULAR MITERED ELBOW TYPE RE6
USE ONLY AS PART OF OFFSETS AND TRANSITIONS PER FIGURE 4-7 TYPE 2 OR AS SHOWN ON DRAWINGS. OFFSETS ABOVE 30" SHALL BE TYPE RE1.

RECTANGULAR MITERED ELBOW WITH VANES TYPE RE2

RECTANGULAR / OVAL / ROUND MITERED ELBOW WITHOUT VANES TYPE RE4
NOT ALLOWED

RECTANGULAR RADIUS ELBOW WITH SQUARE THROAT
NOT ALLOWED

NOTES:

1. BEAD, CROSSBREAK, AND REINFORCE FLAT SURFACES AS IN STRAIGHT DUCT.
2. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
3. DEFAULT ELBOW SHALL BE TYPE "RE1".
4. ELBOW TYPES SHALL BE INSTALLED AS SHOWN AND NOT BE SUBSTITUTED WITHOUT PERMISSION. EXCEPTION: RE1 OR RE3 MAY BE SUBSTITUTED FOR RE2.

4 DUCT - ELBOW CONSTRUCTION
12" = 1'-0"

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PROJECT #YY###### ##

BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS

Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO:	2430.03
DATE:	06/22/26
SCALE:	12" = 1'-0"
DRAWN BY:	Author
CHECKED BY:	Checker

HVAC DETAILS

M401

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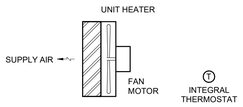


SEQUENCE OF OPERATION:

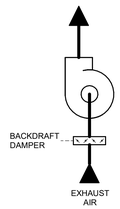
ELECTRIC HEATER SHALL ENERGIZE FAN AND MODULATE THE ELECTRIC COIL TO MAINTAIN A SPACE TEMPERATURE SETPOINT OF 70°F (ADJ.). WHEN SPACE TEMPERATURE IS SATISFIED, THE UNIT SHALL DENERGIZE.

ALARMS, INTERLOCKS & SAFETIES:

ELECTRIC HEATER SHALL INCLUDE INTEGRAL THERMAL CUTOUT TO SHUT OFF HEAT IN THE EVENT OF OVERHEATING.

1 UNIT HEATER CONTROL - ELECTRIC

12" = 1'-0"



SEQUENCE OF OPERATION:
EXHAUST FAN SHALL RUN CONTINUOUSLY.

ALARMS, INTERLOCKS AND SAFETIES:
EXHAUST FAN SHALL INCLUDE INTEGRAL THERMAL OVERLOAD PROTECTION.

3 FAN - RUN CONTINUOUSLY

12" = 1'-0"

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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS

Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO:	2430.03
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DRAWN BY:	Author
CHECKED BY:	Checker

HVAC DIAGRAMS

M500

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UNIT HEATER SCHEDULE - ELECTRIC (UH)

NOTES:
1. PROVIDE INTEGRAL THERMOSTAT. 2. PROVIDE INTEGRAL DISCONNECT 3. UNIT SHALL BE SURFACE-MOUNTED 4. COLOR TO BE SELECTED BY ARCHITECT

TAG NAME	LOCATION		FAN		ELECTRIC ELEMENT				ELECTRICAL									CONTROL		MAXIMUM DIMENSIONS			WEIGHT LBS				
			CFM		EAT	LAT	TOTAL KW (QTY * KW)					DISCONNECT		CNTLR/STARTER													
	NAME	NO.	DESIGN	QTY	DB °F	DB °F	QTY	KW	VOLTS	PH	NO. OF WIRES	BY [A]	TYPE [B]	BY [A]	TYPE [C]	SCCR	EM PWR	TYPE [H]	DIAGRAM	WIDTH	HEIGHT	DEPTH	DRY	OPERATING	MANUFACTURER	MODEL	NOTES
UH-1	RESTROOM	G-WING	50	1	40	85	1	1.5	120	1	2	MC	NF	EC		0	No	THERMOSTAT	M500-1	16'-0 7/8"	7'-0 3/4"	5'-0 1/4"	11	11	Marley Engineered Products	GFR Series	MODEL GFR1500F
UH-1			0	0	-459.7	-459.7	0	0	0	1	0					0	Yes			0"	0"	0"	0	0	Marley Engineered Products	GFR Series	

LOUVER SCHEDULE (EAL, OAL, RAL, etc.)

NOTES:
1.FINISH TYPE: TYPE 3 - BAKED ENAMEL FINISH ON PRETREATED PRIME PAINT. STANDARD COLOR

TAG NAME	SERVICE	TYPE	SIZE (INCHES)			FREE AREA SQ FT	CFM	A.P.D. IN. W.C.	FREE AREA FPM	WEIGHT LBS		MANUFACTURER	MODEL	NOTES
			WIDTH	HEIGHT	DEPTH		DESIGN			DRY	OPERATING			
EAL-1	EXHAUST	Exhaust	12"	12"	0"	49	50	0	297	0	0	RUSKIN	ELF375DX	

FAN SCHEDULE (EF, RF, SF, etc.)

NOTES:
1.PROVIDE FAN SPEED CONTROLLER

TAG NAME	SERVICE	CFM	TOTAL S.P. IN. WC	WHEEL DIA	DRIVE	RPM	MOTOR		DAMPER	ELECTRICAL								CONTROL DIAGRAM	VIBRATION ISO		MAXIMUM DIMENSIONS			WEIGHT LBS		MANUFACTURER	MODEL	NOTES
												DISCONNECT		CNTLR/STARTER														
		DESIGN					AMPS	WATTS	TYPE	VOLTS	PH	BY [A]	TYPE [B]	BY [A]	TYPE [C]		EM PWR		TYPE	DEFL	WIDTH	HEIGHT	DEPTH	DRY	OPERATING			
EF-1	EXHAUST	50	2.5	6"	DIRECT	675	0.53	45.1	BACKDRAFT	115	1	MC	NF	EC			No	M500-2	HOLD SPRING	1"	1'-5"	1'-6"	1'-5"	10	10	GREENHECK	SP-B70	

PIPE INSULATION SCHEDULE (HVAC)

GENERAL NOTES:
1. REFER TO THE SPECIFICATIONS FOR TYPE DESCRIPTIONS AND JACKETING REQUIREMENTS.
2. TYPE A INSULATION IS NOT PERMITTED IN NON-CONDITIONED OR HIGH-HUMIDITY SPACES (E.G., MECHANICAL ROOMS, EXTERIOR, ATTICS, AND AHU SUPPLY/RETURN AIR TUNNELS). AHU TUNNELS SHALL NOT BE CONSIDERED CONDITIONED SPACES.
3. TYPE B INSULATION GREATER THAN 1" THICK SHALL BE INSTALLED USING MULTIPLE LAYERS OF 3/4" OR 1" WITH STAGGERED SEAMS.
4. PROVIDE RIGID INSERT AT HANGERS, EITHER PRE-MANUFACTURED COUPLINGS (REFER TO PIPE HANGER AND SUPPORTS SPECIFICATIONS) OR TYPE C, D, OR E INSULATION. SEE SPEC. FOR MORE DETAILS.

SYMBOL	PIPE SYSTEM	INSULATION TYPE	INSULATION THICKNESS PER NOMINAL PIPE OR TUBE SIZE					NOTES
			< 1"	1" TO < 1.5"	1.5" TO < 4"	4" TO < 8"	≥ 8"	
23 PIPING - HEATING WATER								
HWR	HEATING WATER RETURN	A (GlsFbr), C (CelGla),	1 1/2"	1 1/2"	2"	2"	2"	
HWS	HEATING WATER SUPPLY	A (GlsFbr), C (CelGla),	1 1/2"	1 1/2"	2"	2"	2"	

AIR TERMINAL SCHEDULE (EG, RG, SD, etc.)

NOTES:
1. CONTRACTOR SHALL DETERMINE PROPER BORDER TYPE TO MATCH WALL CONSTRUCTION.
2. ALL GRILLES SHALL MATCH EXISTING SIZE. CONTRACTOR TO FIELD VERIFY ALL EXISTING SIZES.
3. ALL GRILLES SHALL BE PROVIDED WITH INTEGRAL OPPOSED BLADE VOLUME DAMPERS.

TAG NAME	TYPE	MATERIAL	FINISH	BORDER (NOTE 3)	VOLUME DAMPER	MANUFACTURER	MODEL	NOTES
EG	35 DEGREE DEFLECTION	ALUMINUM	WHITE	SURFACE MOUNT	Yes	TITUS	350	LONG BLADES

SCHEDULE GENERAL KEY

[A] DISCONNECT AND CNTLR/STARTER FURNISHED AND INSTALLED BY:
MFR = MANUFACTURER
EC = ELECTRICAL CONTRACTOR.
MC = FURNISHED BY MECHANICAL CONTRACTOR, INSTALLED BY ELECTRICAL CONTRACTOR.
MFR/EC = FURNISHED LOOSE BY MANUFACTURER INSTALLED BY ELECTRICAL CONTRACTOR.
TCC = TEMPERATURE CONTROL CONTRACTOR

[B] DISCONNECT TYPE:
CB = CIRCUIT BREAKER
F = FUSED
NF = NON-FUSED
PLUG = PLUG AND CORD

[C] CONTROLLER STARTER TYPE:
FV = FULL VOLTAGE
WYE = WYE-DELTA
SS = SOLID STATE (SOFT START)
MS = MANUAL STARTER
VFD = VARIABLE FREQUENCY DRIVE
VFD/B = VARIABLE FREQUENCY DRIVE WITH BYPASS
ECM = ELECTRONICALLY COMMUTATED MOTOR

NOTE: PROVIDE SHAFT GROUNDING ON MOTORS DRIVEN BY A VFD AS REQUIRED PER SPECIFICATIONS 22 05 13 AND 23 05 13.

[D] RPM LIMITATION
FAN RPM SHALL NOT EXCEED 110% OF SCHEDULED VALUE. WITH THE SCHEDULED WHEEL TYPE. SUBSTITUTION OF BI OR BIA FANS FOR FC IS ACCEPTABLE IF

[E] HORSEPOWER LIMITATION
NO EQUIPMENT SHALL BE SELECTED ABOVE 90% OF MOTOR NAME PLATE RATING.

[F] RPM DEVIATION
MUST BE WITHIN +/- 10% OF SCHEDULED RPM.

[G] CURB / PAD TYPE:
STD = STANDARD CURB
SAC = SOUND ATTENUATOR CURB
CONC = CONCRETE BASE (HOUSEKEEPING PAD)

[G] CURB / PAD BY:
MFR = MANUFACTURER
MC = MECHANICAL CONTRACTOR
GC = BY GENERAL CONTRACTOR

[H] CONTROL / SENSOR TYPE
1 = SENSOR ONLY
2 = SENSOR WITH ADJUSTMENT
3 = SENSOR WITH OVERRIDE
4 = SENSOR WITH ADJUSTMENT AND OVERRIDE.

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PROJECT #YY#######.##

BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS		
Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO: 2430.03
DATE: 06/22/26
SCALE:
DRAWN BY: Author
CHECKED BY: Checker

HVAC SCHEDULES

M600

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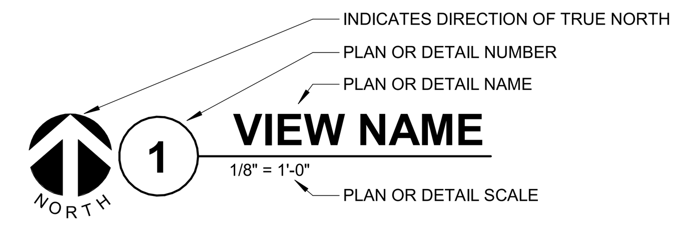
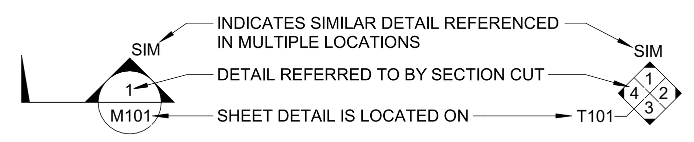
VIEW KEY

NAME ← LEVEL NAME
10'-0" ← HEIGHT ABOVE PROJECT 0'-0"

(1) ← KEYNOTE: INDICATES NOTE USED TO DESCRIBE ADDITIONAL INFORMATION ABOUT WORK REQUIRED, SPECIFIC TO THE SHEET AND/OR DETAIL





LINE TYPE AND TAG KEY:

NEW WORK BY THIS CONTRACTOR (WIDE LINE)
NEW
EXISTING TO BE REMOVED (SHORT DASHED PATTERN)
NEW UNDERFLOOR OR UNDERGROUND (LONG DASHED PATTERN)

EXISTING TO REMAIN OR WORK BY OTHERS (NARROW LINE)
EXISTING
EXISTING TO BE REMOVED BY OTHERS (SHORT DASHED PATTERN)
EXISTING UNDERFLOOR OR UNDERGROUND (LONG DASHED PATTERN)

HALFTONING DOES NOT MODIFY SCOPE.

'TAG'-E — TAGS WITH DASH 'E' INDICATES THE REFERENCED OBJECT IS EXISTING

TAG-1 — UNDERLINED TAG INDICATES OBJECT IS IN-SCOPE. IF NEW, ADDITIONAL INFORMATION IS AVAILABLE IN A SCHEDULE, MATERIAL LIST, OR SYMBOL LIST

INDICATES AN EXISTING SYSTEM'S POINT OF CONNECTION/REMOVAL

RECEPTACLE SUBSCRIPT KEY:

DEVICE KEY:

DEVICE — # = MOUNTING (IF APPLICABLE)
1 = CIRCUIT NUMBER

*IF LABEL IS ORIENTED HORIZONTALLY A SLASH WILL SEPARATE THIS INFORMATION. EX: A / 1

ELECTRICAL MOUNTING SUBSCRIPT KEY:

A	MOUNT AT +6" TO CENTERLINE ABOVE COUNTER OR BACKSPLASH
C	MOUNT AT CEILING (DEVICE OR ROUGH-IN CONTEXT)
H	MOUNT ORIENTED HORIZONTALLY
L	MOUNT IN CASEWORK
M	MOUNT IN MODULAR FURNITURE
R	MOUNT IN SURFACE RACEWAY
SM	SURFACE MOUNTED
WG	WIRE GUARD
+#"	MOUNT AT #" TO CENTERLINE ABOVE FINISHED FLOOR

SHADED DEVICE INDICATES DEVICE IS CONNECTED TO AN EMERGENCY CIRCUIT.

DEVICE (E)

ELECTRICAL PHASING NOTES:

THESE NOTES APPLY TO ALL ELECTRICAL SHEETS AND TRADES, INCLUDING BUT NOT LIMITED TO, LIGHTING, POWER, FIRE ALARM, AND OTHER LOW VOLTAGE SYSTEMS.

1. REFER TO ARCHITECTURAL DRAWINGS FOR GENERAL DESCRIPTION OF PHASES.
2. REFER TO GENERAL CONTRACTOR'S/ARCHITECT'S INSTRUCTIONS FOR MORE DETAILS AND PHASING SCHEDULES AND FOR CONCURRENT WORK. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS DEPICT THE INTENT OF THE FINAL DESIGN. THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS DO NOT DEPICT THE MEANS AND METHODS TO MEET THE REQUIREMENTS OF THE PHASING CRITERIA.
3. REVIEW PROJECT PHASING PLANS TO COORDINATE DEMOLITION WORK, OUTAGES, ETC. WITH AFFECTED ADJACENT AREAS.
4. PROVIDE TEMPORARY LIGHTING, POWER, FIRE ALARM, AND OTHER LOW VOLTAGE SYSTEMS, ETC. AS NEEDED TO MAINTAIN SERVICE TO ALL AREAS DURING ALL PHASES OF PROJECT.

ELECTRICAL RENOVATION NOTES:

THESE NOTES APPLY TO ALL ELECTRICAL SHEETS AND TRADES, INCLUDING BUT NOT LIMITED TO, LIGHTING, POWER, FIRE ALARM, AND OTHER LOW VOLTAGE SYSTEMS.

1. EXISTING CONDITIONS ARE SHOWN BASED ON INFORMATION OBTAINED FROM FIELD SURVEYS, EXISTING BUILDING DOCUMENTS. CONTRACTOR SHALL REVIEW EXISTING CONDITIONS AND REPORT CONFLICTS.
2. NOT ALL EXISTING EQUIPMENT, LUMINAIRES, AND CONDUIT ARE SHOWN. CONTRACTOR SHALL REVIEW EXISTING CONDITIONS AND REPORT CONFLICTS.
3. CONTRACTOR SHALL REVIEW EXISTING CONDITIONS PRIOR TO FABRICATION OF CABLE TRAY, BUSWAY, CONDUIT RACKS, AND OTHER SYSTEMS. RISES AND DROPS MAY BE NECESSARY BECAUSE OF EXISTING FIELD CONDITIONS.
4. ELECTRICAL CONTRACTOR SHALL REVIEW EXISTING CONDITIONS TO VERIFY ACCESSIBILITY TO THE AREAS OF THEIR WORK INCLUDING WALLS, FLOOR, CEILINGS, CEILING TILES/GRID, AND ROOF. ELECTRICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE CUTTING, REMOVAL, PATCHING, AND REINSTALLATION OF AFFECTED AREAS ASSOCIATED WITH THEIR WORK BY COORDINATING WITH THE GENERAL CONTRACTOR.
5. WHERE EXISTING ELECTRICAL SYSTEMS ARE LOCATED IN AREAS THAT CONFLICT WITH NEW EQUIPMENT, PIPING, OR DUCTWORK TO BE INSTALLED, EACH CONTRACTOR SHALL EITHER ARRANGE NEW EQUIPMENT, CONDUIT, OR DUCTWORK IN SUCH A FASHION THAT IT DOES NOT CONFLICT WITH EXISTING SYSTEMS, OR REWORK EXISTING ELECTRICAL SYSTEMS TO ALLOW FOR INSTALLATION OF NEW EQUIPMENT, PIPING, OR DUCTWORK.

ELECTRICAL SYMBOL LIST - POWER

SYMBOL	EQUIP ABBREV	SPEC SECTION	DESCRIPTION
E	ECONN	26 05 33	ELECTRICAL CONNECTION - WALL
J	JB	26 05 33	JUNCTION BOX - CEILING/SURFACE
	PANEL-'##'	26 24 16	PANELBOARD - SURFACE MOUNT
	FDS-#	26 28 16	FUSIBLE DISCONNECT SWITCH, REFER TO DISCONNECT AND STARTER SCHEDULE

ELECTRICAL SYMBOL LIST - RECEPTACLES

SYMBOL	TAG	EQUIP ABBREV	SPEC SECTION	DESCRIPTION
#		REC-DUP	26 27 26	DUPLEX RECEPTACLE, 125V

ELECTRICAL ABBREVIATION KEY

ABBR:	DESCRIPTION:
AFF	ABOVE FINISHED FLOOR
C	CONDUIT (BRANCH CIRCUIT OR FEEDER CONTEXT)
EG	EQUIPMENT GROUND
EM	EXISTING TO REMAIN
EN	EXISTING TO BE REPLACED WITH NEW
ER	EXISTING TO BE REMOVED
ERR	EXISTING TO BE RELOCATED
NEMA #	NEMA RATING
NIC	NOT IN CONTRACTED SCOPE
RE	RELOCATED EXISTING
SM	SURFACE MOUNTED
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
WP	WEATHER PROOF

ELECTRICAL INSTALLATION NOTES:

1. CIRCUIT NUMBERS ARE SHOWN FOR CIRCUIT IDENTIFICATION. CIRCUITING SHALL AGREE WITH NUMBERING ON THE PANEL PROVIDED. COMMON NEUTRALS MAY NOT BE USED FOR BRANCH CIRCUITS. BALANCE THE LOAD ON PANEL AS EVENLY AS POSSIBLE BETWEEN EACH PHASE.
2. BRANCH WIRING FOR FEEDERS AND BRANCH CIRCUITS SHALL BE ROUTED IN SEPARATE RACEWAY, JUNCTION BOXES, PULL BOXES, AND CABINETS. WIRING FOR EACH BRANCH SHALL BE INDEPENDENT FROM OTHER BRANCHES, INCLUDING THE NORMAL BRANCH.
3. FLUSH MOUNT ALL LIGHTING CONTROL DEVICES AT +42" FROM FLOOR (CENTERLINE DIMENSION), EXCEPT WHERE OTHERWISE NOTED.
4. FLUSH MOUNT DUPLEX RECEPTACLES AT +18" FROM FLOOR (CENTERLINE DIMENSION), EXCEPT WHERE OTHERWISE NOTED. RECEPTACLES MAY BE SURFACE MOUNTED WHEN CONDUIT IS SPECIFIED EXPOSED. MOUNT EXTERIOR LOCATED RECEPTACLES WITH WHILE-IN-USE COVERS AT +20" FROM FINISHED GRADE (CENTER DIMENSIONS) TO MAINTAIN INSTALLATION ADA COMPLIANCE.
5. ALL MATERIALS USED TO SEAL PENETRATIONS OF FIRE RATED WALLS AND FLOORS SHALL BE TESTED AND CERTIFIED AS A SYSTEM PER ASTM E814 STANDARDS FOR FIRE TESTS OF THROUGH-PENETRATION FIRESTOPS.
6. CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL CEILING MOUNTED DEVICES AND EQUIPMENT WITH LUMINAIRES, SPRINKLER, AND CEILING DIFFUSERS. CENTER ALL DEVICES IN CEILING TILE PATTERN. SMOKE DETECTORS, CARBON MONOXIDE DETECTORS, AND OCCUPANCY/VACANCY SENSORS SHALL BE LOCATED NO CLOSER THAN 3 FEET TO AN AIR SUPPLY DIFFUSER OR RETURN GRILLE.
7. ELECTRICAL AND TECHNOLOGY EQUIPMENT SHALL BE MOUNTED TO AVOID IMPEDANCE OF, OPERATION OF, AND/OR ACCESS TO ELECTRICAL AND MECHANICAL EQUIPMENT. ALL MOUNTING OF ELECTRICAL AND TELECOMMUNICATIONS EQUIPMENT, ON EQUIPMENT SUPPLIED BY ANOTHER CONTRACTOR, SHALL BE APPROVED IN ADVANCE BY THE OTHER CONTRACTOR.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OPENINGS REQUIRED IN WALLS. ALL OPENINGS SHALL BE REPAIRED TO MATCH EXISTING BY A QUALIFIED CONTRACTOR AT THE EXPENSE OF THIS CONTRACTOR. ALL CONDUITS THROUGH WALLS SHALL BE GROUTED OR SEALED INTO OPENINGS.
9. EACH CONTRACTOR IS RESPONSIBLE FOR DAMAGE CAUSED BY THEIR ACTIONS TO THE WALLS, FLOORS, CEILINGS, AND ROOFS. THE CONTRACTOR WHOSE WORK CAUSES DAMAGE IS RESPONSIBLE FOR PATCHING TO MATCH ORIGINAL CONSTRUCTION, FIRE RATING, AND FINISH.
10. ELECTRICAL IDENTIFICATION. REFER TO SPECIFICATION SECTION 26 05 53 FOR COLOR/LABEL REQUIREMENTS FOR CONDUIT, BOX, CABLE/WIRE, AND EQUIPMENT.

Luminaire Schedule (design)

TAG	DESCRIPTION	OPTICS	MTG	LENGTH	WIDTH	HEIGHT	DEPTH	DIAMETER	LIGHT SOURCE	DELIVERED LUMENS	LUMEN SPEC	ANSI WATTS	PER	VOLTAGE	POWER SUPPLY	CONTROL METHOD	MANUFACTURER SERIES	NOTES
R1	EPANL SERIES LED EDGE-LIT FLAT PANEL 2'X2'		RE	24"	24"	4 1/2"				2,000 lm		20	FIX	120		REFER TO DWG	LITHONIA LIGHTING: EPANL 2X2 2000LM 80CRI 35K MIN1 ZT MVOLT	
S2	FLUSH MOUNT, 14 INCH DIAMETER LIGHT		CL			36 1/4"		14"		2,040 lm		30	FIX	120		REFER TO DWG	LITHONIA LIGHTING: FMHLDL 14 208 40	

ELECTRICAL CONNECTION SCHEDULE

	ITEM	LOCATION	VOLTAGE	LOAD CLASS.	MOTOR	MOTORS QTY	@	HP	QTY	@	HP	QTY	@	HP	ELECTRIC HEATING ELEMENT (KW)	APPARENT LOAD	FLA	MCA	MOCP	OCPD	REQ EMER	CIRCUIT NUMBER	WIRE AND RACEWAY	ISC	SCCR	DISCONNECT BY	DISCONNECT TYPE	CONTROLLER / STARTER BY	CONTROLLER / STARTER TYPE	COMMENTS
LP (EXISTING 400A, 208/120V PANEL LOCATION IN MAIN ELECTRICAL ROOM)																														
	EF-1		120, 1Ø	Power	No	0	-	0	0	-	0	0	-	0	0	0.05 kVA	0	0	0	0	No	5		0	0	EC	NF			
	LIFT		208, 1Ø	Power	No	0	-	0	0	-	0	0	-	0	0	2.76 kVA	0	0	0	0	No	7,9		0	0	MA	NF			
	UN-1		120, 1Ø	Power	No	0	-	0	0	-	0	0	-	0	0	1.50 kVA	0	0	0	0	No	4		0	0	EC	NF			

ELECTRICAL SHEET INDEX

E000	ELECTRICAL COVERSHEET
E100	LOWER LEVEL ELECTRICAL DEMOLITION AND NEW WORKS OVERALL
E101	UPPER LEVEL ELECTRICAL DEMOLITION ANE NEW WORKS OVERALL
E300	ENLARGED LIGHTING AND POWER DEMO PLANS
E301	ENLARGED LIGHTING PLANS
E302	ENLARGED POWER PLANS
GRAND TOTAL: 6	

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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS

Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO: 2430.03
DATE: 06/22/26
SCALE: As indicated
DRAWN BY: KY
CHECKED BY: JL

ELECTRICAL COVERSHEET

E000

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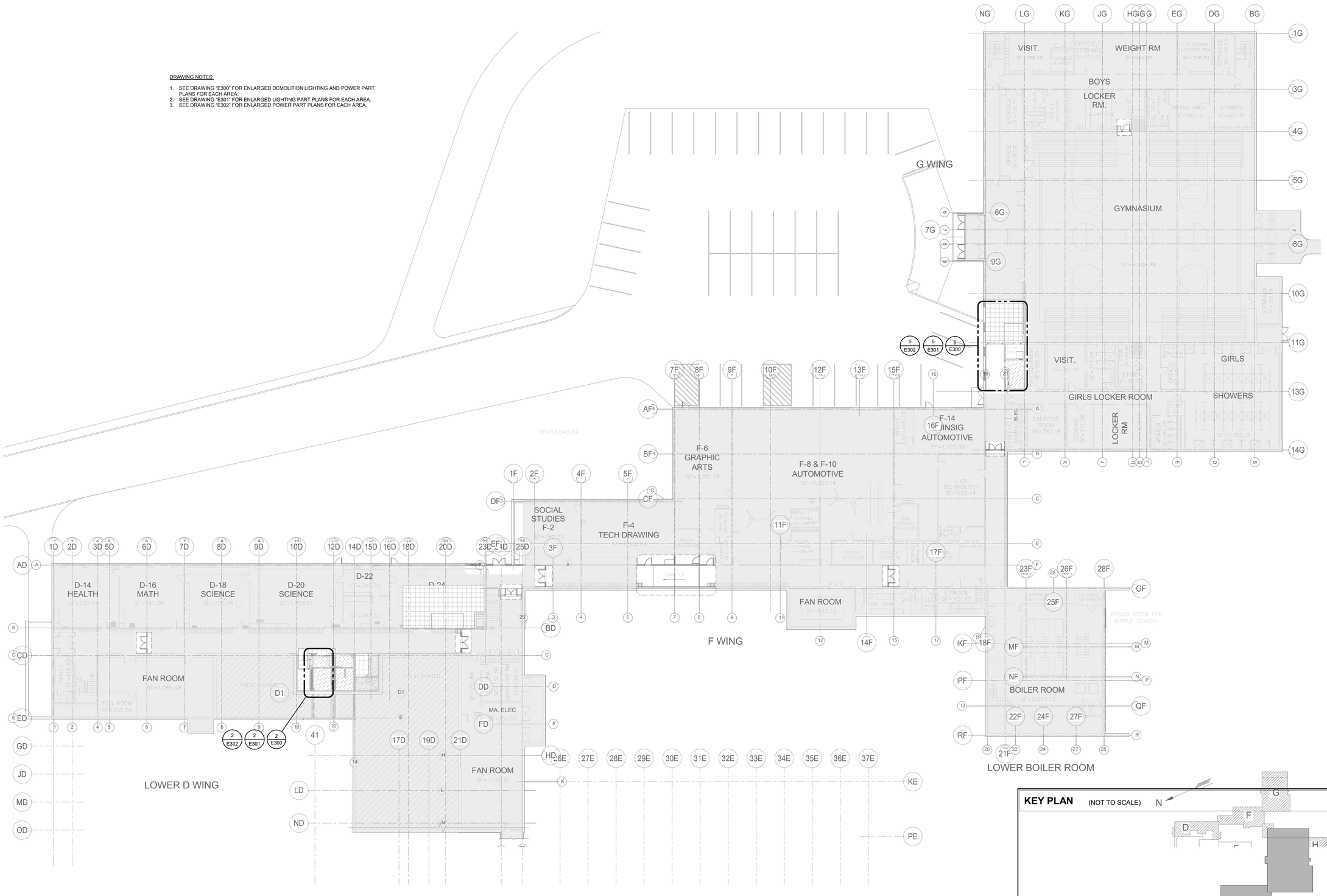
DRAWING NOTES:

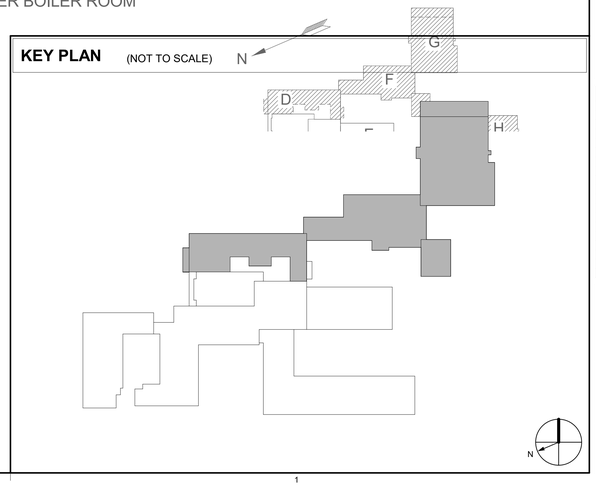
1. SEE DRAWING "E300" FOR ENLARGED DEMOLITION LIGHTING AND POWER PART PLANS FOR EACH AREA.
2. SEE DRAWING "E301" FOR ENLARGED LIGHTING PART PLANS FOR EACH AREA.
3. SEE DRAWING "E302" FOR ENLARGED POWER PART PLANS FOR EACH AREA.



1 LOWER LEVEL DEMOLITION PLAN - LIGHTING OVERALL

1/16" = 1'-0"

KEY PLAN (NOT TO SCALE)



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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS

Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO:	2430.03
DATE:	06/22/26
SCALE:	1/16" = 1'-0"
DRAWN BY:	KY
CHECKED BY:	NF

LOWER LEVEL ELECTRICAL DEMOLITION AND NEW WORKS OVERALL

E100

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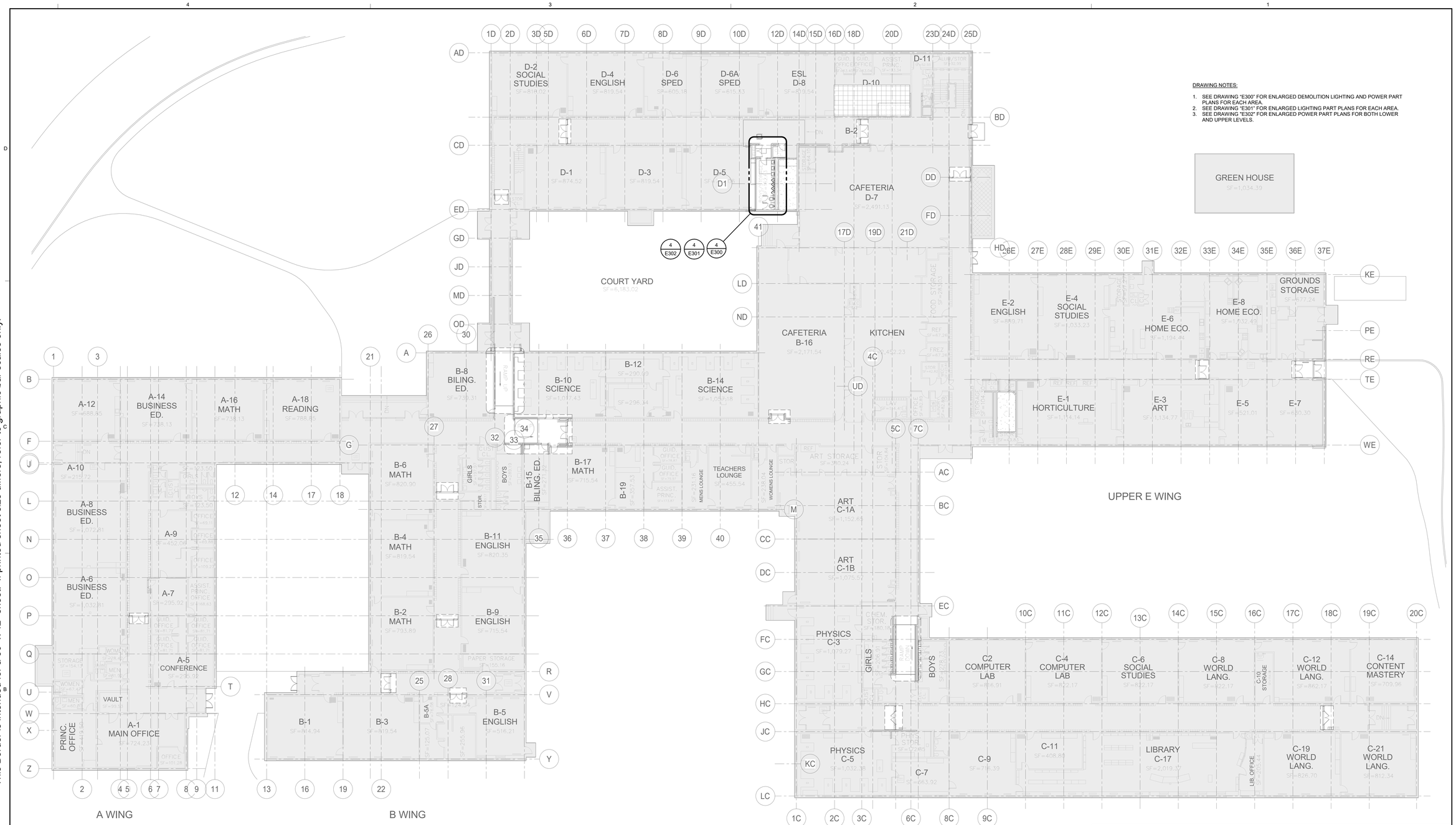


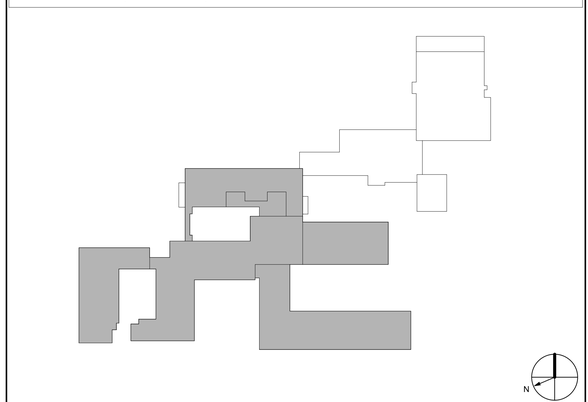
DRAWING NOTES:

1. SEE DRAWING "E300" FOR ENLARGED DEMOLITION LIGHTING AND POWER PART PLANS FOR EACH AREA.
2. SEE DRAWING "E301" FOR ENLARGED LIGHTING PART PLANS FOR EACH AREA.
3. SEE DRAWING "E302" FOR ENLARGED POWER PART PLANS FOR BOTH LOWER AND UPPER LEVELS.

1 UPPER LEVEL DEMOLITION PLAN - LIGHTING OVERALL

1/16" = 1'-0"

KEY PLAN (NOT TO SCALE)



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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS

Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO: 2430.03
DATE: 06/22/26
SCALE: 1/16" = 1'-0"
DRAWN BY: KY
CHECKED BY: NF

UPPER LEVEL ELECTRICAL DEMOLITION ANE NEW WORKS OVERALL

E101

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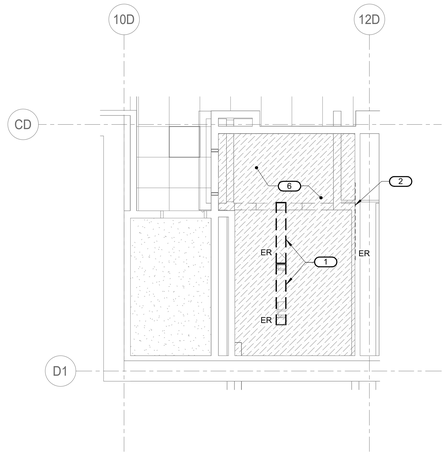


2 LOWER LVL LIFT ROOM - LIGHTING AND POWER DEMO

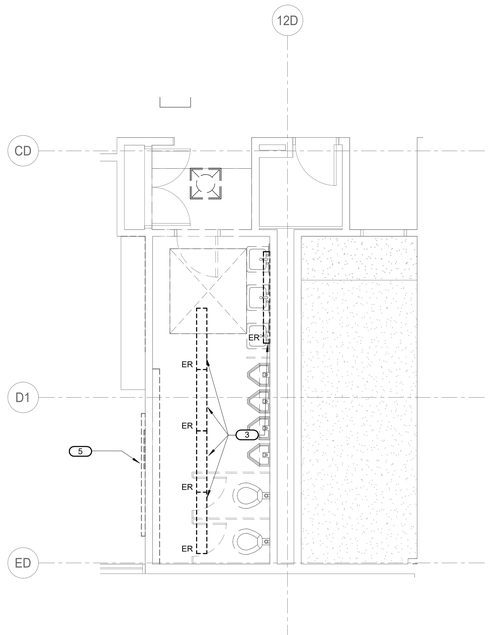
1/4" = 1'-0"

DRAWING NOTES:

1. REFER TO DRAWING "E000" FOR LEGEND, ABBREVIATION, GENERAL DEMOLITION NOTES, AND GENERAL NOTES.
2. REFER TO THE ARCHITECTURAL DRAWINGS "AD-410" AND "AD-412" AND ACCOMPANYING NOTES TO DETERMINE THE EXACT BOUNDARIES OF DEMOLITION.

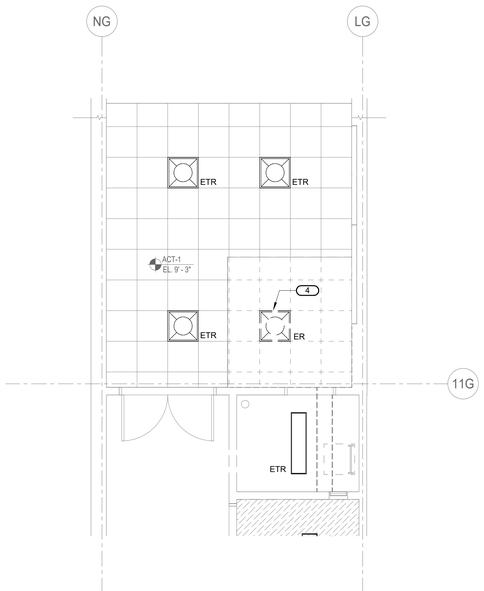
KEYED NOTES: X

1. REMOVE EXISTING SURFACE-MOUNTED LIGHTING FIXTURES AND LIGHTING CONTROL SWITCH. RETAIN EXISTING CONDUITS AND WIRING FOR REUSE WITH NEW LIGHTING FIXTURES AND NEW LIGHTING CONTROL SWITCH.
2. EXISTING WALL-MOUNTED LIGHTING FIXTURE ABOVE THE SINKS TO BE REMOVED.
3. REMOVE EXISTING SURFACE-MOUNTED AND WALL-MOUNTED LIGHTING FIXTURES AND EXISTING LIGHTING CONTROL SWITCHES. EXISTING LIGHTING CIRCUIT SHALL REMAIN AND BE REUSED FOR NEW LIGHTING FIXTURES.
4. REMOVE AND RETAIN EXISTING CEILING-MOUNTED FIXTURE FOR REUSE. EXISTING BRANCH WIRING SHALL BE CUT BACK TO THE NEXT ACTIVE LUMINAIRE.
5. DISCONNECT AND REMOVE THE EXISTING SURFACE-MOUNTED POWER STRIP. EXISTING BRANCH WIRING SHALL BE CUT BACK TO THE NEXT ACTIVE DEVICE.
6. ELECTRICAL CONTRACTOR SHALL FIELD-VERIFY EXISTING CONDITIONS AND RE-ROUTE EXISTING CONDUITS AND JUNCTION BOXES WITHIN THE PLENUM SPACE AS REQUIRED TO ACCOMMODATE INSTALLATION OF THE NEW LIFT.



4 UPPER LVL LIFT ROOM - LIGHTING AND POWER DEMO

1/4" = 1'-0"



5 G WING RESTROOM - LIGHTING DEMO

1/4" = 1'-0"

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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS

Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO:	2430.03
DATE:	06/22/26
SCALE:	1/4" = 1'-0"
DRAWN BY:	KY
CHECKED BY:	JL

ENLARGED LIGHTING AND POWER DEMO PLANS

E300

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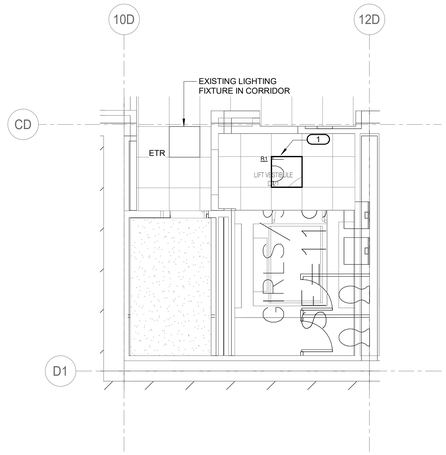
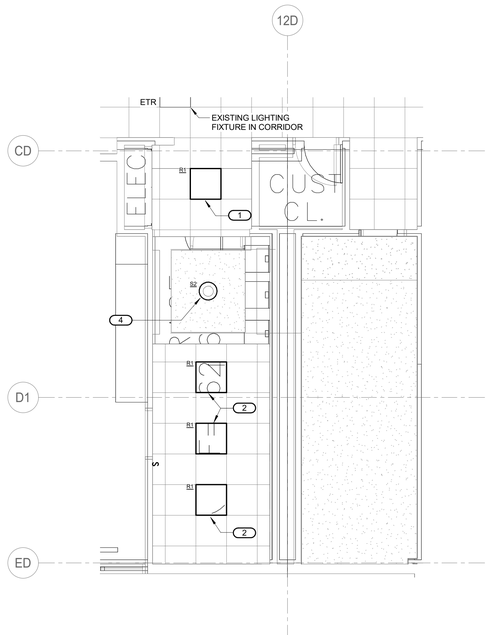
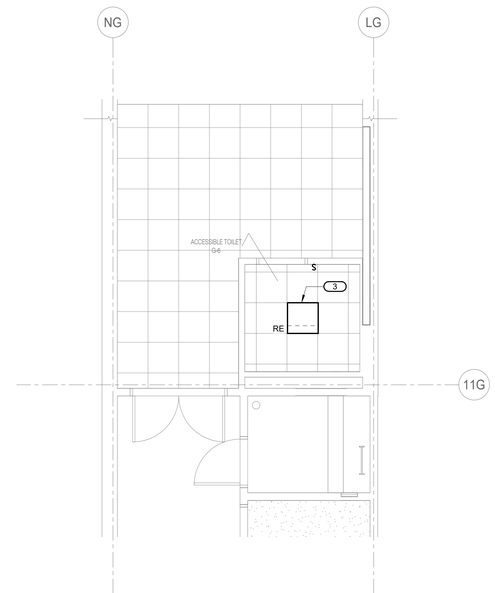


2 LOWER LVL LIFT ROOM - LIGHTING
1/4" = 1'-0"



4 UPPER LVL LIFT ROOM - LIGHTING
1/4" = 1'-0"



5 G WING RESTROOM - LIGHTING
1/4" = 1'-0"

DRAWING NOTES:

1. REFER TO DRAWING "E000" FOR LEGEND, ABBREVIATION, AND GENERAL NOTES.
2. REFER TO THE ARCHITECTURAL DRAWINGS AND ACCOMPANYING NOTES TO DETERMINE THE EXACT BOUNDARIES OF NEW WORK.
3. REFER TO DRAWING "E000" FOR THE LIGHTING FIXTURES SCHEDULE.

KEYED NOTES: X

1. CONNECT THE NEW LIGHTING FIXTURE TO THE EXISTING CORRIDOR LIGHTING BRANCH CIRCUIT AND ITS CORRESPONDING CONTROL SWITCHES.
2. CONNECT THE NEW LIGHTING FIXTURE TO THE EXISTING BRANCH CIRCUIT IDENTIFIED FOR REUSE, USING EXISTING CONDUIT AND CONDUCTORS. EXTEND CONDUIT AND WIRING AS REQUIRED AND PROVIDE FINAL CONNECTION TO THE NEW LOCAL LIGHTING SWITCH.
3. REINSTALL EXISTING LIGHTING FIXTURE FROM DEMOLITION; RECONNECT TO EXISTING LIGHTING BRANCH CIRCUIT IDENTIFIED FOR REUSE. USING EXISTING CONDUIT AND CONDUCTORS. EXTEND CONDUIT AND WIRING AS REQUIRED AND PROVIDE FINAL CONNECTION TO THE NEW LOCAL LIGHTING SWITCH.
4. CONNECT THE NEW SURFACE-MOUNTED LIGHTING FIXTURE TO THE EXISTING CORRIDOR LIGHTING BRANCH CIRCUIT AND ITS CORRESPONDING CONTROL SWITCHES.

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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS

Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO:	2430.03
DATE:	06/22/26
SCALE:	1/4" = 1'-0"
DRAWN BY:	KY
CHECKED BY:	JL

ENLARGED LIGHTING PLANS

E301

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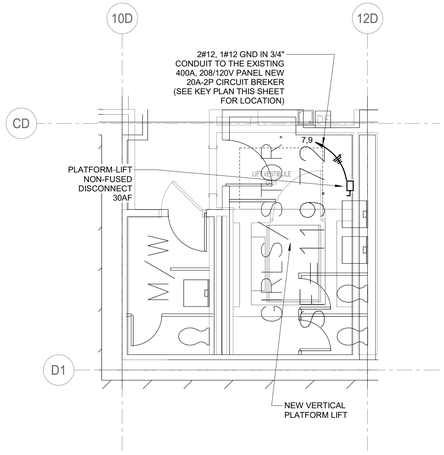
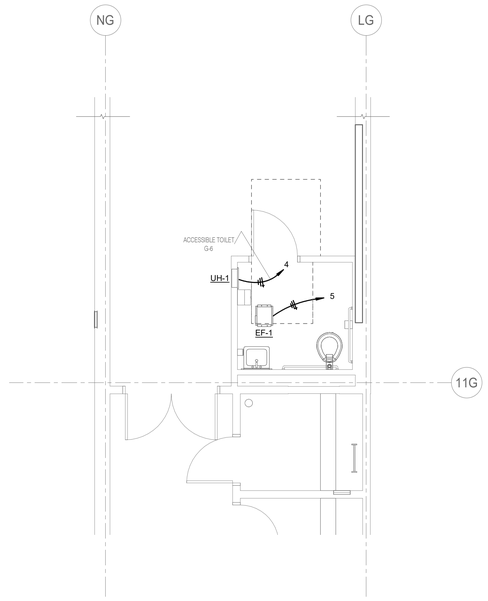


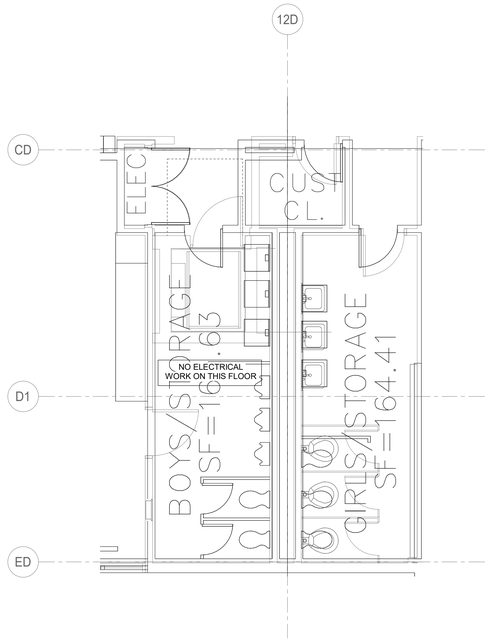
2 LOWER LVL LIFT ROOM - POWER
1/4" = 1'-0"

DRAWING NOTES:

1. REFER TO DRAWING "E000" FOR LEGEND, ABBREVIATION, AND GENERAL NOTES.
2. REFER TO THE ARCHITECTURAL DRAWINGS AND ACCOMPANYING NOTES TO DETERMINE THE EXACT BOUNDARIES OF NEW WORK.

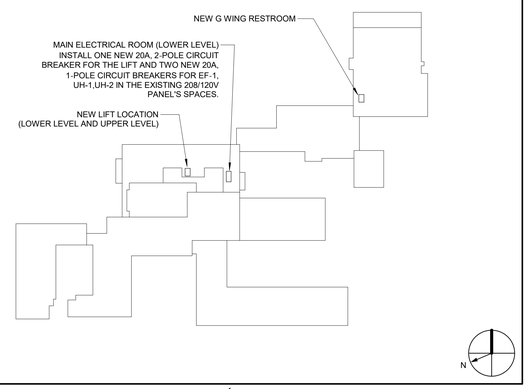


5 G WING RESTROOM - POWER
1/4" = 1'-0"



4 UPPER LVL LIFT ROOM - POWER
1/4" = 1'-0"

KEY PLAN (NOT TO SCALE)



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BURNCOAT HIGH SCHOOL ACCESSIBILITY RENOVATIONS

WORCESTER PUBLIC SCHOOLS

179 BURNCOAT STREET
WORCESTER, MA 01606

REVISIONS		
Δ	MM-DD-YYYY	DESCRIPTION

PROJECT NO:	2430.03
DATE:	06/22/26
SCALE:	1/4" = 1'-0"
DRAWN BY:	KY
CHECKED BY:	JL

ENLARGED POWER PLANS

E302

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