

DEMO GENERAL NOTES

(E) = EXISTING

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- THE CONTRACTOR SHALL BE AWARE OF SELECTIVE DEMOLITION AT ALL SECTIONS OF WORK, REVIEWING ALL NEW RENOVATION DETAILS TO DETERMINE WHAT IS TO BE REMOVED OR TO REMAIN AND WILL BE RESPONSIBLE FOR REPLACEMENT IN-KIND ALL WORK INADVERTENTLY REMOVED.
- ALL REQUIRED DEMOLITION NOT SPECIFICALLY DESIGNATED AS BEING THE WORK OF OTHER TRADES SHALL BE PERFORMED BY THE GENERAL CONTRACTOR.
- SUBCONTRACTORS TO RELEASE, REMOVE AND LOWER TO THE FLOOR ALL COMPONENTS, SYSTEMS AND ASSEMBLIES AS INDICATED, SPECIFIED, OR AS REQUIRED TO DO THEIR RESPECTIVE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR DISASSEMBLING / CUTTING OR OTHERWISE MODIFYING EQUIPMENT AS REQUIRED TO PASS THROUGH EXISTING OPENINGS. G.C. SHALL ALSO BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING OF ALL MATERIALS SO TREATED.
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- REMOVE AND REPLACE ALL HARDWARE TO CLASSROOMS AND OFFICES AT ALL FLOOR LEVELS U.N.O. TYP. SEE SPECIFICATIONS FOR HARDWARE SCHEDULE.
- REMOVE ACM AS DELINEATED IN REPORT.

DEMO KEY NOTES

SECTION 6 - WOOD, PLASTIC, & COMPOSITE

D6.00 REMOVE WOODEN THRESHOLD IN ITS' ENTIRETY.

D6.01 REMOVE WOODEN BALLAST AS INDICATED.

D6.02 REMOVE WOODEN HANDRAIL AS INDICATED.

D6.03 REMOVE WOODEN GAURDRAIL AS INDICATED.

SECTION 8 - DOORS, WINDOWS, & OPENINGS

D8.01 REMOVE DOOR AND ASSOCIATED HARDWARE IN ITS' ENTIRETY. EXISTING FRAME TO REMAIN, TYP. U.O.N.

D8.02 REMOVE HARDWARE AS REQUIRED. SEE HARDWARE SCHEDULE IN SPECS.

D8.03 REMOVE DOOR CLOSER IN ITS' ENTIRETY.

D8.04 REMOVE DOOR AND FRAME IN ITS' ENTIRETY.

SECTION 9 - FINISHES

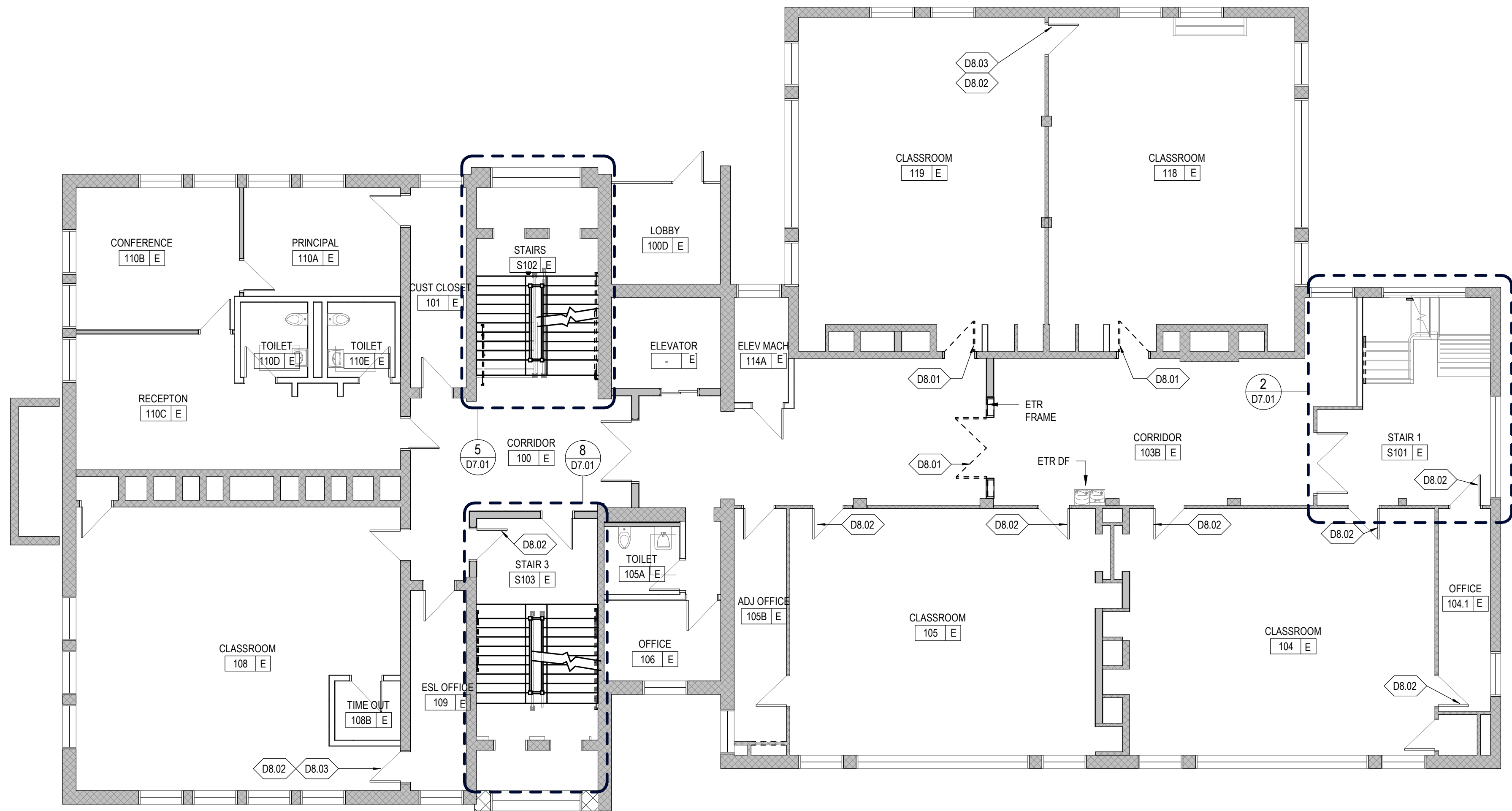
D9.01 REMOVE STAIR NOSINGS AS INDICATED. REFER TO DETAILS ON A7.01

SECTION 10 - SPECIALTY EQUIPMENT

D10.01 REMOVE EXISTING PARTITIONS & OVERHEAD BRACKETS (IF REQUIRED) IN ENTIRETY.

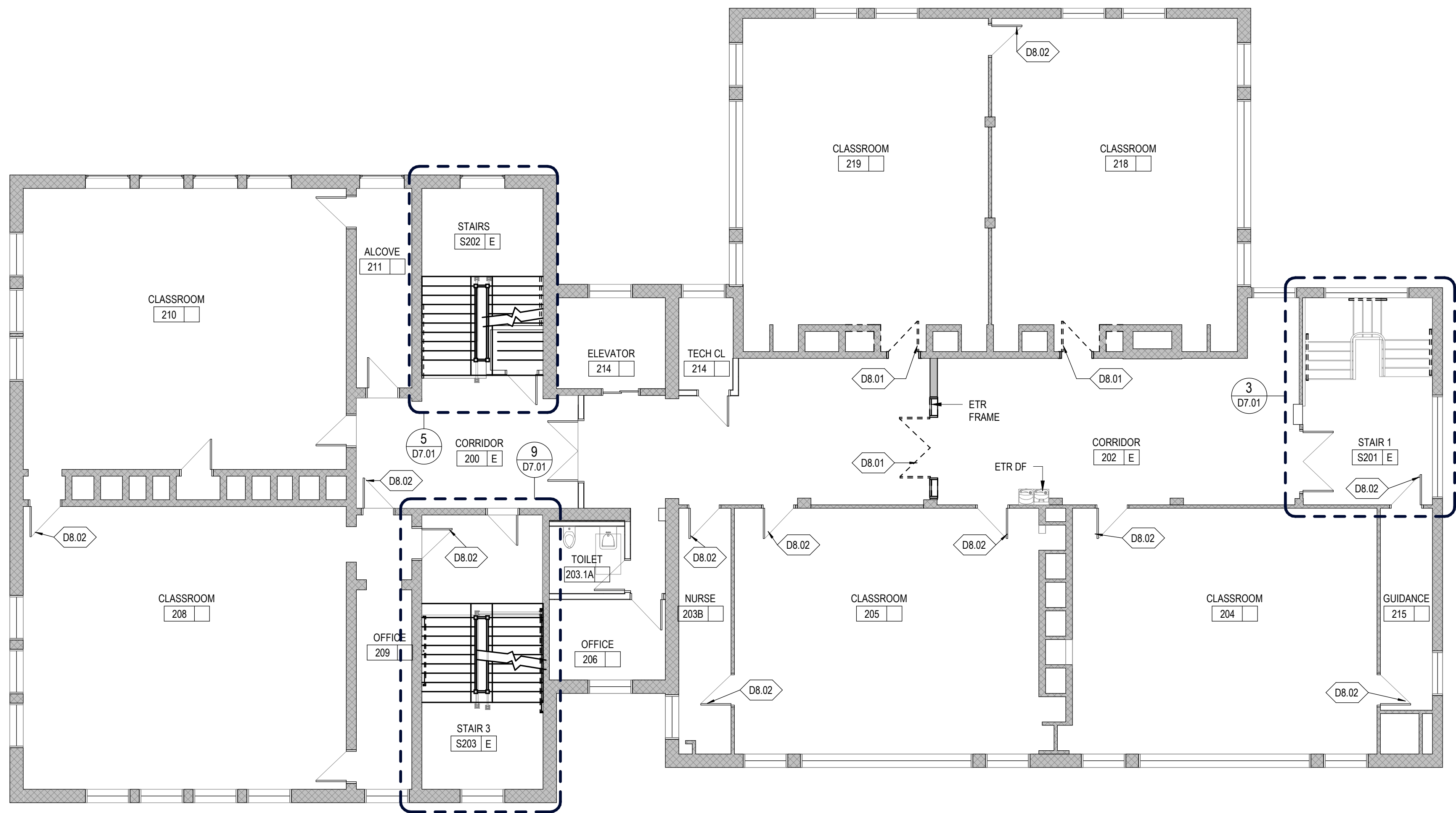
DEMO FLOOR PLAN LEGEND

- REMOVE EXISTING CONCRETE SLAB AND CINDERS + EXISTING GYMNASIUM FLOORING SYSTEM.
- REMOVE EXISTING CLASSROOM FLOOR SYSTEM
- EXISTING TO REMAIN
- REMOVE DOOR, SEE DEMOLITION NOTES FOR MORE INFORMATION



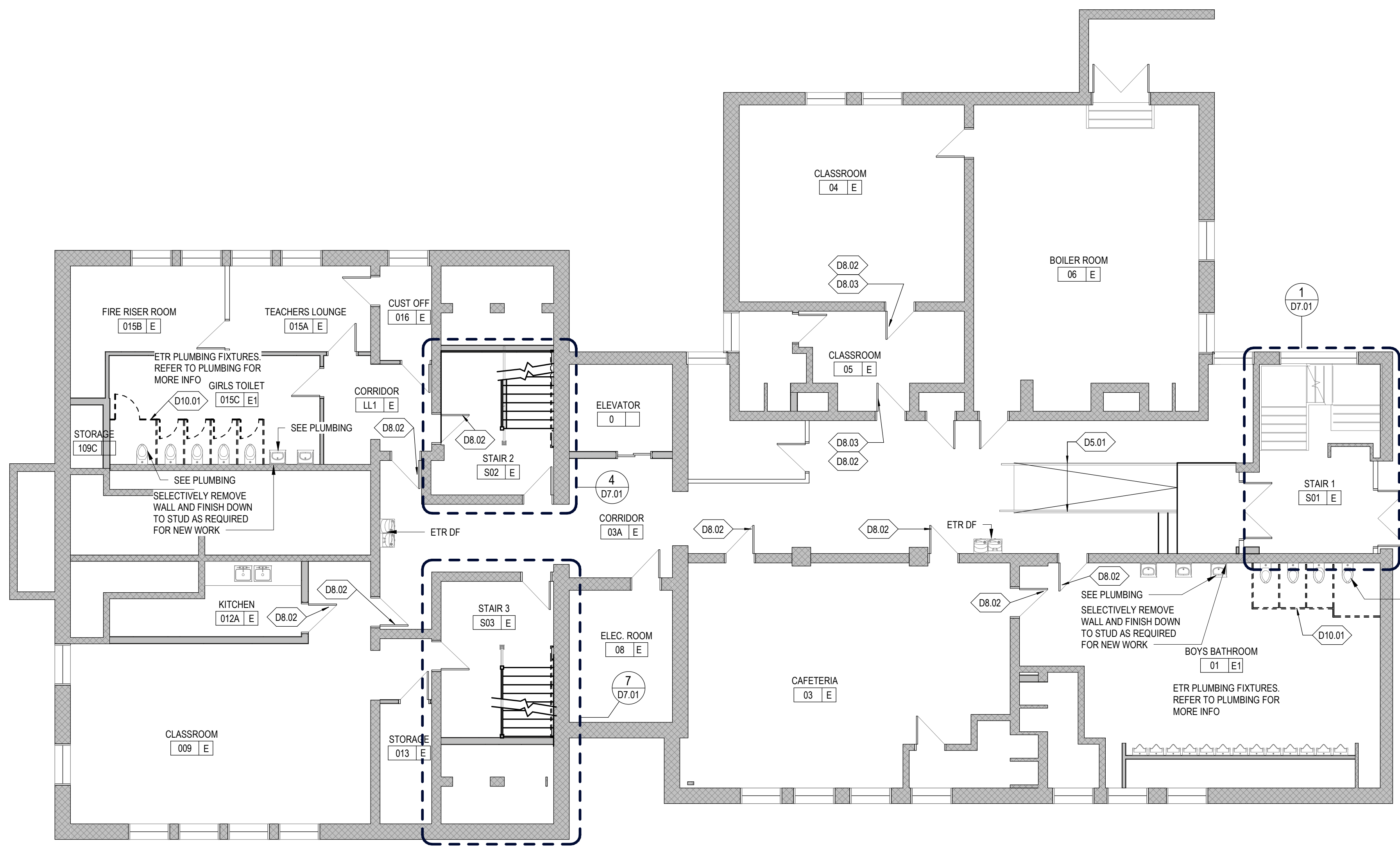
2 DEMOLITION FIRST LEVEL FLOOR PLAN

D1.01 SCALE: 1/8" = 1'-0"



3 DEMOLITION SECOND LEVEL FLOOR PLAN

D1.01 SCALE: 1/8" = 1'-0"



1 DEMOLITION LOWER LEVEL FLOOR PLAN

D1.01 SCALE: 1/8" = 1'-0"

REVISIONS		
NUMBER	DESCRIPTION	DATE

PROJECT PHASE

BID SET

PROJECT NUMBER

02023.07

OWNER / PROJECT NAME / LOCATION

CITY OF WORCESTER

CHALLENGE & REACH
ACADEMY - ADA
UPGRADES
WORCESTER, MA

DRAWING TITLE

DEMOLITION LOWER,
FIRST & SECOND LEVEL
FLOOR PLAN



178 Albion Street,
Suite 240
Wakefield, Massachusetts 01880

781 213 5030 T
781 213 5040 F
info@mvgarchitects.com E

STAMP

SEE PLUMBING

DRAWING INFORMATION

SCALE As indicated
DRAWN BY WT
CHECKED Checker
DATE SEPTEMBER 18, 2024

DRAWING NUMBER

D1.01

A photograph of a wooden staircase with yellow-painted steps and dark wood railings, set against a white wall and a dark wooden ceiling. A red fire alarm pull station is visible on the wall near the stairs.

STAIR 3
S203

D6.02

D9.01

UP

DN

EXISTING METAL
STAIR, LANDING &
TOP RAILS TO
REMAIN.

Floor plan of STAIR 1 S201. The plan shows a rectangular room with a central staircase. A callout D6.02 points to the existing wood stair and landing. A callout D9.01 points to a proposed change in the landing area. A callout D6.02 points to a proposed change in the landing area. Directional arrows indicate 'DN' (down) for the staircase and 'DN' for the proposed change in the landing area.

EXISTING STAIR, LANDING & TOP RAILS TO REMAIN.

D6.02

UP

D9.01

D9.01

UP

STAIR 2

302

UP

D6.01

D6.02

D6.02

EXISTING WOOD STAIR LANDING TO REMAIN.

STAIR 1
S101

STAIR 3
S03

D6.02
UP

D9.01

EXISTING WOOD STAIRS

STAIR 2

D9.01

D9.02

UP

[illegible]

GENERAL NOTES - FLOOR PLANS

1. THE CONTRACTOR SHALL FIELD CHECK AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF ANY NEW WORK.
2. DIMENSION STRINGS ARE FROM FACE OF MASONRY, UNLESS NOTED OTHERWISE.
3. REFER TO ROOM FINISH LEGEND AND ROOM TAGS FOR FLOOR, WALL AND BASE FINISHES. PAINT ALL EXPOSED SURFACES UNLESS NOTED OTHERWISE.
4. PROVIDE AND INSTALL WOOD BLOCKING IN METAL STUD PARTITIONS FOR WALL MOUNTED ASSEMBLIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: INTERACTIVE FLAT PANELS, TOILET ACCESSORIES, TOILET PARTITIONS, FIRE EXTINGUISHERS, CASEWORK AND MILLWORK.
5. INSTALL J BEAD AND SEALANT AT INTERSECTIONS OF DISSIMILAR MATERIALS.
6. PROVIDE AND INSTALL CORNER GUARDS AT ALL OUTSIDE GYPSUM BOARD CORNERS IN CORRIDORS AND BREAK OUT AREAS.
7. SEE STRUCTURAL DRAWINGS FOR STABILIZING ANGLES, SIZES, SPACING, AND LOCATIONS. SEE STRUCTURAL DRAWINGS FOR C.M.U. REINFORCING AND STEEL CROSS BRACING.

FLOOR FINISH COLOR LEGEND

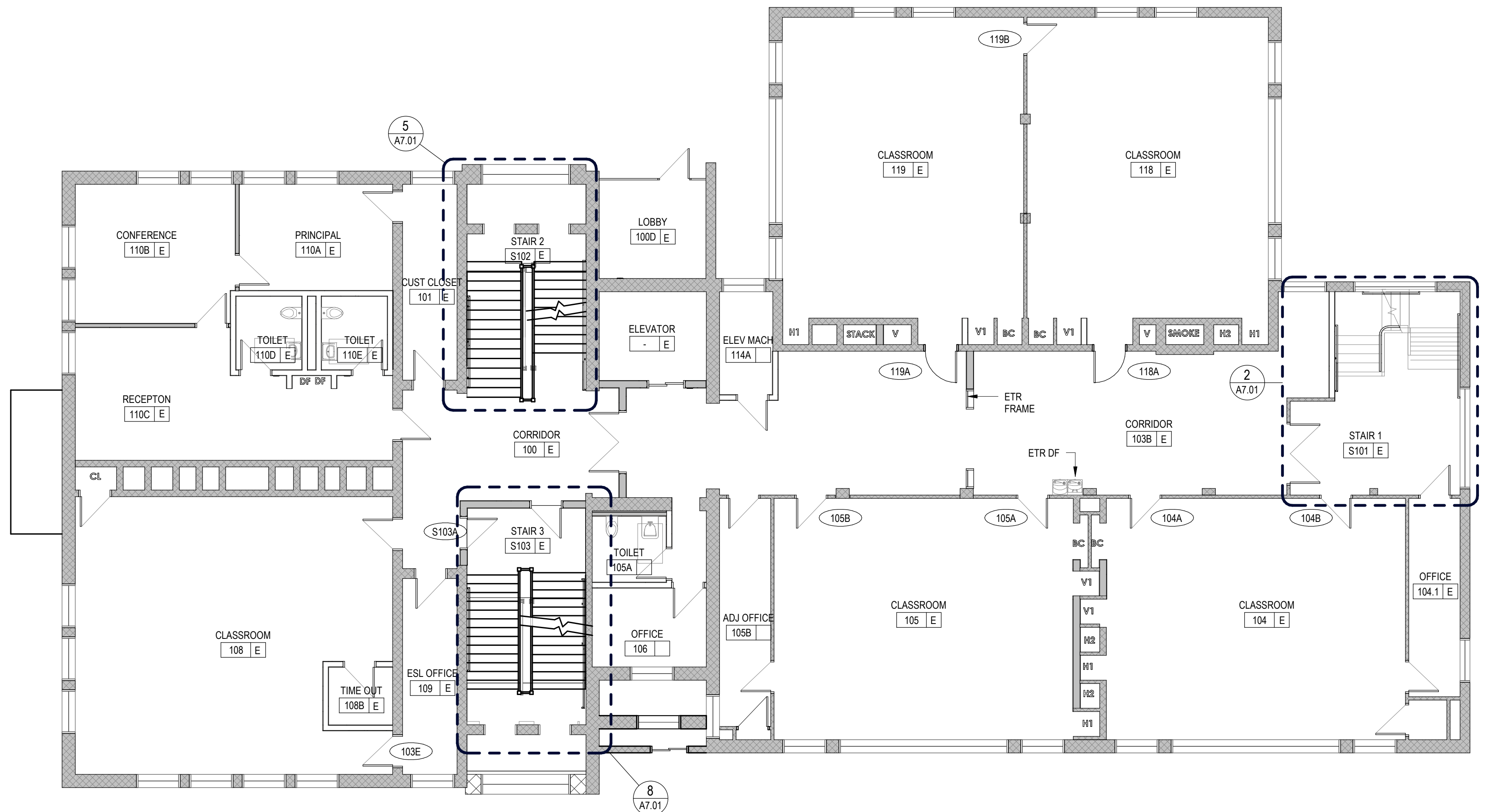
KEY	FLOOR FINISH	BASE FINISH	WALL FINISH	KEY NOTES
E	ETR	ETR	ETR	A,B
E1	PATCH TYPICAL	PATCH TYPICAL	PATCH & PAINT TYP.	A,B

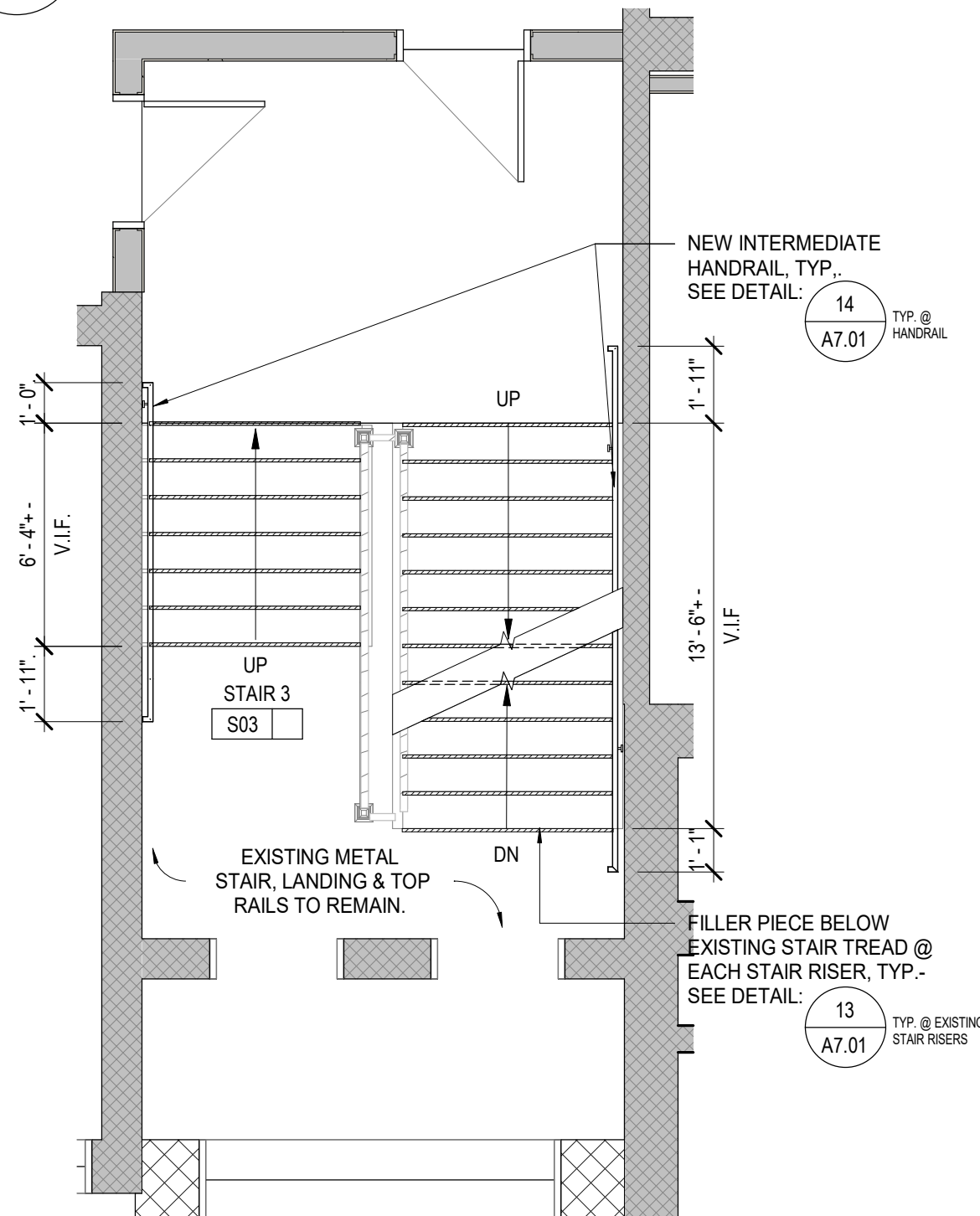
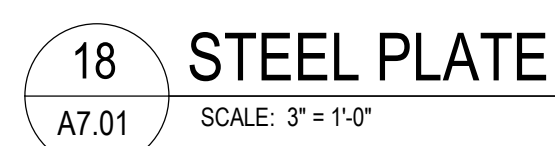
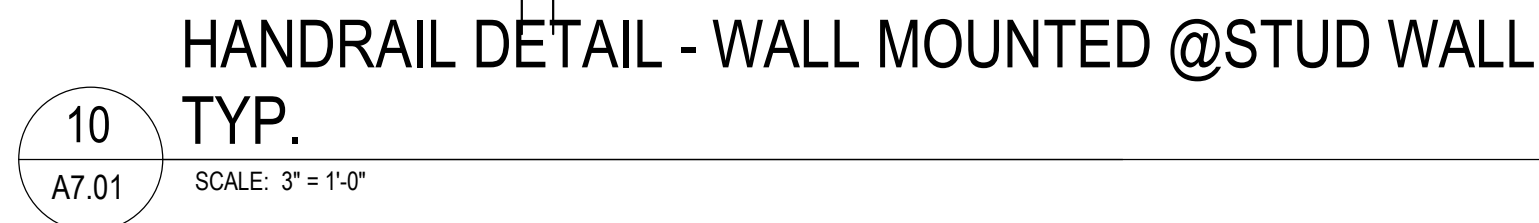
KEYED NOTES - INTERIOR FINISHES

- A. SEE PLANS FOR FLOOR FINISH LOCATIONS/ CHANGES IN FLOOR FINISH.
- B. SEE ELEVATIONS FOR WALL FINISH LOCATIONS/CHANGES IN WALL FINISH.

GENERAL NOTES - INTERIOR FINISHES

1. PRELIMINARY COLOR SELECTION (BASIS OF DESIGN) SELECTIONS ARE PROVIDED FROM MANNINGTON TO SHOW INTENT ONLY. FINAL COLORS SUBJECT TO OWNER APPROVAL WILL BE PROVIDED DURING THE SUBMITAL PROCESS.
2. SEE INTERIOR ELEVATIONS FOR ADDITIONAL FINISHES.
3. SEE INTERIOR ELEVATIONS FOR MATERIAL & FINISH HEIGHTS.



DRAWING NUMBER

A7.01

ORIGINAL SHEET IS 30" x 42"
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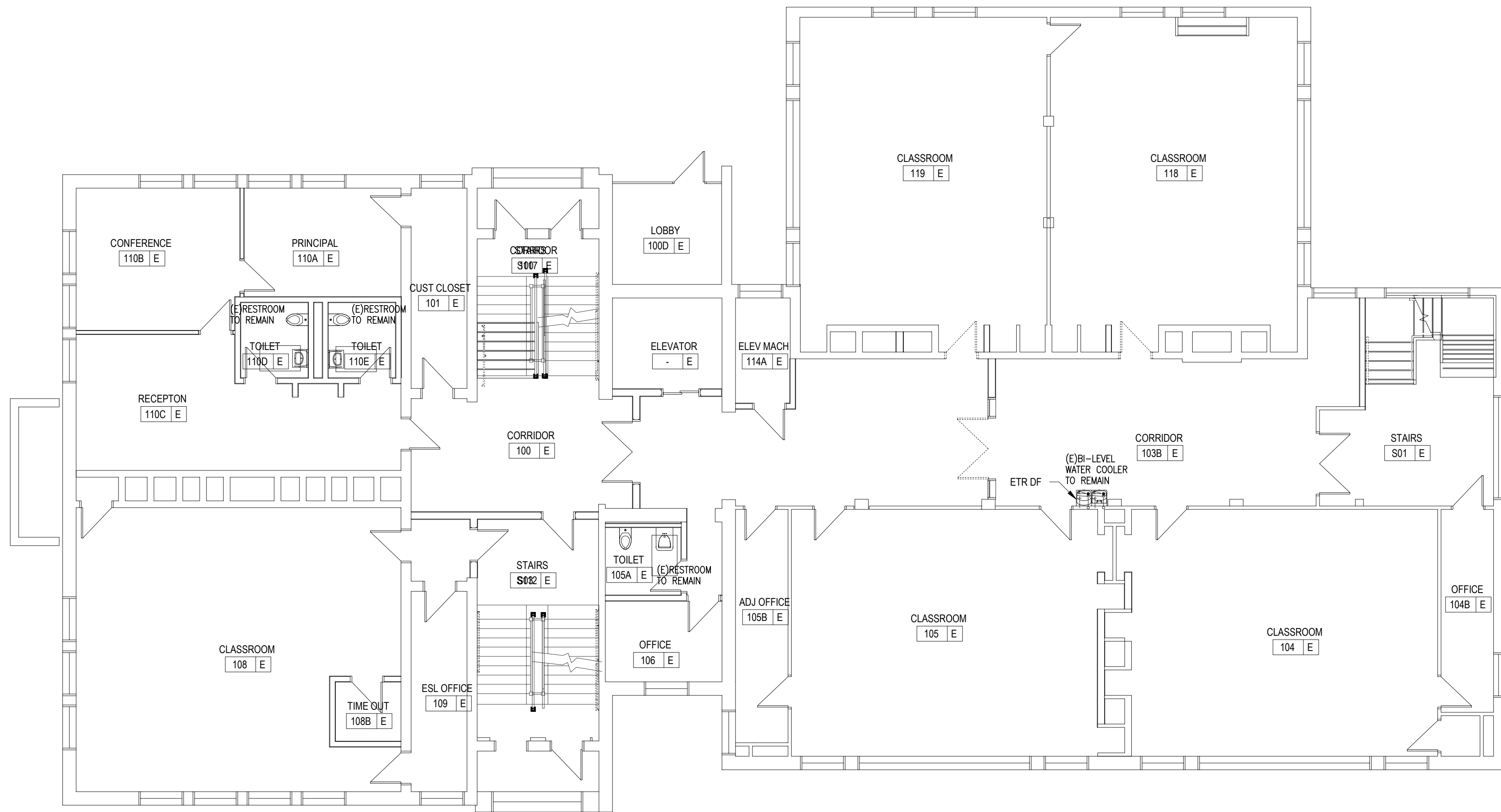
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KEY		P-1
FIXTURE		WALL HUNG LAVATORY (ADULT) (HANDICAP)
P I P I N G C O N D I T I O N S	TRAP	1-1/2"
	WASTE	1-1/2"
	VENT	1-1/4"
	CWS	3/8"
	HWS	3/8"
MOUNTING HEIGHT FL. TO RIM		34" OR PER ARCH./MAAB
MATERIAL		EXISTING VITREOUS CHINA
FITTINGS		SCOT METERING LAVATORY FAUCET #SLC-6000
		OFFSET GRID DRAIN
	MANUF.	EXISTING LAVATORY
	MODEL	EXISTING LAVATORY

A.F.F.	ABOVE FINISHED FLOOR
ETR	EXISTING TO REMAIN
MAAB	MASSACHUSETTS ARCHITECTURAL ACCESS BOARD
V.I.F.	VERIFY IN FIELD
(E)	EXISTING
<u>P-#</u>	PLUMBING FIXTURE CALLOUT
	CONNECT NEW TO EXISTING
	FIXTURE STOP OR H.B.

1. CONTRACTOR RESPONSIBLE FOR PROVIDING ALL MATERIAL, LABOR, SUPERVISION AND TRANSPORTATION REQUIRED TO COMPLETE THE WORK DESCRIBED ON THESE DRAWINGS AND IN THE SPECIFICATIONS UNLESS NOTED OTHERWISE.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOCATION IN THE FIELD.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
4. ALL PIPING TO BE INSTALLED PER LOCAL, STATE, AND FEDERAL CODES.
5. CONTRACTOR IS RESPONSIBLE FOR ALL OFFSETS AND MODIFICATIONS AS REQUIRED TO CLEAR BUILDING STRUCTURES.
6. ALL PIPING TO BE PRESSURE TESTED BEFORE INSULATION. LEAVE VALVES OPEN, READY FOR OPERATION.
7. INSULATE ALL NEW COLD & HOT LINES INSTALLED WITH 1/2" FIBERGLASS OR CLOSED CELL INSULATION.
8. REPAIR OF ANY DAMAGE TO THE NEW CONSTRUCTION DURING THE EXECUTION OF THIS WORK SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR.
9. ALL EXPOSED PIPING/FITTINGS TO BE CHROME PLATED COPPER/BRASS.
10. ALL WATER SUPPLY PIPING TO BE RIGID TYPE L COPPER UNLESS STATED OTHERWISE.
11. ALL WASTE AND VENT PIPING TO BE CAST IRON OR DWV COPPER AS ALLOWED BY THE MA PLUMBING CODE.
12. PIPING RUNS ARE SHOWN AS REPRESENTATIVE OF REQUIRED SIZES, ROUTING MAY BE CHANGED BY CONTRACTOR AS NECESSITATED BY STRUCTURAL CONSIDERATIONS.
13. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND ELEVATION OF PLUMBING FIXTURES.
14. ALL DOMESTIC AND WASTE PIPING IS DIAGRAMMATIC. CONTRACTOR IS RESPONSIBLE TO PROVIDE COMPLETE AND WORKING FIXTURES.

5. PIPE INSULATION UNDER FIXTURE P-1 SHALL BE TRUEBRO LAV GUARD MODEL #103, OR APPROVED EQUAL



PROJECT PHASE

CONSTRUCTION
DOCUMENTS

CITY OF WORCESTER

DRAWING TITLE

LOWER LEVEL, FIRST
FLOOR AND SECOND
FLOOR PROPOSED
PLUMBING PLANS



DRAWING NUMBER

ORIGINAL SHEET IS 30" x 42"
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