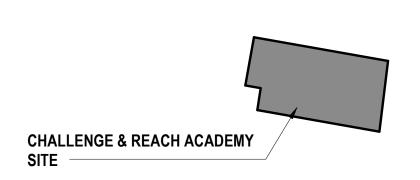
# CHALLENGE & REACH ACADEMY PROJECT

WORCESTER, MASSACHUSETTS
SEPTEMBER 18, 2024
BID SET



**LOCATION PLAN** 

# OWNER CITY OF WORCESTER WORCESTER PUBLIC SCHOOLS

15 HARLOW STREET, WORCESTER, MA 01605

## ARCHITECT



MOUNT VERNON GROUP ARCHITECTS 178 ALBION STREET SUITE 240 WAKEFIELD, MA 01880 (781) 213-5030

## CONSULTANTS

LANDSCAPE ARCHITECT JAMES K. EMMANUEL LANDSCAPE 22 Carlton Rd Marblehead, MA 01945 (781) 622-7487

MECHANICAL, PLUMBING, FIRE PROTECTION ENGINEERS SEAMAN ENGINEERING 22 West St Ste 3 Millbury, MA 01527 (508) 865-1400

HAZARDOUS MATERIALS UNIVERSAL ENVIRONMENTAL 12 Brewster Road Framingham, MA 01702 (508) 628-5486

CODE CONSULTANT WBA ASSOCIATES 36 River Ridge Wellesley, MA 02481 (781) 237-8188 ELECTRICAL & TECHOLOGY ENGINEER SHEPHERD ENGINEERING 1308 Grafton Street Worcester, MA 01604

STRUCTURAL ENGINEER
SOUZA TRUE & PARTNERS, INC.
265 Waltham Street, Third Floor
Waltham, MA 02451

ROOF CONSULTANT EWING ASSOCIATES 515 Converse St Longmeadow, MA 01106 (413) 567-9544

(508) 757-7793

(617) 926-6100

Longmeadow, MA 01106 (413) 567-9544

COST ESTIMATOR FENNESSY CONSULTING 27 Glen Street, Suite 8

Stoughton, MA 02072

(781)-344-4464

GEOTECHNICAL ENGINEER
LAHLAF GEOTECHNICAL CONSULTING, INC.
23 Mcginness Way

Billerica, MA 01821 (978) 330-5912 SURVEY, PERMITTING/ CIVIL ENGINEER BRENNAN ASSOCIATES

24 RAY AVE, SUITE 203
Burlington, MA 01803
(781) 273-3434

ENVIRONMENTAL PERMITTING

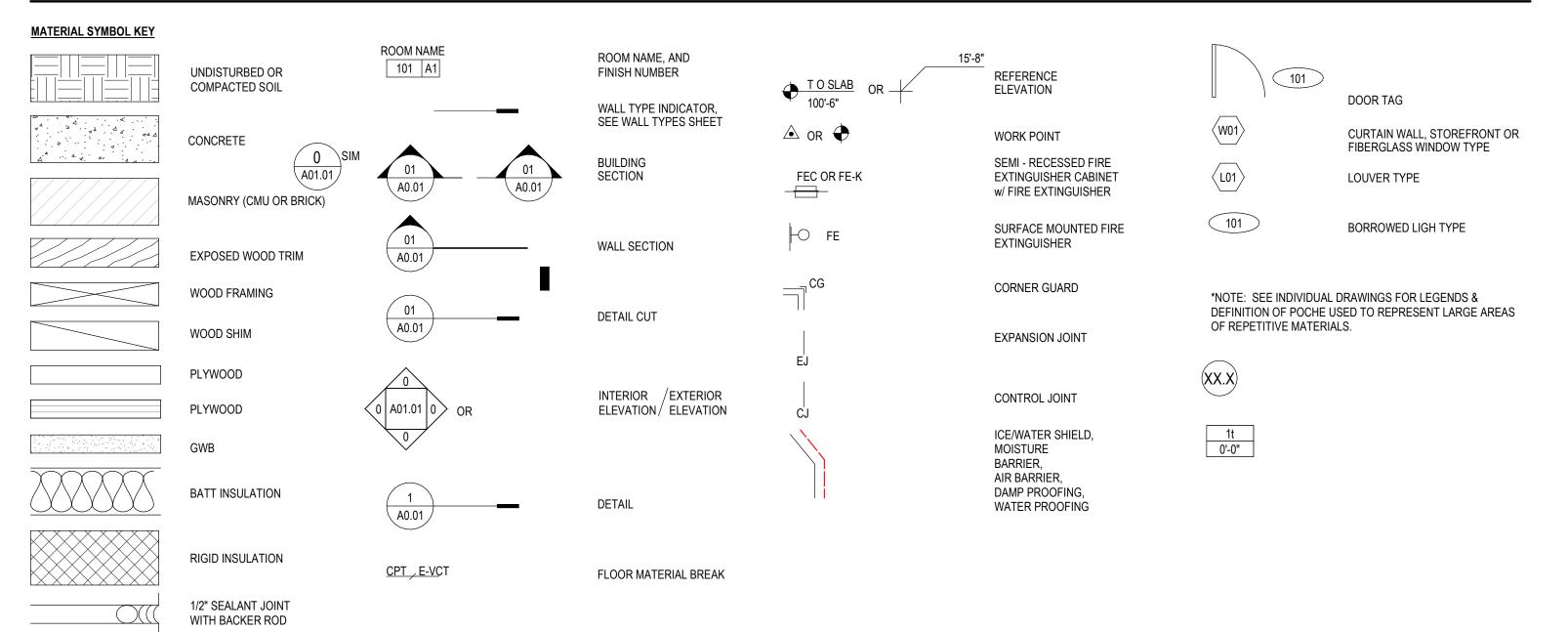
LORD ASSOCIATES

1911 SW US-40
Blue Springs, MA 01862
(781) 255-5554

(617) 577-9900

ELEVATOR CONSULTANT SYSKA HENNESSY GROUP, INC. 10 Post Office Square #725 Boston, MA 02109

# SYMBOLS



## ABBREVIATIONS

0	AT AMOUND BOLT	EA	EACH	MATL	MATERIAL	SC	SOLID CORE
AB	ANCHOR BOLT	EIFS	EXTERIOR INSULATION FINISH SYSTEM	MAX	MAXIMUM	SD	SMOKE DETECTOR
COUST	ACOUSTICAL	EJ	EXPANSION JOINT	MB	MACHINE BOLT	SEC	SECURITY
CP	ACCESS PANEL	ELECT	ELECTRICAL	MECH	MECHANICAL	SF	STOREFRONT
CT	ACOUSTICAL CEILING TILE	ELEV OR EL	ELEVATION	M/E/P OR MEP	MECHANICAL, ELECTRICAL, AND PLUMBING	SG	STEEL CORNER GUARD
D	AREA DRAIN	EMER	EMERGENCY	MFR	MANUFACTURER	SHEATH	SHEATHING
DO	AUTO DOOR OPENER	EMBED	EMBEDMENT	MH	MANHOLE		
DJ	ADJUSTABLE	EN	ENAMEL	MIB	MOISTURE INFILTRATION BARRIER	SHT	SHEET
ED	AUTOMATIC EMERGENCY DEFIBRILLATOR/CABINET	ENL	ENLARGED	MICRO	MICROWAVE	SHM	SECURITY HOLLOW METAL
FF	ABOVE FINISH FLOOR	EPS	EXPANDED POLYSTYRENE	MIN	MINIMUM	SIM	SIMILAR
						SPEC	SPECIFICATION
LUM	ALUMINUM	EQ	EQUAL	MLDG	MOLDING	SPK	SPEAKER
NOD	ANODIZED	EQUIP	EQUIPMENT	MTL	METAL	SQ	SQUARE
SPH	ASPHALT	EXP	EXPANSION	NATL	NATURAL	S/S OR SS	STAINLESS STEEL
SSY	ASSEMBLY	EXIST OR (E)	EXISTING	NC	NONCOMBUSTIBLE	STC	SOUND TRANSMISSION COEFFICIE
TTACH	ATTACHMENT	EXT	EXTERIOR	NIC	NOT IN CONTRACT	STD	STANDARD
LT	ALTERNATE	EXTR	EXTRUDED	NO	NUMBER	STL	STEEL
D OR BRD	BOARD	FB	ELECTRICAL FLOOR BOX	NP	NO PAINT		
F	BARRIER FREE	FD	FLOOR DRAIN	NR	NOT RATED	STOR	STORAGE
ITUM	BITUMINOUS	FE	FIRE EXTINGUISHER - SEE SYMBOLS	NOM	NOMINAL	STRUCT	STRUCTURAL
LDG	BUILDING	FE-K	FIRE EXTINGUISHER - KITCHEN TYPE - SEE SYMBOLS			SUSP	SUSPENDED
		FEC	FIRE EXTINGUISHER CABINET - SEE SYMBOLS	NTS	NOT TO SCALE	SV	SLEEVE
LKG	BLOCKING			OC	ON CENTER	T & G	TONGUE & GROOVE
BM	BEAM	FF	FACTORY FINISH	OD	OUTSIDE DIAMETER	TERM	TERMINATION
O	BOTTOM OF	FH	FIRE HYDRANT	ODC	OVERFLOW DRAIN CAP	THRESH	THRESHOLD
OD	BOTTOM OF DECK	FIN	FINISH(ED)	OHVD	OVERHEAD	TO	TOP OF
OTT	BOTTOM	FLASH('G)	FLASHING	OPER	OPERABLE	TOS	TOP OF SLAB
TWN	BETWEEN	FLR `´	FLOOR	OPP	OPPOSITE HAND	TRTD	TREATED
В	CATCH BASIN	FM	FACTORY MUTUAL	OPNG	OPENING		
EM	CEMENT				OPENING OPEN TO STRUCTURE-PAINT TYP	TYP	TYPICAL
FMF	COLD FORM METAL FRAMING	FCIC	FURNISHED BY CONTRACTOR INSTALLED BY CONTRACTOR	OTS		TS	TUBE STEEL
	CORNER GUARD (SS)	FOIC	FURNISHED BY OWNER INSTALLED BY CONTRACTOR	OTA	OPEN TO ABOVE	UL	UNDERWRITERS LABORATORY
G.		FOIO	FURNISHED BY OWNER INSTALLED BY OWNER	OVHG	OVERHANG	UNO	UNLESS NOTED OTHERWISE
J	CONTROL JOINT	FOM	FACE OF MASONRY	PENE	PENETRATION	U/S	UNDER SIDE
CLG	CEILING	FO	FACE OF	PERF	PERFORATED	VCT	VINYL COMPOSITION TILE
CMU	CONCRETE MASONRY UNIT	FOB	FACE OF BRICK	PFMU	POLISHED FINISH MASONRY UNIT	VIF	VERIFY IN FIELD
0	CLEAN OUT	FO CMU	FACE OF CMU	PI	POST INDICATOR	V PLAS	VENEER PLASTER
COL	COLUMN	FP	FIREPLACE	PJSC	PROJECTION SCREEN	VERT	VERTICAL
CONC	CONCRETE				PLATE	VWC	VINYL WALL COVERING
ORR	CORRIDOR	FRMG	FRAMING	PL			
)L	CENTER LINE	FRP	FIBERGLAS REINFORCED PANEL(S)	PLAM	PLASTIC LAMINATE	W	WASHING MACHINE
		FT	FOOT OR FEET	PLAS	PLASTER	W/	WITH
LR	CLEAR	FTR	FIN TUBE RADIATION	PNL	PANEL	WB	WHITE BOARD
CONN	CONNECT	GA	GAUGE	PNT	PAINT	WC	WATER CLOSET
CONT	CONTINUOUS	GALV	GALVANIZED	POLY	EXTRUDED POLYSTYRENE	WF	WIDE FLANGE
P	CEMENT PLASTER	GL	GLASS	PR	PAIR	WDO	WINDOW
PT	CARPET		GLUE LAMINATED BEAM	PROT	PROTECTION	WD	WOOD
SK	COUNTERSINK	GLB		PSI	POUND PER SQUARE INCH	WHS	WELDED HEAD STUD
T	CERAMIC TILE	GWB	GYPSUM WALL BOARD	PT	PRESSURE TREATED	WOM	WALK OFF MAT
W	CURTAINWALL	GYP	GYPSUM	PTN	PARTITION	WP	WALL PAD
)	CLOTHES DRYER	HBD	HARDBOARD	PVC			
) DBL	DOUBLE	HC	HANDICAP		POLYVINYL CHLORIDE	WR	WATER RESISTANT
)EMO	DEMOLISH	HD	HOOD	PW OR PLYWD		WWF	WELDED WIRE FABRIC
		HDW	HARDWARE	QT	QUARRY TILE		
)F	DRINKING FOUNTAIN	HGT	HEIGHT	RCP	REFLECTED CEILING PLAN		
IA, Ø	DIAMETER	HM	HOLLOW METAL	RAD	RADIUS		
N	DOWN			RD	ROOF DRAIN		
00	DITTO OR REPEAT ADJACENT ELEMENT	HORIZ	HORIZONTAL	RE	REFER TO		
)R	DOOR	HR	HOUR	REF	REFRIGERATOR		
S	DOWNSPOUT	ID	INSIDE DIAMETER	RES	RESILIENT FLOORING		
WGS	DRAWINGS	ΙΕ	INVERT ELEVATION	REQD	REQUIRED		
	2.2.0.000	INT	INTERIOR				
		IFP	INTERACTIVE FLAT PANEL	RM	ROOM		
		INSUL	INSULATION	RUB	RUBBER FLOORING		
				RWL	RAIN WATER LEADER		
			SINSTALLATION	SAC	SUSPENDED ACOUSTICAL CEILING		
		JAN	JANITOR	SAM	SELF ADHERED MEMBRANE		
		JT	JOINT	SCHED	SCHEDULE		
		L	ANGLE	COLIED	33		
		LAM	LAMINATE				
		LB OR #	POUND				
		LD OIL#	I COND				

LONG LEG HORIZONTAL

## DRAWING LIST - VOLUME 1

ARCHITECTURE	
A0.00 D1.01 D7.01 A1.01 A7.01 A7.02 A10.01	COVER SHEET DEMOLITION FLOOR PLANS & NOTES DEMOLITION ENLARGED FLOOR PLANS FLOOR PLANS & GENERAL NOTES ENLARGED STAIR PLANS & DETAILS ENLARGED TOILET PLANS (ISSUED IN ADDENDA) DOOR SCHEDULE ELEVATIONS, DETAILS & GENERAL NOTES (ISSUED IN ADDENDA)
PLUMBING	
DP1.01 P1.01	LOWER LEVEL, FLOOR PLANS & SECOND FLOOR PLUMBING DEMOLITION PLAN LOWER LEVEL, FLOOR PLANS & SECOND FLOOR PROPOSED PLUMBING PLAN

PROJECT PHASE

PROJECT NUMBER 02023.07

OWNER / PROJECT NAME / LOCATION

CITY OF WORCESTER

CHALLENGE & REACH ACADEMY - ADA UPGRADES WORCESTER, MA

DRAWING TITLE

COVER SHEET



178 Albion Street, Suite 240 Wakefield, Massachusetts 01880 781 213 5030 T 781 213 5040 F info@mvgarchitects.com E

STAMP

DRAWING INFORMATION

SCALE As indicated

DRAWN BY WT

CHECKED -

DRAWING NUMBER

A O O O A

SEPTEMBER 18, 2024

ORIGINAL SHEET IS 30" x 42" copyright 2018 all rights reserved

THESE PLANS DELINEATE THE BASIC SCOPE OF WORK FOR THE REMOVAL OF EXISTING MATERIALS. THESE PLANS HAVE BEEN DEVELOPED FROM OWNER PROVIDED AS-BUILTS AND MAY VARY FROM ACTUAL FIELD CONDITIONS. THE DEMOLITION DRAWINGS AND NOTES ARE PROVIDED WITH THE INTENT TO GENERALLY DESCRIBE AREA AND LIMITS OF WORK. THE CONTRACTOR SHALL BE FAMILIAR WITH THE SITE AND CONDITIONS THEREON.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO ANY DEMOLITION OR CONSTRUCTION. ANY DISCREPANCIES RELATING TO THE DRAWINGS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.

2. THE CONTRACTOR SHALL BE AWARE OF SELECTIVE DEMOLITION AT ALL SECTIONS OF WORK, REVIEWING ALL NEW RENOVATION DETAILS TO DETERMINE WHAT IS TO BE REMOVED OR TO REMAIN AND WILL BE RESPONSIBLE FOR REPLACEMENT IN-KIND ALL WORK INADVERTENTLY REMOVED.

3. ALL REQUIRED DEMOLITION NOT SPECIFICALLY DESIGNATED AS BEING THE WORK OF OTHER TRADES SHALL BE PERFORMED BY THE GENERAL CONTRACTOR.

4. SUBCONTRACTORS TO RELEASE, REMOVE AND LOWER TO THE FLOOR ALL COMPONENTS, SYSTEMS AND ASSEMBLIES AS INDICATED, SPECIFIED, OR AS REQUIRED TO DO THEIR RESPECTIVE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR DISASSEMBLING / CUTTING OR OTHERWISE MODIFYING EQUIPMENT AS REQUIRED TO PASS THROUGH EXISTING OPENINGS. G.C. SHALL ALSO BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING OF ALL MATERIALS SO TREATED.

5. THE CONTRACTOR SHALL REMOVE ITEMS TO BE DEMOLISHED AS INDICATED ON THE DRAWINGS WITH CARE BEING TAKEN NOT TO DAMAGE ADJACENT WALLS, CEILINGS, FLOORS, FINISHES, CASEWORK OR MILLWORK SCHEDULED TO REMAIN. THE WORK AREA WILL BE LEFT CLEAN AND READY TO RECEIVE NEW WORK.

PATCH AND REPAIR SCOPE OF ALL EXISTING TO REMAIN WALLS, FLOORING, AND CEILING DAMAGED DURING DEMOLITION OR REMOVAL OF EXISTING CONSTRUCTION. THIS INCLUDES PATCH & REPAIR DUE TO WORK PERFORMED BY ALL SUB-CONSTRACTORS. REFER TO DEMO AND ARCHITECTURAL DRAWINGS FOR OTHER AREAS OF PATCHING, REPAIR AND INFILL.

PROVIDE SMOOTH CLEAN SURFACES PREPARED TO RECEIVE INFILL AND/OR FINISHES (AS SCHEDULED) AT ALL MISCELLANEOUS OPENINGS, DEPRESSIONS OR VOIDS LEFT AFTER DEMOLITION. CONTRACTOR TO PROVIDE INFILL AND PATCHING OF ALL SUCH AREAS TO MATCH EXISTING ADJACENT SURFACES.

8. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TEMPORARY BARRICADES TO DIVIDE AREAS (CONSTRUCTION AND NORMAL USE) TO PROTECT USERS DURING CONSTRUCTION.

G.C. SHALL COORDINATE AND PERFORM ALL ASSOCIATED WORK WITH M / E/ P CONTRACTORS FOR ALL REQUIRED PENETRATIONS REQUIRING MISCELLANEOUS BLOCKING OR INFILL TO ACCOMMODATE M / E / P WORK.

10. REMOVE AND REPLACE ALL HARDWARE TO CLASSROOMS AND OFFICES AT ALL FLOOR LEVELS U.N.O. TYP. SEE SPECIFICATIONS FOR HARDWARE SCHEDULE.

11. REMOVE ACM AS DELINEATED IN REPORT.

## **DEMO KEY NOTES**

SECTION 6 - WOOD, PLASTIC, & COMPOSITE
D6.00 REMOVE WOODEN THRESHOLD IN ITS' ENTIRETY.

D6.01 REMOVE WOODEN BALLAST AS INDICATED.

D6.02 REMOVE WOODEN HANDRAIL AS INDICATED.

D6.03 REMOVE WOODEN GAURDRAIL AS INIDCATED.

SECTION 8 - DOORS, WINDOWS, & OPENINGS

D8.01 REMOVE DOOR AND ASSOCIATED HARDWARE IN ITS' ENTIRETY. EXISTING FRAME TO REMAIN, TYP. U.O.N.

D8.02 REMOVE HARDWARE AS REQUIRED. SEE HARDWARE SCHEDULE IN SPECS.

D8.03 REMOVE DOOR CLOSER IN ITS' ENTIRETY.

D8.04 REMOVE DOOR AND FRAME IN ITS' ENTIRETY.

D9.01 REMOVE STAIR NOSINGS AS INDICATED.

REFER TO DETAILS ON A7.01

SECTION 10 - SPECIALTY EQUIPMENT D10.01 REMOVE EXISTING PARTITIONS & OVERHEAD BRACKETS (IF REQUIRED) IN ENTIRETY.

### DEMO FLOOR PLAN LEGEND

REMOVE EXISTING CONCRETE SLAB AND CINDERS + EXISTING GYMNASIUM FLOORING SYSTEM.

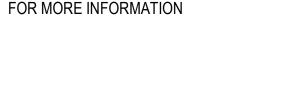
REMOVE EXISTING CLASSROOM FLOOR SYSTEM

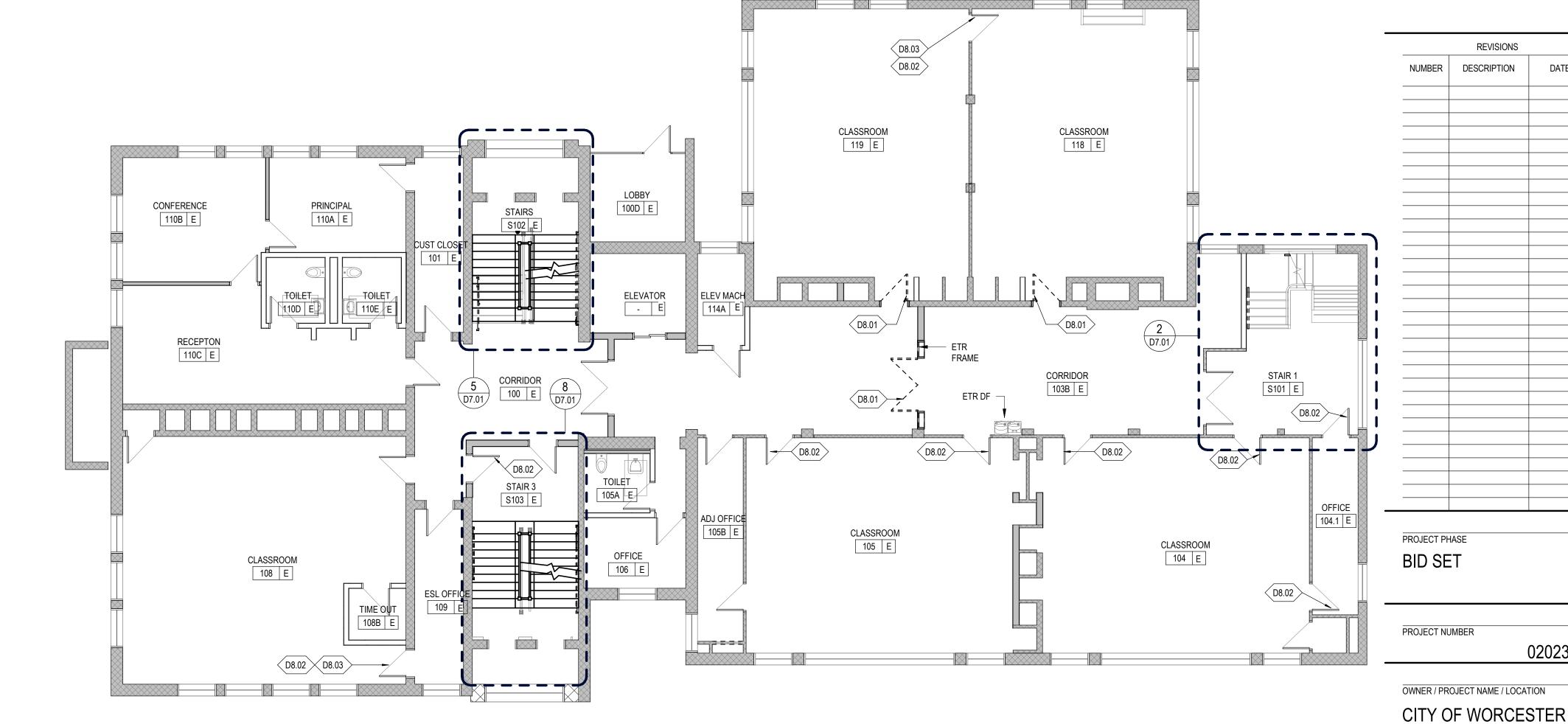


**EXISTING TO REMAIN** 



REMOVE DOOR, SEE DEMOLITION NOTES





CLASSROOM 04 E

D8.03 D8.02

CAFETERIA 03 E

D8.02

D8.02

03A E

DEMOLITION FIRST LEVEL FLOOR PLAN D1.01 | SCALE: 1/8" = 1'-0"

TEACHERS LOUNGE

D8.02

D8.02

<D8.02 > ▮

FIRE RISER ROOM

ETR PLUMBING FIXTURES. REFER TO PLUMBING FOR

MORE INFO GIRLS TOILET

SEE PLUMBING

SELECTIVELY REMOVE WALL AND FINISH DOWN TO STUD AS REQUIRED

FOR NEW WORK -

CLASSROOM 009 E

015B E

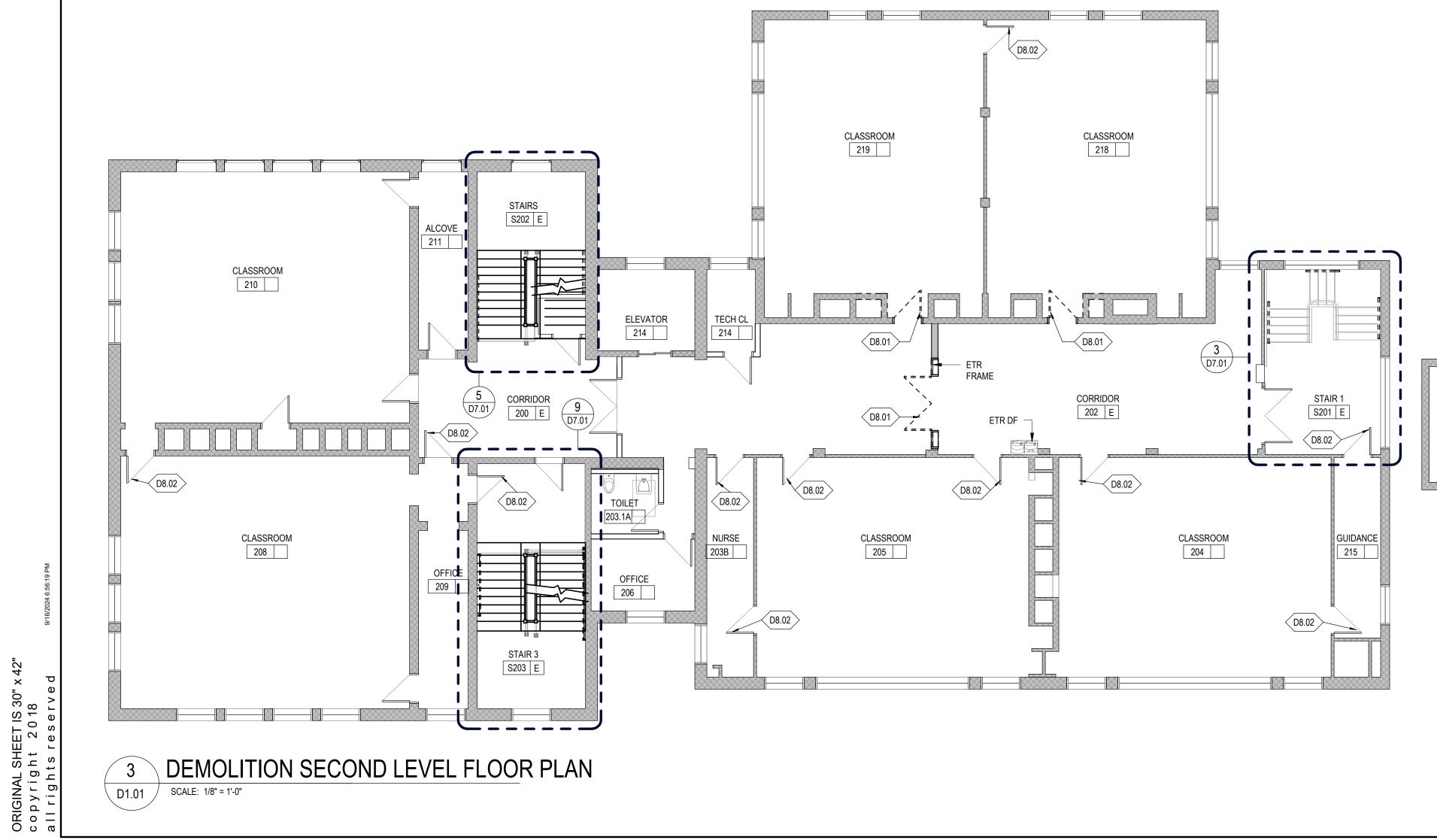
DRAWING TITLE DEMOLITION LOWER, FIRST & SECOND LEVEL **FLOOR PLAN** BOILER ROOM
06 E MOUNT VERNON GROUP ARCHITECTS 178 Albion Street, Suite 240 Wakefield, Massachusetts 01880 781 213 5030 T 781 213 5040 F info@mvgarchitects.com E STAIR 1 D8.02 - SEE PLUMBING Ĺ----SELECTIVELY REMOVE TO STUD AS REQUIRED FOR NEW WORK BOYS BATHROOM DRAWING INFORMATION ETR PLUMBING FIXTURES. REFER TO PLUMBING FOR DRAWN BY CHECKED DATE SEPTEMBER 18, 2024

DEMOLITION LOWER LEVEL FLOOR PLAN D1.01 SCALE: 1/8" = 1'-0"

KITCHEN

012A E

D8.02



DRAWING NUMBER

REVISIONS

02023.07

**CHALLENGE & REACH** 

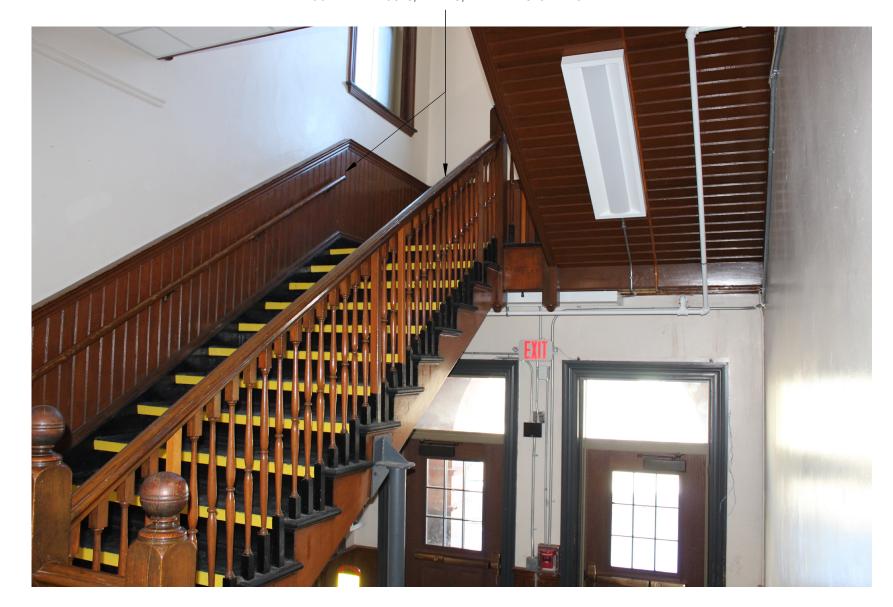
ACADEMY - ADA

WORCESTER, MA

**UPGRADES** 

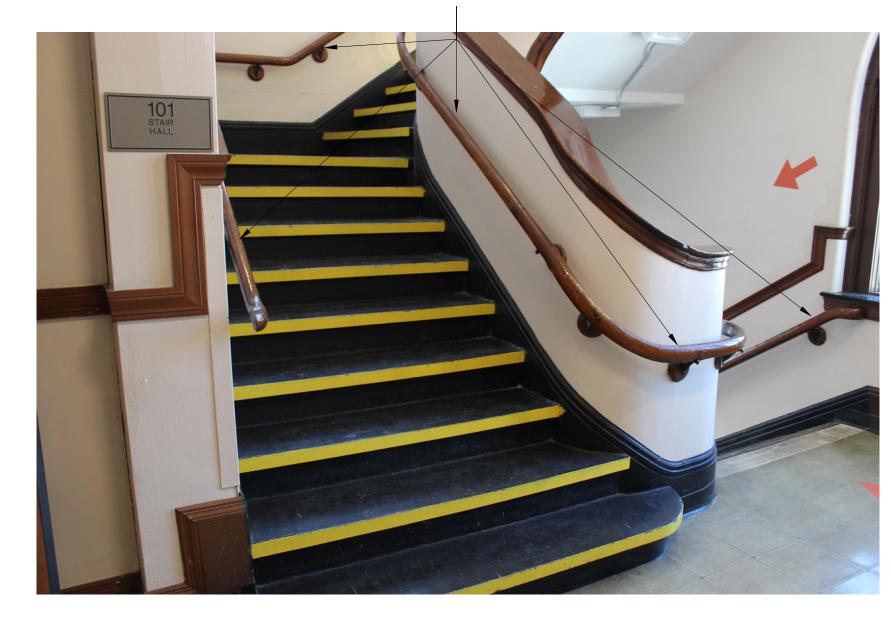
DESCRIPTION

REMOVE STAIR NOSING IN ITS ENTIRITY. TYPICAL AT ALL STAIRS SCRAPE CLEAN AND PREP FOR NEW PAINT, TYPICAL. REMOVE WOODEN HANDRAIL AT WALL. PATCHWORK & PAINT AT WALL TYPICAL ETR WOOD NEWEL POSTS, RAILING, AND BALLASTS. TYPICAL



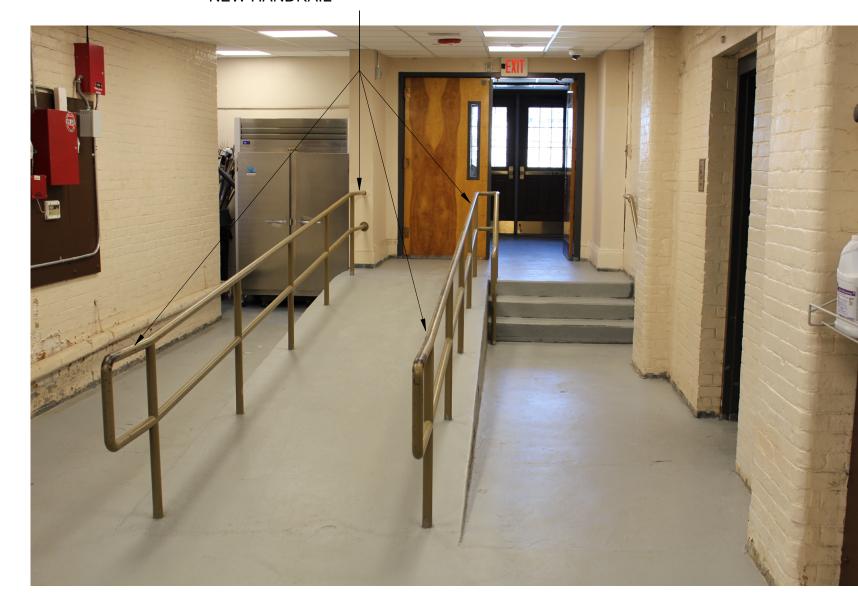
**EXISTING CONDITIONS PHOTO 3** 

REMOVE STAIR NOSING IN ITS ENTIRITY. TYPICAL AT ALL STAIRS SCRAPE CLEAN AND PREP FOR NEW PAINT, TYPICAL. REMOVE WOODEN HANDRAIL AT WALL. PATCHWORK & PAINT AT WALL TYPICAL

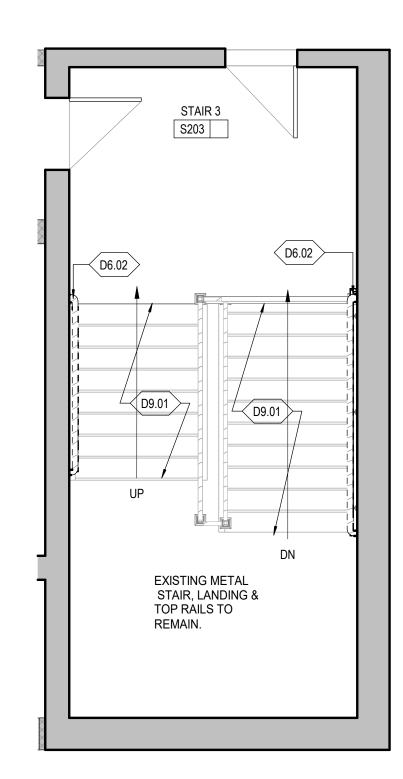


**EXISTING CONDITIONS PHOTO 2** 

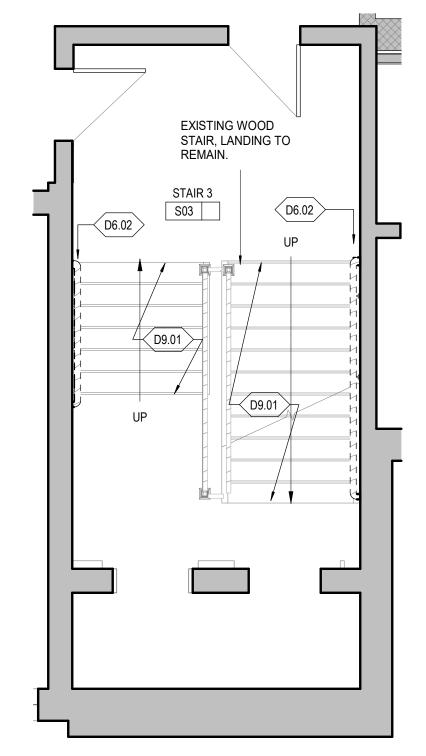
PREP METAL RAILING TO RECIEVE NEW HANDRAIL



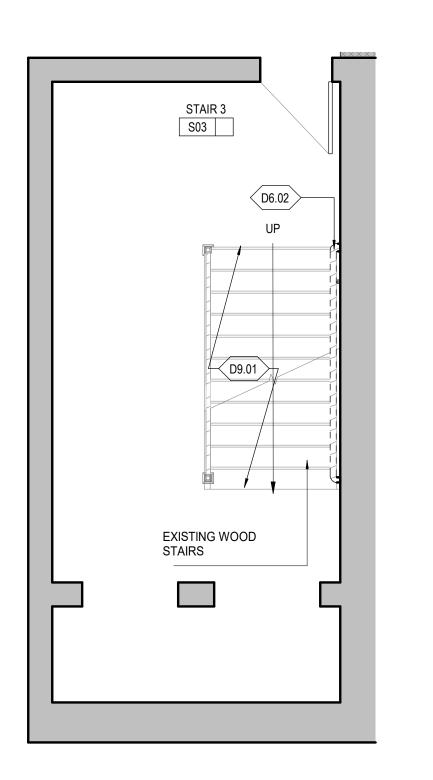
**EXISTING CONDITIONS PHOTO 1** 



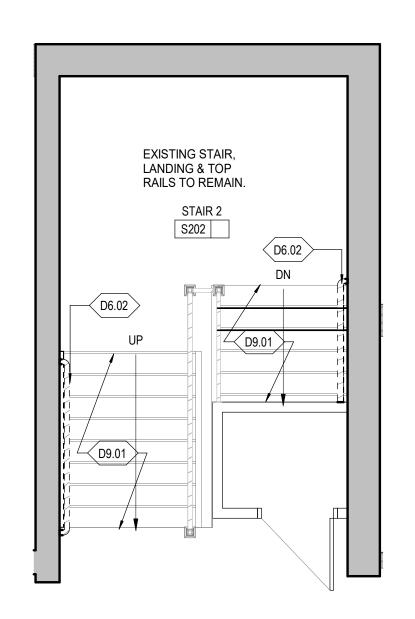
DEMO ENLAGED SECOND LEVEL D7.01 SCALE: 1/4" = 1'-0"



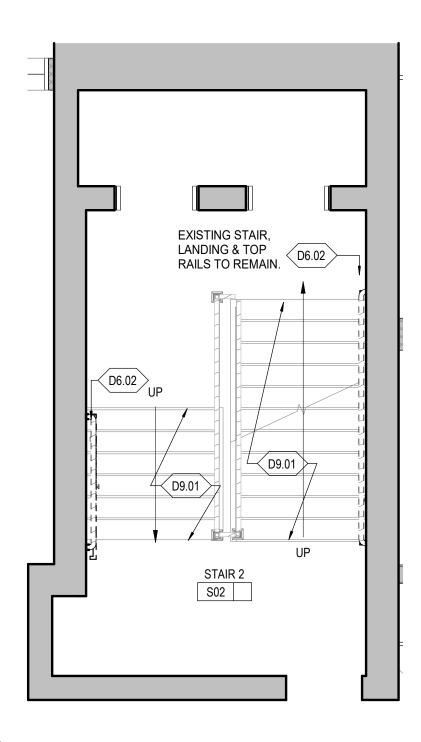








6 DEMO ENLAGED SECOND LEVEL D7.01 SCALE: 1/4" = 1'-0"



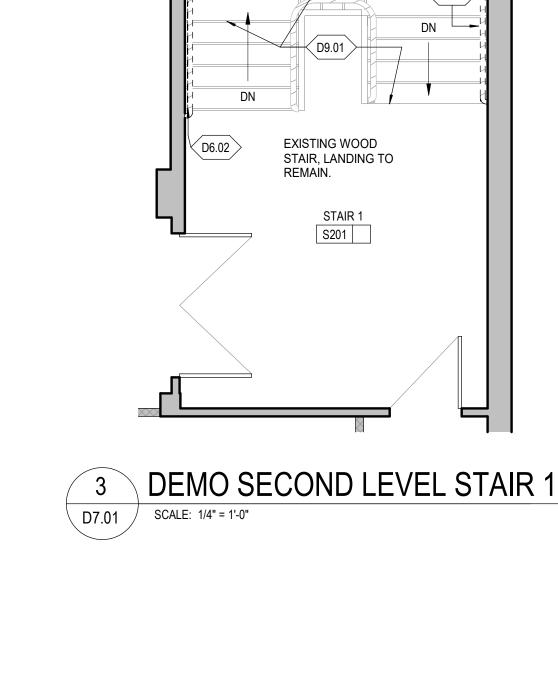
5 DEMO ENLAGED FIRST LEVEL D7.01 SCALE: 1/4" = 1'-0"

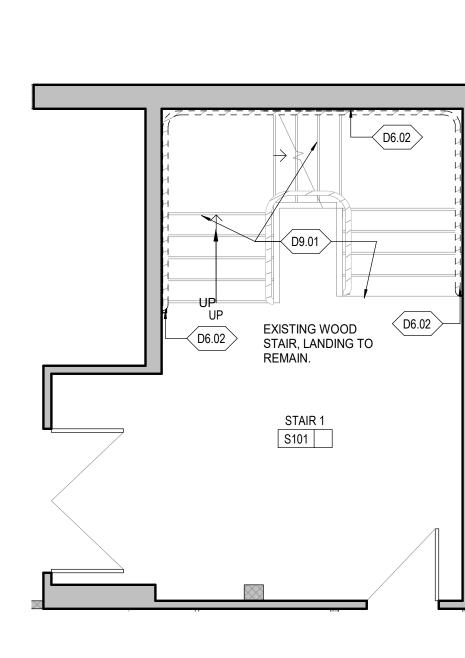
D6.02

D9.01

DEMO ENLAGED LOWER LEVEL

D7.01 SCALE: 1/4" = 1'-0"









REVISIONS

DESCRIPTION

NUMBER

**BID SET** 

PROJECT NUMBER

OWNER / PROJECT NAME / LOCATION

CITY OF WORCESTER

**CHALLENGE & REACH** 

DEMOLITION ENLARGED

ACADEMY - ADA

UPGRADES WORCESTER, MA

DRAWING TITLE

STAIRS PLANS

02023.07

178 Albion Street, Suite 240 Wakefield, Massachusetts 01880 781 213 5030 T 781 213 5040 F info@mvgarchitects.com E

STAMP

DRAWING INFORMATION 1/4" = 1'-0" SCALE DRAWN BY SEPTEMBER 18, 2024

H H H H H H	D9.01	H H H H H H H
UP UP	STAIR 1	

D6.02

DEMO LOWER LEVEL STAIR 1 D7.01 | SCALE: 1/4" = 1'-0"

DRAWING NUMBER

D7.01

#### **GENERAL NOTES - FLOOR PLANS**

1. THE CONTRACTOR SHALL FIELD CHECK AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF ANY NEW WORK.

2. DIMENSION STRINGS ARE FROM FACE OF MASONRY, UNLESS NOTED OTHERWISE.

3. REFER TO ROOM FINISH LEGEND AND ROOM TAGS FOR FLOOR, WALL AND BASE FINISHES. PAINT ALL EXPOSED SURFACES UNLESS NOTED OTHERWISE.

4. PROVIDE AND INSTALL WOOD BLOCKING IN METAL STUD PARTITIONS FOR WALL MOUNTED ASSEMBLIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: INTERACTIVE FLAT PANELS, TOILET ACCESSORIES, TOILET PARTITIONS, FIRE EXTINGUISHERS, CASEWORK AND MILLWORK.

5. INSTALL J BEAD AND SEALANT AT INTERSECTIONS OF DISSIMILAR MATERIALS.

6. PROVIDE AND INSTALL CORNER GUARDS AT ALL OUTSIDE GYPSUM BOARD CORNERS IN CORRIDORS AND BREAK OUT

7. SEE STRUCTURAL DRAWINGS FOR STABILIZING ANGLES SIZES, SPACING, AND LOCATIONS. SEE STRUCTURAL DRAWINGS FOR C.M.U. REINFORCING AND STEEL CROSS BRACING.

## **GENERAL NOTES - INTERIOR FINISHES**

B. SEE ELEVATIONS FOR WALL FINISH LOCATIONS/CHANGES IN WALL FINISH.

**KEYED NOTES - INTERIOR FINISHES** 

IN FLOOR FINISH.

A. SEE PLANS FOR FLOOR FINISH LOCATIONS/ CHANGES

1. PRELIMINARY COLOR SELECTION (BASIS OF DESIGN) SELECTIONS ARE PROVIDED FROM MANNINGTON TO SHOW INTENT ONLY. FINAL COLORS SUBJECT TO OWNER APPROVAL WILL BE PROVIDED DURING THE SUBMITAL PROCESS.

2. SEE INTERIOR ELEVATIONS FOR ADDITIONAL FINISHES.

3. SEE INTERIOR ELEVATIONS FOR MATERIAL & FINISH HEIGHTS.

CLASSROOM 219 E

CLASSROOM 205 E

BC H2 STACK V

203B E

CLASSROOM 218 E

S201 E

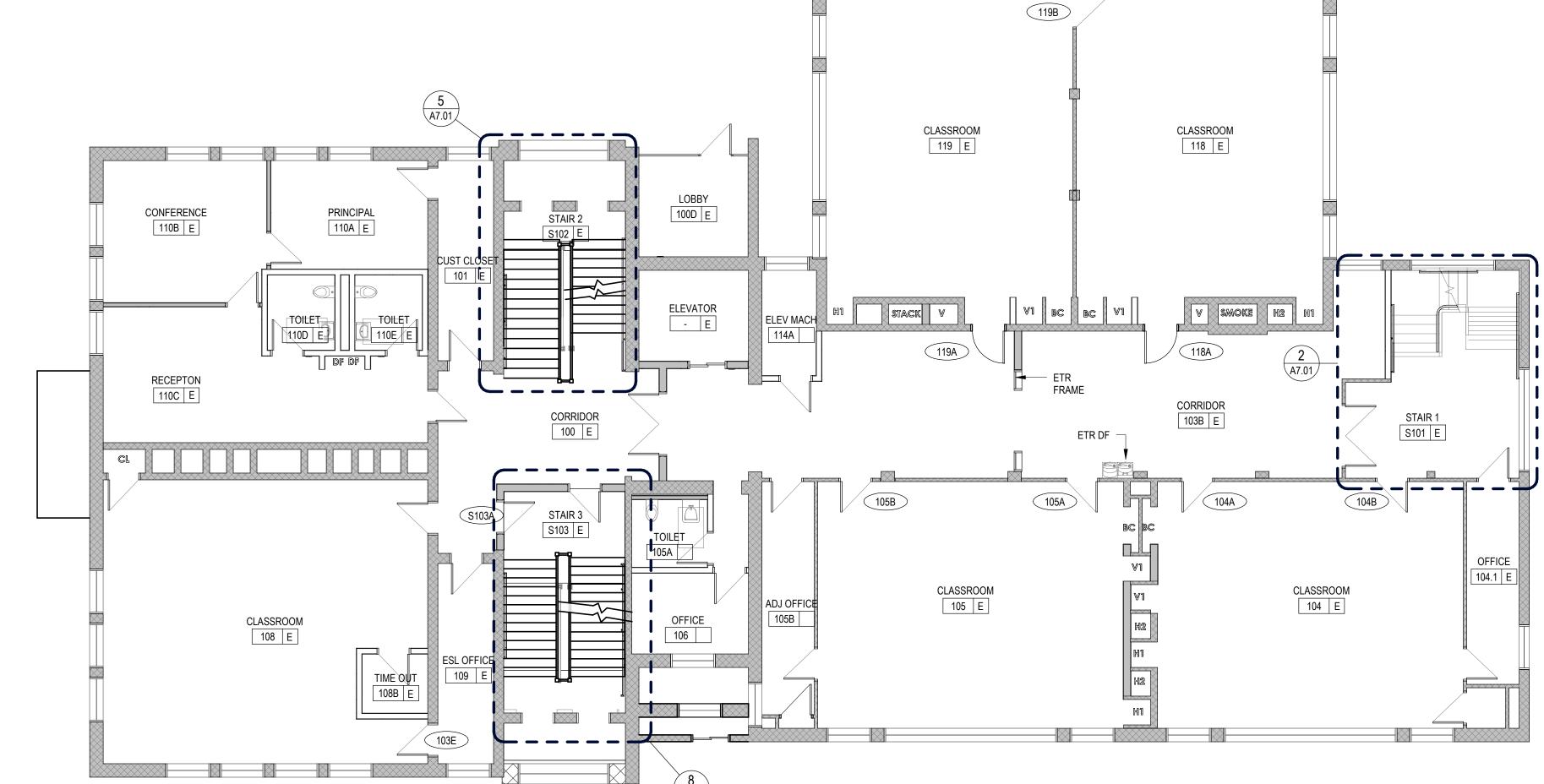
204B

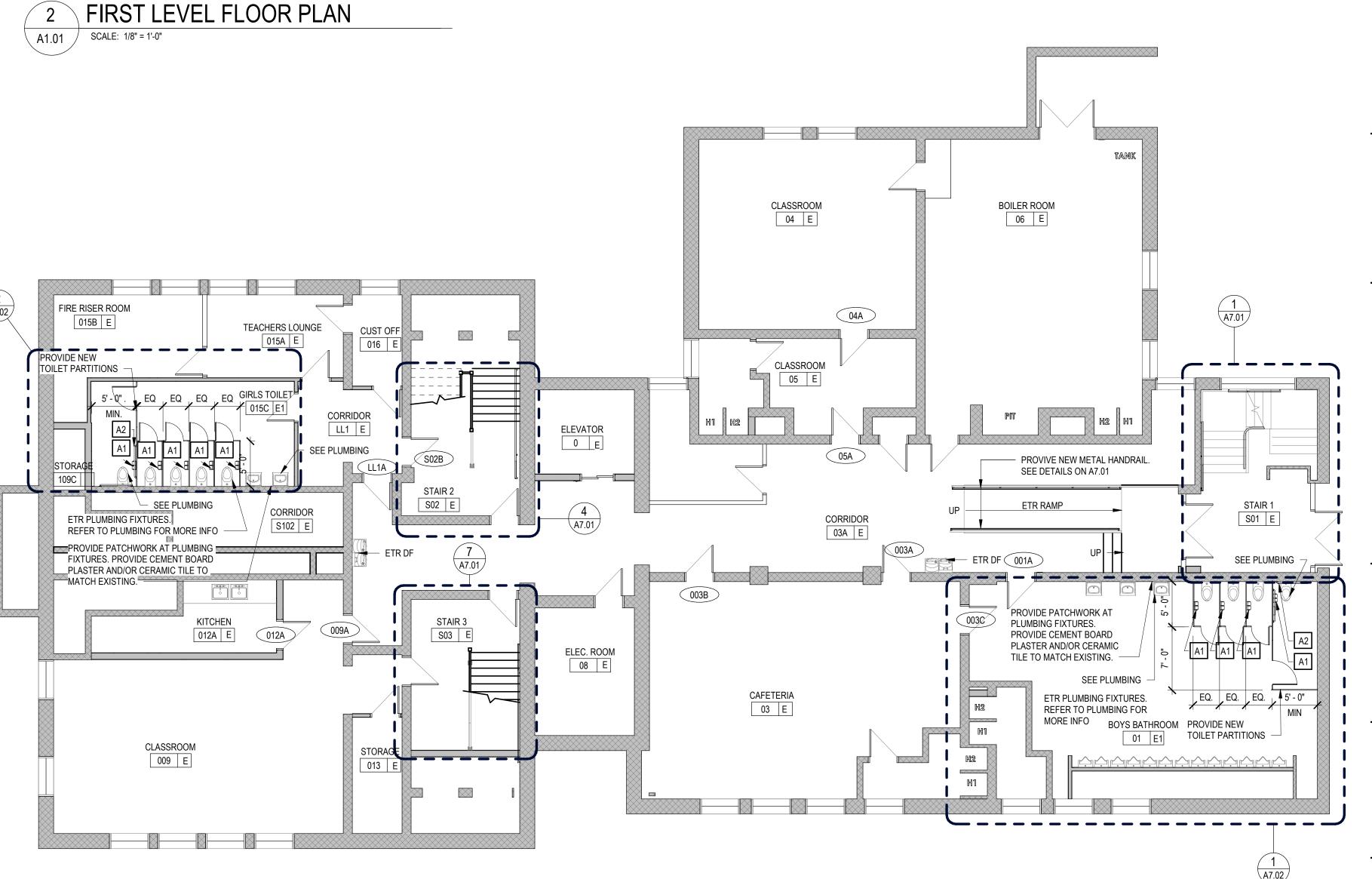
CLASSROOM 204 E

#### FLOOR FINISH COLOR LEGEND

KEY	FLOOR FINISH	BASE FINISH	WALL FIINISH	KEY NOTES
Е	ETR	ETR	ETR	A,B
E1	PATCH TYPICAL	PATCH TYPICAL	PATCH & PAINT TYP.	A,B

200 E







REVISIONS

DESCRIPTION

NUMBER

\_\_\_\_

\_\_\_\_

.\_\_\_\_

\_\_\_\_

**BID SET** 

02023.07

Suite 240



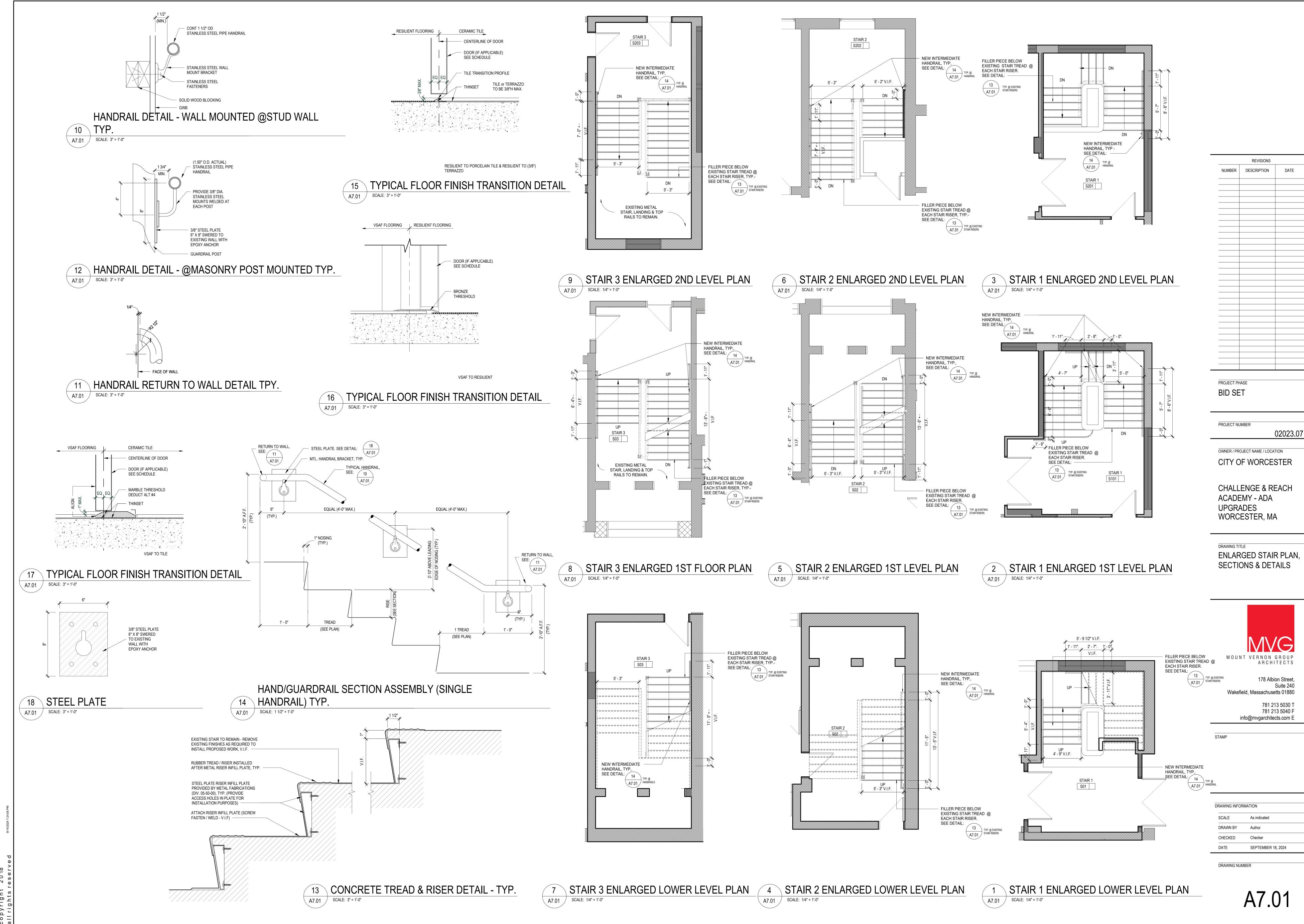
CLASSROOM 208 E

CLASSROOM 210 E

210B

ORIGINAL SHEET IS 30" x 42" copyright 2018 all rights reserved

DRAWING NUMBER



ORIGINAL SHEET IS 30" x 42" copyright 2018 all rights reserved

THESE PLANS DELINEATE THE BASIC SCOPE OF WORK FOR THE REMOVAL OF EXISTING MATERIALS. THESE PLANS HAVE BEEN DEVELOPED FROM OWNER PROVIDED AS-BUILTS AND MAY VARY FROM ACTUAL FIELD CONDITIONS. THE DEMOLITION DRAWINGS AND NOTES ARE PROVIDED WITH THE INTENT TO GENERALLY DESCRIBE AREA AND LIMITS OF WORK. THE CONTRACTOR SHALL BE FAMILIAR WITH THE SITE AND CONDITIONS THEREON.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO ANY DEMOLITION OR CONSTRUCTION. ANY DISCREPANCIES RELATING TO THE DRAWINGS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.

2. THE CONTRACTOR SHALL BE AWARE OF SELECTIVE DEMOLITION AT ALL SECTIONS OF WORK, REVIEWING ALL NEW RENOVATION DETAILS TO DETERMINE WHAT IS TO BE REMOVED OR TO REMAIN AND WILL BE RESPONSIBLE FOR REPLACEMENT IN-KIND ALL WORK INADVERTENTLY REMOVED.

3. ALL REQUIRED DEMOLITION NOT SPECIFICALLY DESIGNATED AS BEING THE WORK OF OTHER TRADES SHALL BE PERFORMED BY THE GENERAL CONTRACTOR.

4. SUBCONTRACTORS TO RELEASE, REMOVE AND LOWER TO THE FLOOR ALL COMPONENTS, SYSTEMS AND ASSEMBLIES AS INDICATED, SPECIFIED, OR AS REQUIRED TO DO THEIR RESPECTIVE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR DISASSEMBLING / CUTTING OR OTHERWISE MODIFYING EQUIPMENT AS REQUIRED TO PASS THROUGH EXISTING OPENINGS. G.C. SHALL ALSO BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING OF ALL MATERIALS SO TREATED.

5. THE CONTRACTOR SHALL REMOVE ITEMS TO BE DEMOLISHED AS INDICATED ON THE DRAWINGS WITH CARE BEING TAKEN NOT TO DAMAGE ADJACENT WALLS, CEILINGS, FLOORS, FINISHES, CASEWORK OR MILLWORK SCHEDULED TO REMAIN. THE WORK AREA WILL BE LEFT CLEAN AND READY TO RECEIVE NEW WORK.

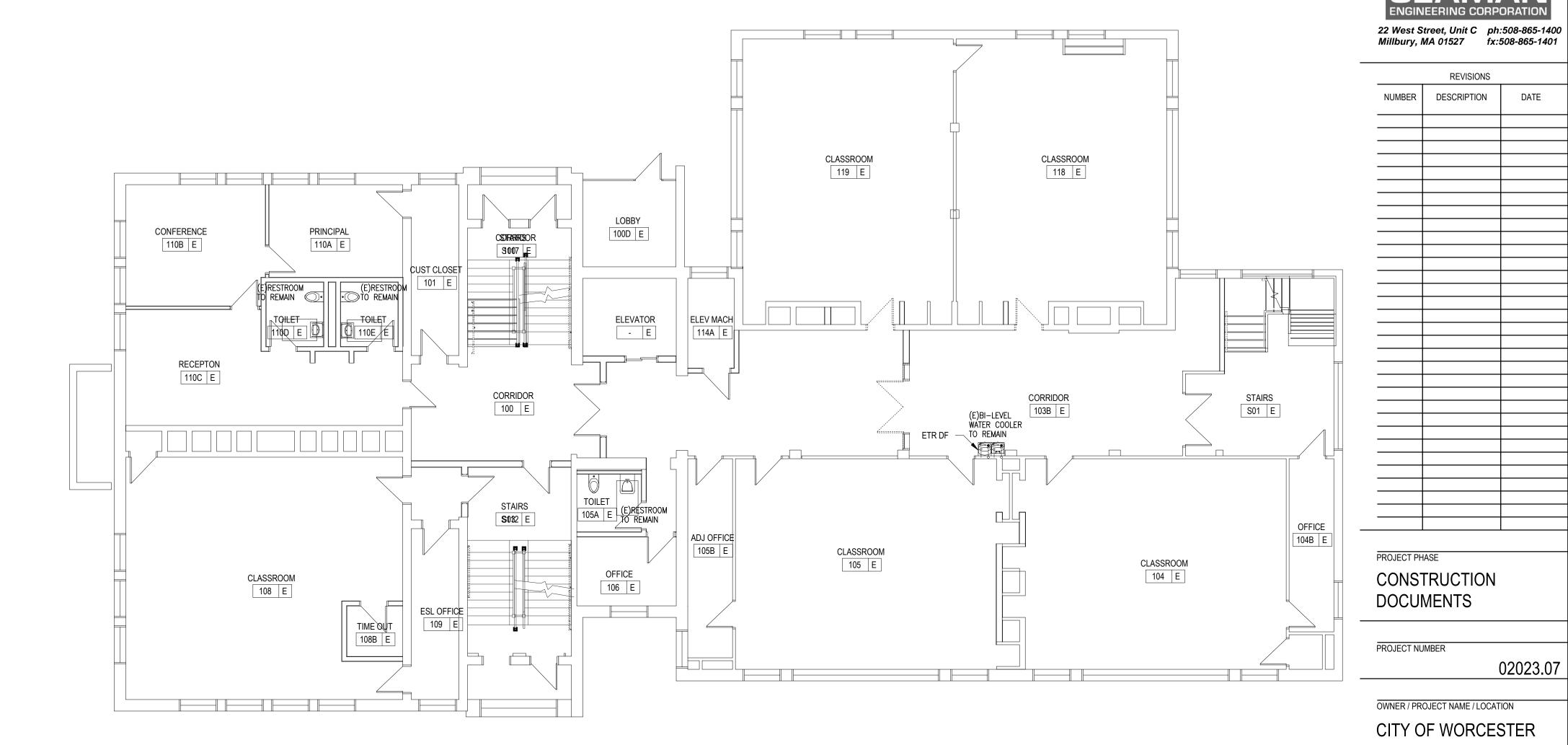
6. PATCH AND REPAIR SCOPE OF ALL EXISTING TO REMAIN WALLS, FLOORING, AND CEILING DAMAGED DURING DEMOLITION OR REMOVAL OF EXISTING CONSTRUCTION. THIS INCLUDES PATCH & REPAIR DUE TO WORK PERFORMED BY ALL SUB-CONSTRACTORS. REFER TO DEMO AND ARCHITECTURAL DRAWINGS FOR OTHER AREAS OF PATCHING, REPAIR AND

7. PROVIDE SMOOTH CLEAN SURFACES PREPARED TO RECEIVE INFILL AND/OR FINISHES (AS SCHEDULED) AT ALL MISCELLANEOUS OPENINGS, DEPRESSIONS OR VOIDS LEFT AFTER DEMOLITION. CONTRACTOR TO PROVIDE INFILL AND PATCHING OF ALL SUCH AREAS TO MATCH EXISTING ADJACENT SURFACES.

8. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TEMPORARY BARRICADES TO DIVIDE AREAS (CONSTRUCTION AND NORMAL USE) TO PROTECT USERS DURING CONSTRUCTION.

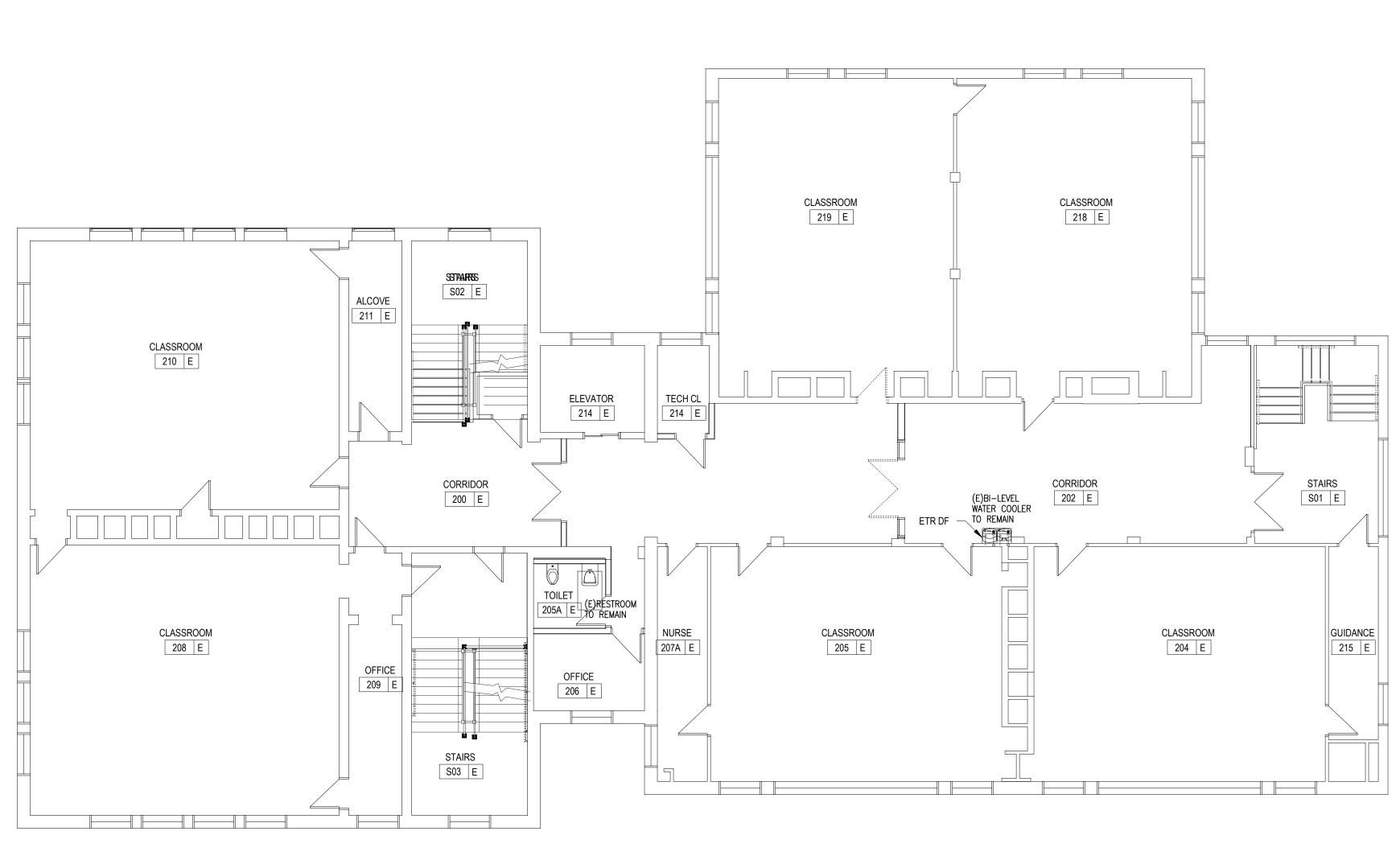
G.C. SHALL COORDINATE AND PERFORM ALL ASSOCIATED WORK WITH M / E/ P CONTRACTORS FOR ALL REQUIRED PENETRATIONS REQUIRING MISCELLANEOUS BLOCKING OR INFILL TO ACCOMMODATE M / E / P WORK.

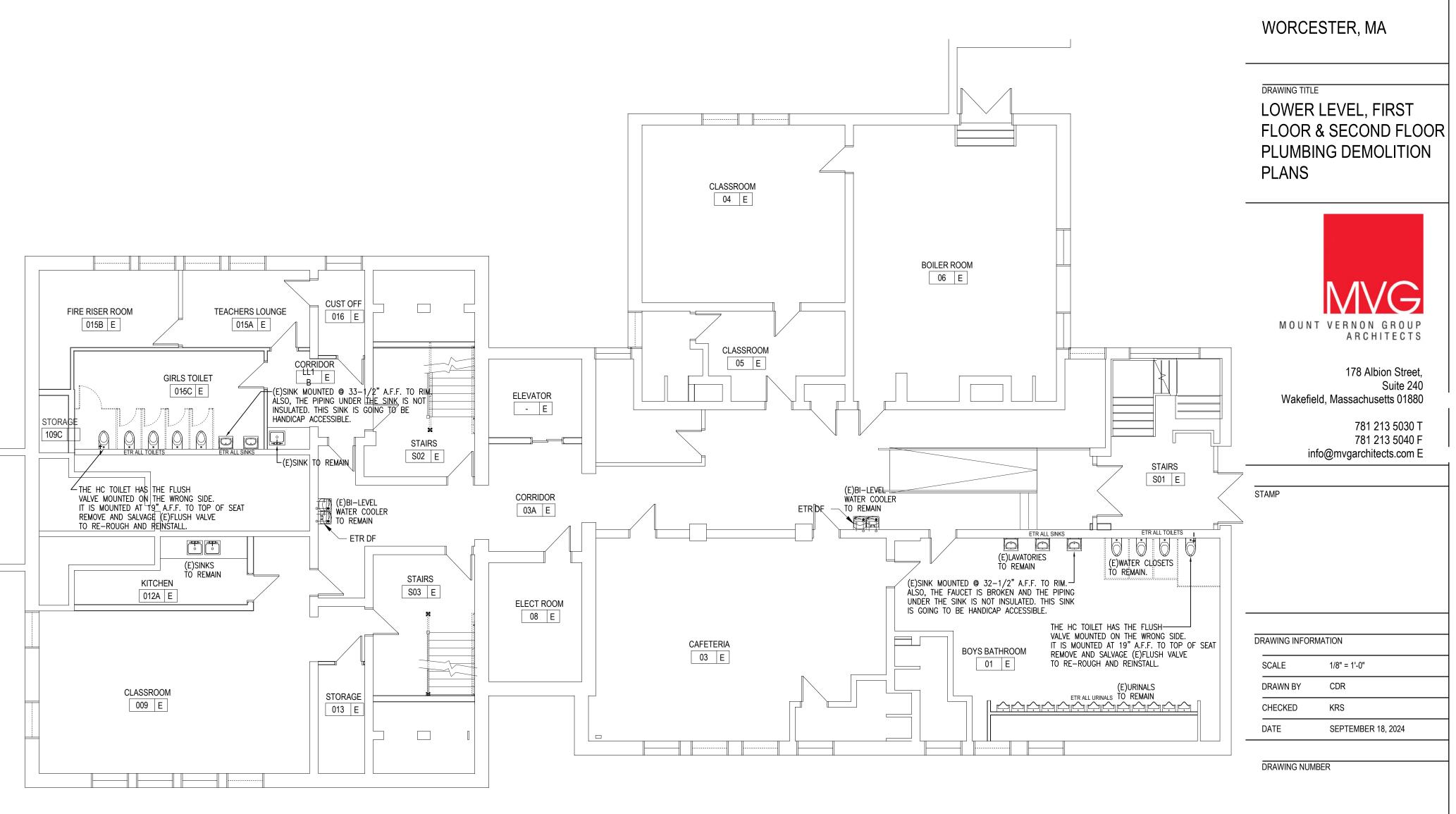
10. REMOVE AND REPLACE ALL HARDWARE TO CLASSROOMS AND OFFICES AT ALL FLOOR LEVELS U.N.O. TYP. SEE SPECIFICATIONS FOR HARDWARE SCHEDULE.



FIRST FLOOR PLUMBING DEMOLITION PLAN

\ LOWER LEVEL PLUMBING DEMOLITION PLAN





3 SECOND FLOOR PLUMBING DEMOLITION PLAN

1/8" = 1'-0"

ORIGINAL SHEET IS 30" x copyright 2018 all rights reserved

DP1.01

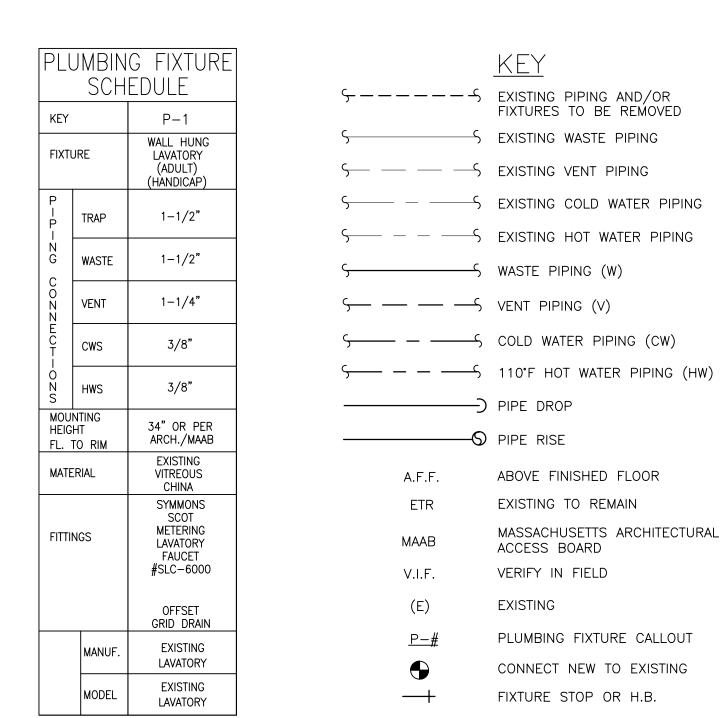
REVISIONS

02023.07

**CHALLENGE & REACH** 

ACADEMY (HARLOW)

DESCRIPTION



3. VERIFY ALL MOUNTING HEIGHTS WITH ARCHITECTURAL PLANS AND ALL APPLICABLE CODES BEFORE INSTALLATION.

5. PIPE INSULATION UNDER FIXTURE  $\underline{P-1}$  SHALL BE TRUEBRO LAV GUARD MODEL #103, OR APPROVED EQUAL

1. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

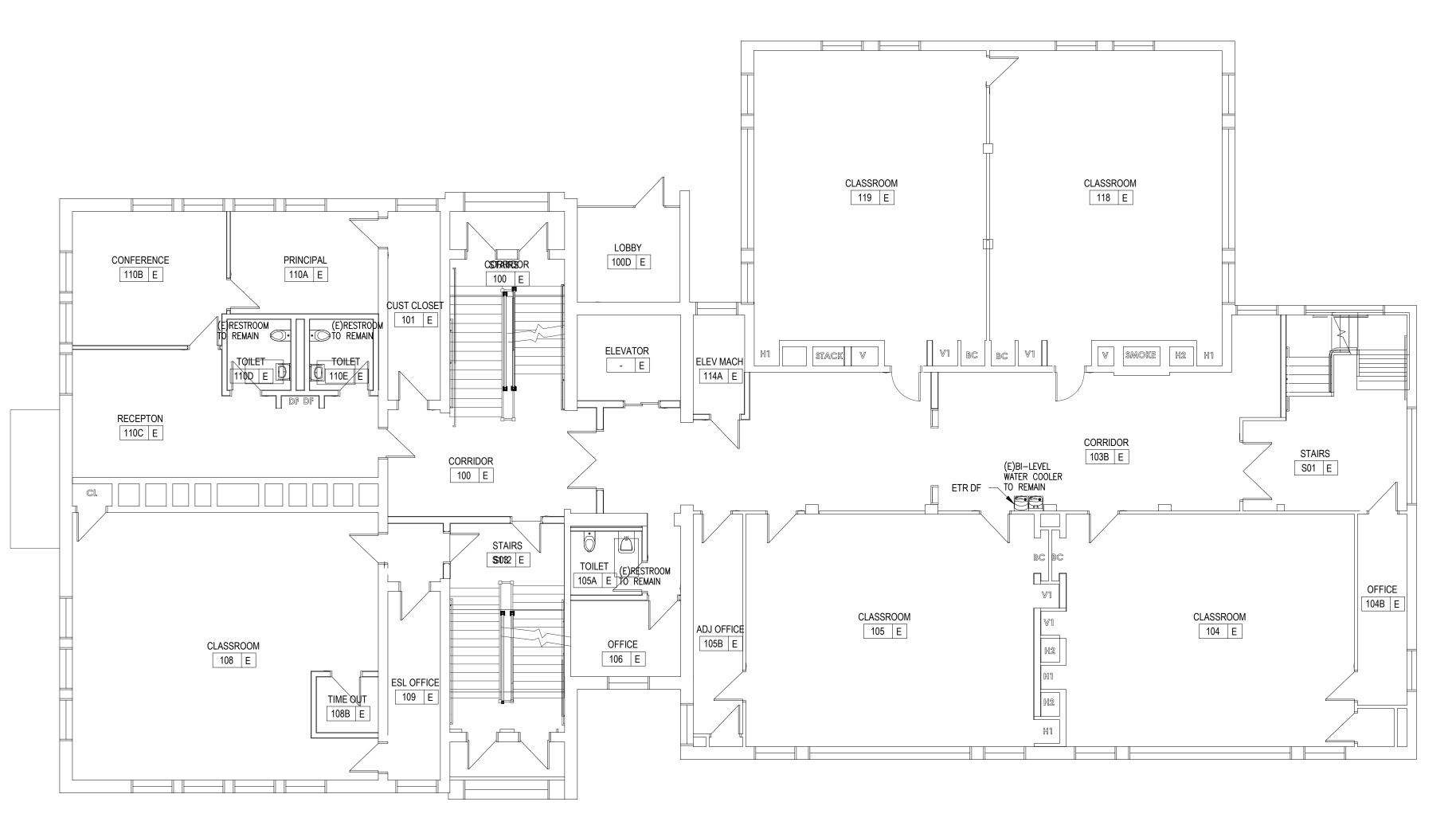
2. ALL DIMENSIONS ARE AS IS UNLESS NOTED OTHERWISE ON DRAWINGS.

4. PROVIDE WHEELCHAIR LAVATORY STRAINER ON HANDICAP LAVATORY. INSTALL PVC COATED

INSULATION ON ALL PIPING BELOW HANDICAP LAVATORIES UNLESS PIPING IS ENCLOSED.

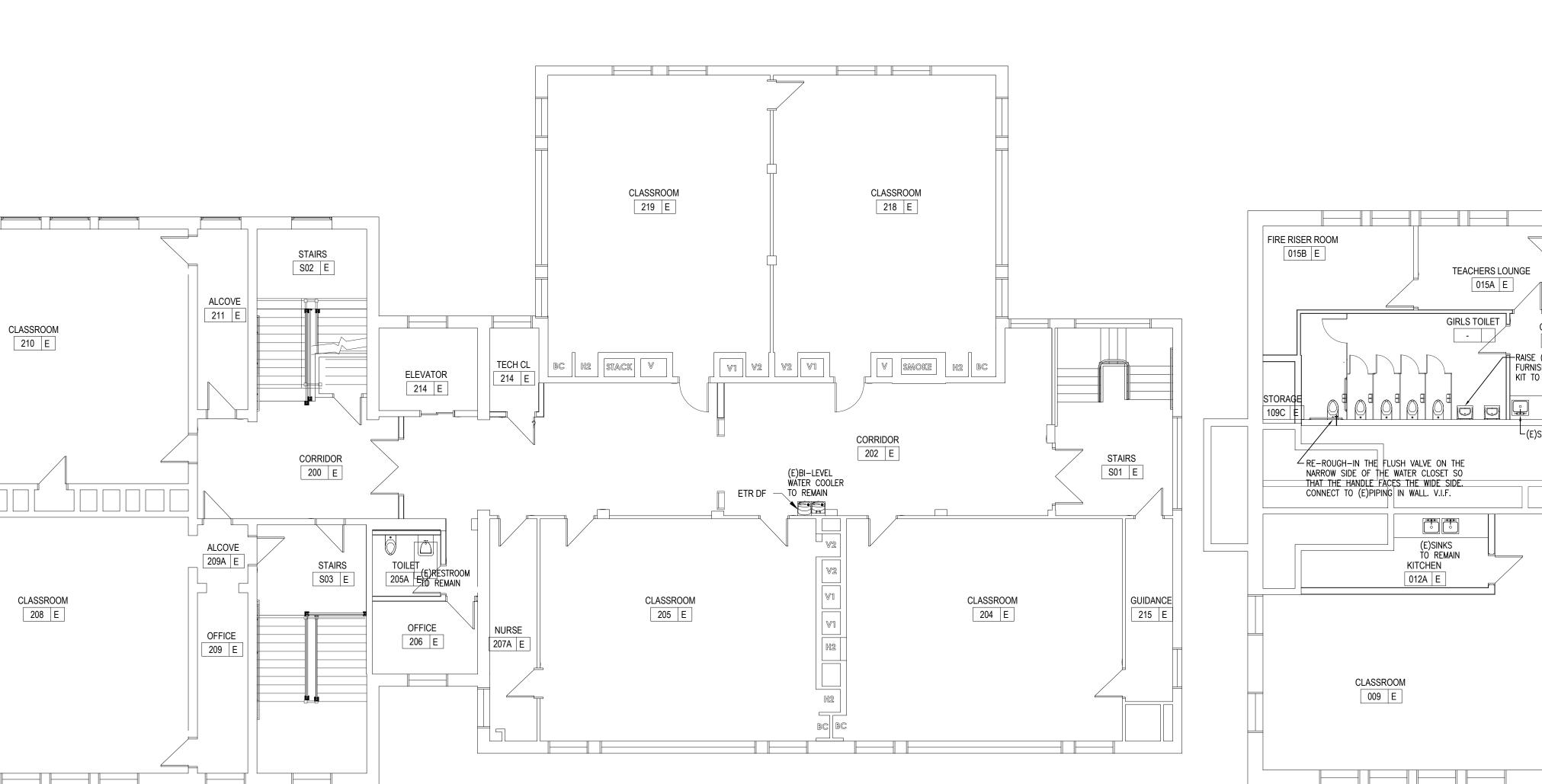
PLUMBING NOTES:

- CONTRACTOR RESPONSIBLE FOR PROVIDING ALL MATERIAL, LABOR, SUPERVISION AND TRANSPORTATION REQUIRED TO COMPLETE THE WORK DESCRIBED ON THESE DRAWINGS AND IN THE SPECIFICATIONS UNLESS NOTED OTHERWISE.
- 2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOCATION IN THE FIELD.
- 3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- 4. ALL PIPING TO BE INSTALLED PER LOCAL, STATE, AND FEDERAL CODES. 5. CONTRACTOR IS RESPONSIBLE FOR ALL OFFSETS AND MODIFICATIONS AS REQUIRED TO CLEAR
- BUILDING STRUCTURES.
- 6. ALL PIPING TO BE PRESSURE TESTED BEFORE INSULATION. LEAVE VALVES OPEN, READY FOR OPERATION.
- 7. INSULATE ALL NEW COLD & HOT LINES INSTALLED WITH 1/2" FIBERGLASS OR CLOSED CELL INSULATION.. 8. REPAIR OF ANY DAMAGE TO THE NEW CONSTRUCTION DURING THE EXECUTION OF THIS WORK SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR.
- 9. ALL EXPOSED PIPING/FITTINGS TO BE CHROME PLATED COPPER/BRASS.
- 10. ALL WATER SUPPLY PIPING TO BE RIGID TYPE L COPPER UNLESS STATED OTHERWISE.
- 11. ALL WASTE AND VENT PIPING TO BE CAST IRON OR DWV COPPER AS ALLOWED BY THE MA PLUMBING CODE.
- 12. PIPING RUNS ARE SHOWN AS REPRESENTATIVE OF REQUIRED SIZES. ROUTING MAY BE CHANGED
- BY CONTRACTOR AS NECESSITATED BY STRUCTURAL CONSIDERATIONS. 13. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND ELEVATION OF PLUMBING FIXTURES.
- 14. ALL DOMESTIC AND WASTE PIPING IS DIAGRAMMATIC. CONTRACTOR IS RESPONSIBLE TO PROVIDE
- COMPLETE AND WORKING FIXTURES.



FIRST FLOOR PROPOSED PLUMBING PLAN

1/8" = 1'-0"



CLASSROOM 06 E 04 E CLASSROOM 05 E RAISE (E)LAVATORY TO 34 A.F.F. TO RIM. FURNISH AND INSTALL UNDERSINK INSULATION KIT TO MAKE THIS HANDICAP ACCESSIBLE. STAIRS 03A E (E)BI-LEV<del>EL =</del> WATER COOLER FURNISH AND INSTALL NEW ANGLE STOPS, SUPPLIES, AND OFFSET GRID DRAIN WITH P-TRAP CONNECTING (E)BI-LEVEL WATER COOLER TO REMAIN TO REMAIN TO EXISTING ROUGH-IN @ WALL. V.I.F. (E)LAVATORIES TO REMAIN RAISE (E)LAVATORY TO 34" A.F.F. TO RIM. — REPIPE. REPLACE (E)FAUCET WITH NEW. FURNISH AND INSTALL UNDERSINK INSULATION KIT TO MAKE THIS HANDICAP ACCESSIBLE. 08 E RE-ROUGH-IN THE FLUSH VALVE ON THE-NARROW SIDE OF THE WATER CLOSET SOTHAT THE HANDLE FACES THE WIDE SIDE. CAFETERIA 03 E CONNECT TO (E)PIPING IN WALL. V.I.F. (E)URINALS
TO REMAIN STORAGE 013 

SECOND FLOOR PROPOSED PLUMBING PLAN

1/8" = 1'-0"

ORIGINAL SHEET IS 30" x 42" copyright 2018 all rights reserved

1 LOWER LEVEL PROPOSED PLUMBING PLAN

1/8" = 1'-0"



Millbury, MA 01527 fx:508-865-1401 REVISIONS NUMBER DESCRIPTION \_\_\_\_ \_\_\_\_ \_\_\_\_ \_\_\_\_ CONSTRUCTION DOCUMENTS

PROJECT NUMBER

OWNER / PROJECT NAME / LOCATION CITY OF WORCESTER

02023.07

**CHALLENGE & REACH** ACADEMY (HARLOW)

WORCESTER, MA

DRAWING TITLE LOWER LEVEL, FIRST FLOOR AND SECOND FLOOR PROPOSED PLUMBING PLANS



178 Albion Street, Suite 240 Wakefield, Massachusetts 01880 781 213 5030 T

info@mvgarchitects.com E

781 213 5040 F

DRAWING INFORMATION

SCALE 1/8" = 1'-0" DRAWN BY CDR DATE SEPTEMBER 18, 2024

DRAWING NUMBER

P1.01