



March 14, 2024

To All Bidders:

Subject: **Bid No. 8148-W4, Norrback School Fire Pump Replacement / WPS**

ADDENDUM NO. 3

To Whom It May Concern:

With reference to our bid request relative to the above subject, please refer to the changes/modifications/clarifications to the original proposal request.

- **PLEASE SEE BELOW QUESTIONS RECEIVED AND RESPONSES FROM CITY**

Can it be confirmed that the wall between the fire pump room and the water pump room still needs to be fire rated? (The building code may allow it not to be fire rated as was discussed at the walk thru) **See updated drawings. The wall between the pumps has been removed from the scope of the work.**

- Exactly which walls need to be painted (Can a Keynote be used to call out these walls) and can a painting spec be issued that calls out the number of coats and the type of paint to provide? **Paint all walls within the scope of work.**

HM Doors and Frames:

- **PRIME COAT: P06 BENJAMIN MOORE ALKYD METAL PRIMER**
- **INTERMEDIATE COAT: P29 BENJAMIN MOORE DTM ACRYLIC SEMI-GLOSS**
- **TOPCOAT: P29 BENJAMIN MOORE DTM ACRYLIC SEMI-GLOSS**

CMU Walls:

- **PRIME COAT: 206 BENJAMIN MOORE SUPER SPEC MASONRY HI-BUILD BLOCK FILLER**
- **INTERMEDIATE COAT: N537 BENJAMIN MOORE ULTRA SPEC LOW SHEEN**
- **TOPCOAT: N537 BENJAMIN MOORE ULTRA SPEC LOW SHEEN**

Gypsum Wallboard Walls:

- **PRIME COAT: N534 BENJAMIN MOORE ULTRA SPEC PRIMER**
- **INTERMEDIATE COAT: N537 BENJAMIN MOORE ULTRA SPEC LOW SHEEN**
- **TOPCOAT: N537 BENJAMIN MOORE ULTRA SPEC LOW SHEEN**

Exposed Steel Horizontal Overhead Structure Substrates:

- **TOPCOAT: CORONADO 110 LATEX FLAT DRYFALL COATING**



(General Note #6 on drawing A-111 states “Paint all walls to match existing” which leaves in question which wall need to be painted) **Color of the paint shall match the existing colors.**

- Can a Keynote be assigned that calls out the walls being addressed by General Note #5 on drawing A-111? **Paint all walls within the scope of work.**
- Can a specification section be issued for the following which are mentioned on bid drawings for fair competition and an equitable bidding process as prescribed by MA State Law: Plumbing, Painting, Doors, Access panel, Flooring, Fire proofing & Wall construction? **Per the updated architectural drawing sheet "A-111," dated 3-11-2024, the rated man-doors, access panel, and repairs to the existing 2-hour rated wall have been removed from project scope. The demising wall will be demolished in full, so the aforementioned components are no longer required as part of this bid.**

Painting specification as follows:

HM Doors and Frames:

- **PRIME COAT: P06 BENJAMIN MOORE ALKYD METAL PRIMER**
- **INTERMEDIATE COAT: P29 BENJAMIN MOORE DTM ACRYLIC SEMI-GLOSS**
- **TOPCOAT: P29 BENJAMIN MOORE DTM ACRYLIC SEMI-GLOSS**

CMU Walls:

- **PRIME COAT: 206 BENJAMIN MOORE SUPER SPEC MASONRY HI-BUILD BLOCK FILLER**
- **INTERMEDIATE COAT: N537 BENJAMIN MOORE ULTRA SPEC LOW SHEEN**
- **TOPCOAT: N537 BENJAMIN MOORE ULTRA SPEC LOW SHEEN**

GWB Walls:

- **PRIME COAT: N534 BENJAMIN MOORE ULTRA SPEC PRIMER**
- **INTERMEDIATE COAT: N537 BENJAMIN MOORE ULTRA SPEC LOW SHEEN**
- **TOPCOAT: N537 BENJAMIN MOORE ULTRA SPEC LOW SHEEN**

Exposed Steel Horizontal Overhead Structure Substrates:

- **TOPCOAT: CORONADO 110 LATEX FLAT DRYFALL COATING**

Epoxy Flooring System:

Available Products: Subject to compliance with requirements, products that may be incorporated into the Work include, (Basis of Design Stonshield SLT). Systems must comply with broadcasting of quartz.



1. Stonhard, Inc.; Stonshield SLT
2. General Polymers; Ceramic Carpet.
3. Other Manufacturer by prior Owner approval.

System Characteristics:

1. Colors and Pattern: Select from manufacturer standard color palette.
 2. Wearing Surface: Medium.
 3. Integral Cove Base: 4"
 4. Overall System Thickness: 2mm
- D. System Components: Manufacturer's standard components that are compatible with each other and as follows:**
1. Primer:
 - a. Material Basis; Stonhard Quik Primer
 - b. Resin: Aromatic urethane.
 - c. Formulation Description: Two-component; high solids.
 - d. Application Method: squeegee back roll.
 - e. Number of Coats: One.
 2. Broadcast Media:
 - a. Material Basis: Stonshield quartz aggregate.
 - b. Type: pigmented.
 - c. Finish: standard.
 - d. Number of Coats: one.
 - e. Pattern: Tweed.
 3. Undercoat:
 - a. Material Basis: Stonshield undercoat.
 - b. Resin: Epoxy
 - c. Formulation Description: 2 component 100% solids.
 - d. Type: Clear.
 - e. Finish: Gloss.
 - f. Number of Coats: one.
 4. Sealer:
 - a. Material Basis: Stonseal CE4.
 - b. Resin: Epoxy
 - c. Formulation Description: 2 component 100% solids.
 - d. Type: Clear.

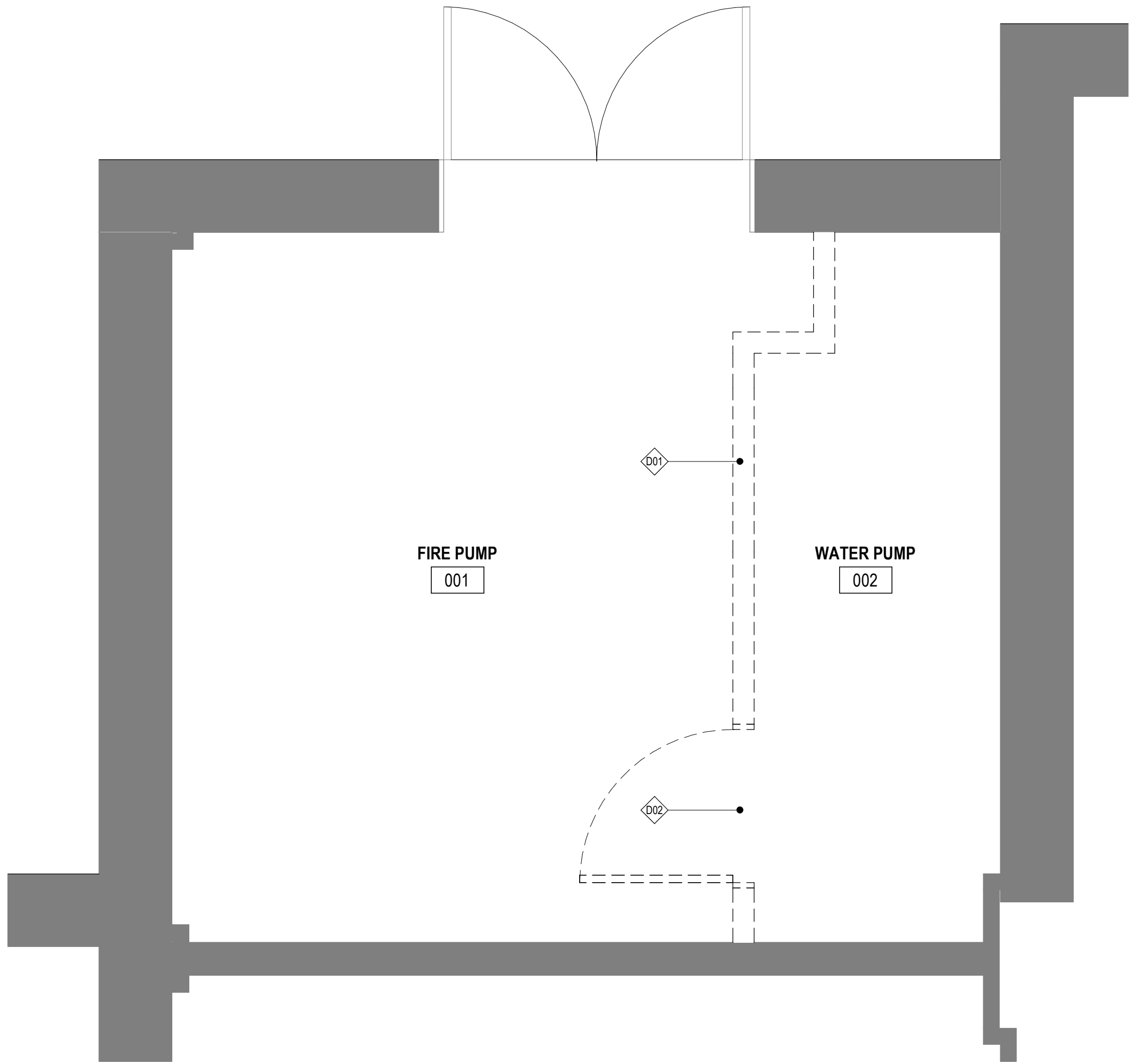


- Can a site Seismic Design Category be provided (So that an assessment for the need for seismic bracing can be made) (This is normally determined by a structural engineer) (See Paragraph 3.4F) **Per 780 CMR, 901.1.1 Seismic Requirements. All “required” and “non-required” fire protection systems shall be installed in accordance with the applicable Seismic Criteria requirements of 780 CMR 1613, related to the seismic design of fire protection systems. Bidders shall insure proposed equipment is in compliance with applicable state and local seismic requirements per above referenced codes.**
- It could be interpreted that an all-new fire pump system is required (Pipe, valves, fittings, etc.) (See Paragraph 3.7A on drawing FP-102): can it be clarified that this is not the case? **Replacement is fire pump, sensing line to controller, controller and any fittings needed to make the connections only (as shown on FP-100). Existing valves and piping before and beyond the fire pump are to remain.**
- Can it be confirmed exactly what piping needs to be flushed? (See paragraph 3.4J) (Will the flow testing of the fire pump suffice?) **Yes, fire pump testing will suffice.**
- Can it be confirmed if a Temporary Pump or Uniformed Fire Watch is required? **A temporary fire pump is not required. A uniformed fire watch may be required during certain aspects of the project scope of work, but that specific need will be determined by the local AHJ, Worcester Fire Department, upon issuance of all applicable permits.**
- Do the following terms that are mentioned in the bid documents apply to this fire pump replacement project and if so in what way; if applicable can locations for any devices mention hereafter be detailed of the bid plans: Vibration isolation, Flexible connectors, Expansion fittings, FM Global, Sprinkler piping, Sprinkler system, NFPA-13, Balancing report, Dry systems, Freezer applications & Hose system? **FM Global applies to the fire pump and fire pump controller. All other do not apply to the fire pump replacement.**

Bidders are requested to acknowledge and/or include this addendum with submission. All other terms, conditions and specifications remain unchanged.

Very truly yours,

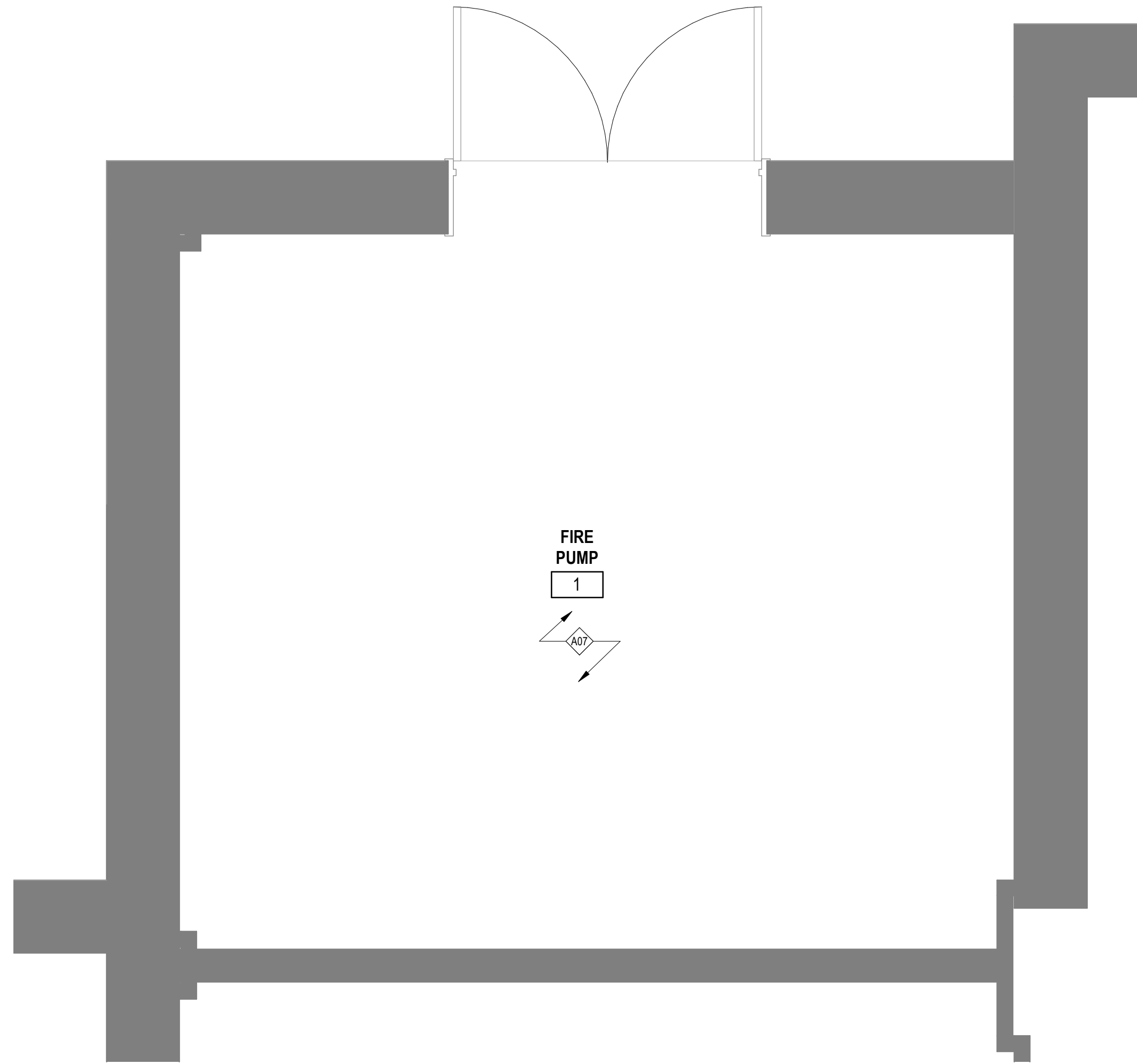
Christopher J. Gagliastro
Purchasing Director



2 demolition plan - first floor
1/2" = 1'-0"

demolition plan key notes

- <001> REMOVE WALL IN ITS ENTIRETY. PATCH ADJACANT WALLS, FLOORS AND CEILINGS AS REQUIRED.
<002> REMOVE DOOR AND FRAME IN ITS ENTIRETY.



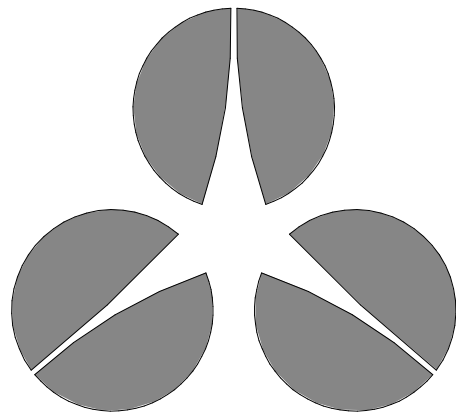
1 architectural plan - first floor
1/2" = 1'-0"

architectural plan general notes

1. REPAIR/REPLACE ALL IMPACTED FINISHES TO MATCH EXISTING.
2. ALL WALL AND CEILING PENETRATIONS SHALL BE FIRE STOPPED AS REQUIRED BY CODE.
3. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR EQUIPMENT INFORMATION.
4. ALL EXISTING WALLS IN CONSTRUCTION ZONE TO BE REPAIRED, PATCHED, AND FINISHED TO MATCH EXISTING ADJACENT.
5. PAINT ALL WALLS AND CEILING TO MATCH EXISTING.

architectural plan key notes

- <A01> NEW EPOXY FLOORING



edm

architecture
•
engineering
•
management

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unionville, ct
troy, ny

(888) 336-6500
team@edm-ae.com

consultants:

design by: -	drawn by: JP
checked by: JI	
approved by: JI	

Norback Water and
Fire Pump
Replacement

44 Malden St,
Worcester, MA 01606

keyplan:

issue / rev.	date:	issued for:	by:

construction plan - first floor

date: 03.11.24
project number: cow-6094
scale: As indicated
drawing number:

A-111