# MCGRATH ELEMENTARY SCHOOL WORCESTER PUBLIC SCHOOL

CAFETERIA/ GYM FLOORING REPLACEMENT

493 GROVE STREET, WORCESTER, MA 01605

100% CONSTRUCTION DOCUMENTS FEBRUARY 7, 2024

# **ARCHITECT** HABEEB & ASSOCIATES **ARCHITECTS**

150 LONGWATER DRIVE NORWELL, MA 02061

100 GROVE STREET #303 WORCESTER, MA 01605 781.871.9804 habeebarch.com

**AWARDING AUTHORITY** 

# **CITY OF WORCESTER**

**PURCHASING DIVISION - ROOM 201** 455 MAIN STREET WORCESTER, MA 01608

### **DRAWING LIST**

**COVER SHEET** 

SYMBOLS, ABBREVIATIONS, GENERAL NOTES FIRST FLOOR OVERALL PLAN

# **CODE REVIEW**

#### REFERENCE CODES

CODE, 9TH EDITION AND 2015 IEBC)

AS ALTERATION - LEVEL1

E- EDUCATIONAL

TABLE 601 FIRE-RESISTANCE RATING REQUIREMENTS FOR

(BASED ON FIELD OBSERVATIONS)

804.4.2 MINIMUM CRITICAL RADIANT FLUX - CLASS I

# LOCUS PLAN (NOT TO SCALE)





ONSULTANT

MORCEST
SCH

**COVER SHEET** 

G-001

# **SYMBOLS: SECTION:** FACE BRICK

ADJUSTABLE

ALUMINUM

ALUMINUM

**ANCHOR** 

APPROX. APPROXIMATELY

BOARD

BUILDING

BLOCKING

BASEMENT

CABINET

CEMENT

CER./C.T. CERAMIC TILE

BOTTOM OF DECK

**CORNER GUARD** 

**CORNER GUARD** 

CAST IN PLACE

CONTROL JOINT

CONC. MASONRY UNIT

CONC. HOUSEKEEPING PAD

CLEAR OPENING

CONSTRUCTION

**CONTINUOUS** 

CONTRACTOR

COLD ROLLED

COUNTERSINK

COUNTERTOP

DOUBLE ACTING

CABINET UNIT HEATER

DIRECT APPLIED FINISH

DRINKING FOUNTAIN

CORRIDOR

COURSES

CUBIC

SYSTEM

DETAIL

CAST IRON

CEILING

CLEAR

CLOSET

COLUMN

CONCRETE

CONDITION

CHALKING

CHALK BOARD

**BLOCK** 

BACKSPALSH

ABOVE FINISHED FLOOR

D.O.

DSP.

DWG.

EDSP.

EQ.

E.S.

EXH.

EXIST.

F.C.P.

FB.

F.C.

F.D.

F.E.

F.H.

FIN.

FL.

F.O.

F.P.

F.S.

F.SZ.

FUR.

GA.

G.C.

GL.

F.O.S.

F.H.C.

DOOR OPENING

DISPENSER

DRAWING

**EDUCATION** 

**ENDSPLASH** 

EXHAUST FAN

**EXPANSION JOINT** 

ELEVATION (GRADE)

ELEVATION (FACADE)

EXISTING TO REMAIN

EDGE OF DECK

EQUAL

**EACH SIDE** 

**EXHAUST** 

**EXISTING** 

**EXPOSED** 

**EXTERIOR** 

FLAT BAR

FIRE CODE

F.E.C. FIRE EXTINGUISHER

**CABINET** 

FLAT HEAD

FLOOR

FLUOR. FLUORESCENT

FLASH. FLASHING

FLOOR DRAIN

FACTORY FINISH

FIRE HOSE CABINET

FRAMED OPENING

FIRE PROOFING

FIRE SHIELD

FULL SIZE

FEET/FOOT

**FURRING** 

GALVANIZED

**GAUGE** 

GLASS

**GRADE** 

FACE OF STEEL/STUD

FIN-TUBED RADIATOR

GENERAL CONTRACTOR

EXTINGUISHER

FIBER CEMENT PANEL

FIRE DEPT. VALVE

F.D.V.C. FIRE DEPT. VALVE CABINET

FIRE EXTINGUISHER

FIRE DEPT. CONNECTION

EXP. JT. EXPANSION JOINT

EACH

G.W.B.

H.C.

HD

H.M.

H.P.

HT.

IN.

IN.2

IN.3

INFIL.

INV.

JST.

LAM.

LB./#

L.D.P.

LGTH.

L.G.M.F.

L.O.W.

L.P.

LI.WT.

LVR.

MACH.

M.B.

MECH.

MISC.

M.O.

M.T.

MTD.

MLDG.

MEMBR.

INSUL.

ADJ.

AFF

ALU.

ALUM.

ANCH.

BKSP.

BLDG.

BLKG.

B.O.D.

BSMT.

CAB.

CEM.

C.G.

CLG.

CLR.

CLKG.

CLOS.

C.M.U.

C.O.

COL.

CONC.

C.H.P.

COND.

CONST.

CONTR.

CONT.

CORR.

C.R.

CRS.

CSK.

CTOP

C.U.H.

D.A.F.S.

DET.

CU.

BLK.

# **ELEVATION:**

# GLASS (ELEVATION



NOT IN CONTRACT

OUTSIDE DIAMETER

PRECAST CONCRETE

PERPENDICULAR (TO)

PRESERVATIVE TREATED

RADIATOR ENCLOSURE

PLASTIC LAMINATE

OPPOSITE HAND

NUMBER

**NOMINAL** 

OVERALL

ON CENTER

**OPERATE** 

OPENING

**OVERHEAD** 

OUNCE(S)

PARTITION

PERIMETER

PLATE

PLASTER

PLUMBING

**PLYWOOD** 

POLISHED

PAINTED

**QUARRY TILE** 

ROOF DRAIN

REINFORCING

REQUIRED

RESILIENT

RETAINING

ROOM

REFRIGERATOR

RELIEVING JOINT

**ROUGH OPENING** 

RESILIENT BASE

SCUPPER

SCHEDULE

SMOKE FAN

SECTION

SHELVES

SHEET

SIMILAR

RAIN WATER LEADER

SELF ADHERED MEMBRANE

SILICON IMPREGNATED

GYPSUM SHEATHING

QUANTITY

RADIUS

RISER

PAIR

N.I.C.

NO./#

NOM.

O.A.

O.C.

O.D.

O.H.

OPNG.

OVHD.

OZ.

PARTN.

PERIM.

P.L.

PLAS.

PLUMB

P.T.

Q.T.

QTY.

R.D.

REINF

REFIG.

REQD.

RESIL.

RET.

R.O.

RB.

R.W.L.

SCHED.

SECT.

S.I.G.S.

SQ.

STOR.

S.S.

STD.

STL.

SUSP.

T.B.

T.C.

TEL.

THK.

TLT.

T.O.B.

T.O.C.

T.O.S.

T.O.W.

TYP.

TWR.

U.L.

U.P.R.

V.C.

VENT.

VEST.

V.W.C.

V.P.

W.D.

WT.

YD.

W.W.M.

SQUARE

STORAGE

STANDARD

SUSPENDED

TACK BOARD

TERRA COTTA

**TONGUE & GROOVE** 

TOP OF BLOCKING

TOP OF CONCRETE

UNDERWRITERS LABORATORY

UNLESS OTHERWISE NOTED

TOP OF STEEL

TOP OF WALL

UNDERCUT

UNIT VENTILATOR

VINYL CLAD

**VENTILATOR** 

VERTICAL

VESTIBULE

VENT PIPE

WITH

VINYL WALL COVERING

WIDE, WIDE FLANGE

WINDOW DIMENSION

WHITE BOARD (MAKER BOARD)

WATER CLOSET

WROUGHT IRON

WINDOW OPENING

WATERPROOFING

WELDED WIRE MESH

INDICATES TIMES OR BY

ZEE (STRUCTURAL SHAPE)

WINDOW

WEIGHT

YARD

TYPICAL

TOWER

UPPER

TELEPHONE

TERRAZZO

THICKNESS

THRESH. THRESHOLD

TOILET

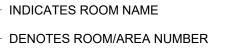
**TREADS** 

STEEL

STRUCT. STRUCTURAL

STRUCTURAL TUBE

STAINLESS STEEL



DENOTES SMALL ROOM WITHIN

DENOTES FLOOR NUMBER/LEVEL

DENOTES TYPE OF PARTITION

- DENOTES RATING OF PARTITION

CENTER LINE OF COLUMN GRIDS

COLUMN DESTINATION

CORRESPONDING TO ROOM

EXISTING DOOR TO REMAIN

EXISTING DOOR TO BE

EXISTING WINDOW TO

BORROWED LIGHT TYPE

BE DEMOLISHED

CASEWORK TYPE

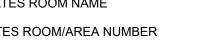
MAIN ROOM/AREA

PARTITION TYPE

DOOR NUMBER

NEW DOOR

DEMOLISHED

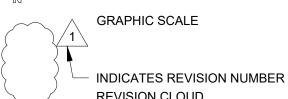


COMPRESSIBLE FILLER SEALANT AND BACKER ROD

EXIT SIGNS

MATCH LINE

NORTH ARROW



REVISION CLOUD

DIMENSIONING LINE

**DRAWING TITLE** 

# **GENERAL NOTES:**

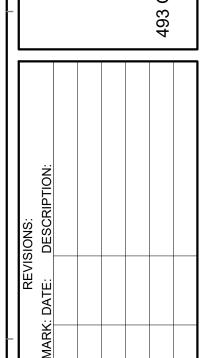
- 1. "N.I.C." IS NOTED ON ITEMS NOT IN THE CONTRACT. "BY OWNER" AND/OR "OTHERS" ARE NOTED ON ITEMS TO BE PROVIDED UNDER SEPARATE CONTRACT BY THE TENANT.
- 2. WHERE A TYPICAL CONDITION IS DETAILED AND/OR NOTED, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS SHALL BE THE SAME UNLESS SPECIFICALLY DETAILED OR NOTED OTHERWISE.
- 3. DO NOT SCALE DRAWINGS. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON DRAWINGS. THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT OF ANY DIMENSIONAL REQUIREMENT AS NECESSARY FOR THE PROPER EXECUTION OF ANY AFFECTED WORK PRIOR TO THE COMMENCEMENT OF SUCH
- 4. THE TERM "AFFECTED WORK" AS USED IN THESE GENERAL NOTES SHALL BE DEEMED TO BE ANY REQUIREMENT OF THE CONSTRUCTION DOCUMENTS AND SHALL BE FURTHER DEEMED TO INCLUDE THE PROCUREMENT OF ANY AND ALL MATERIALS, TOOLS, LABOR, ETC., AS FURTHER DESCRIBED IN THE SPECIFICATIONS, REQUIRED FOR THE EXECUTION OF SUCH
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY WITHIN THE CONTRACT DOCUMENTS TO THE ARCHITECT FOR CLARIFICATION AND/OR RESOLUTION PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. SUCH CLARIFICATION AND/OR RESOLUTION SHALL BE PROVIDED BY THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK.
- 6. THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE, BUILDING, AND UTILITY CONDITIONS, AND SHALL REPORT ANY DISCREPANCIES BETWEEN SUCH EXISTING CONDITIONS AND THE REQUIREMENTS OF THE CONTRACT DOCUMENTS TO THE ARCHITECT FOR CLARIFICATION AND/OR RESOLUTION, PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. THE ARCHITECT SHALL PROVIDE SUCH CLARIFICATION AND/OR RESOLUTION PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK.
- 7. THE CONTRACTOR SHALL MOVE ALL EXISTING FURNISHINGS IN WORK AREAS NOT OTHERWISE SPECIFIED TO REMAIN IN PLACE TO DESIGNATED SWING SPACE LOCATION ON SAME FLOOR AS DIRECTED BY OWNER. FURNISHINGS SHALL BE MOVED BACK TO ORIGINAL LOCATIONS AS WORK IS COMPLETED. REFER TO SPECIFICATIONS FOR INVENTORY OF EXISTING FURNISHINGS.

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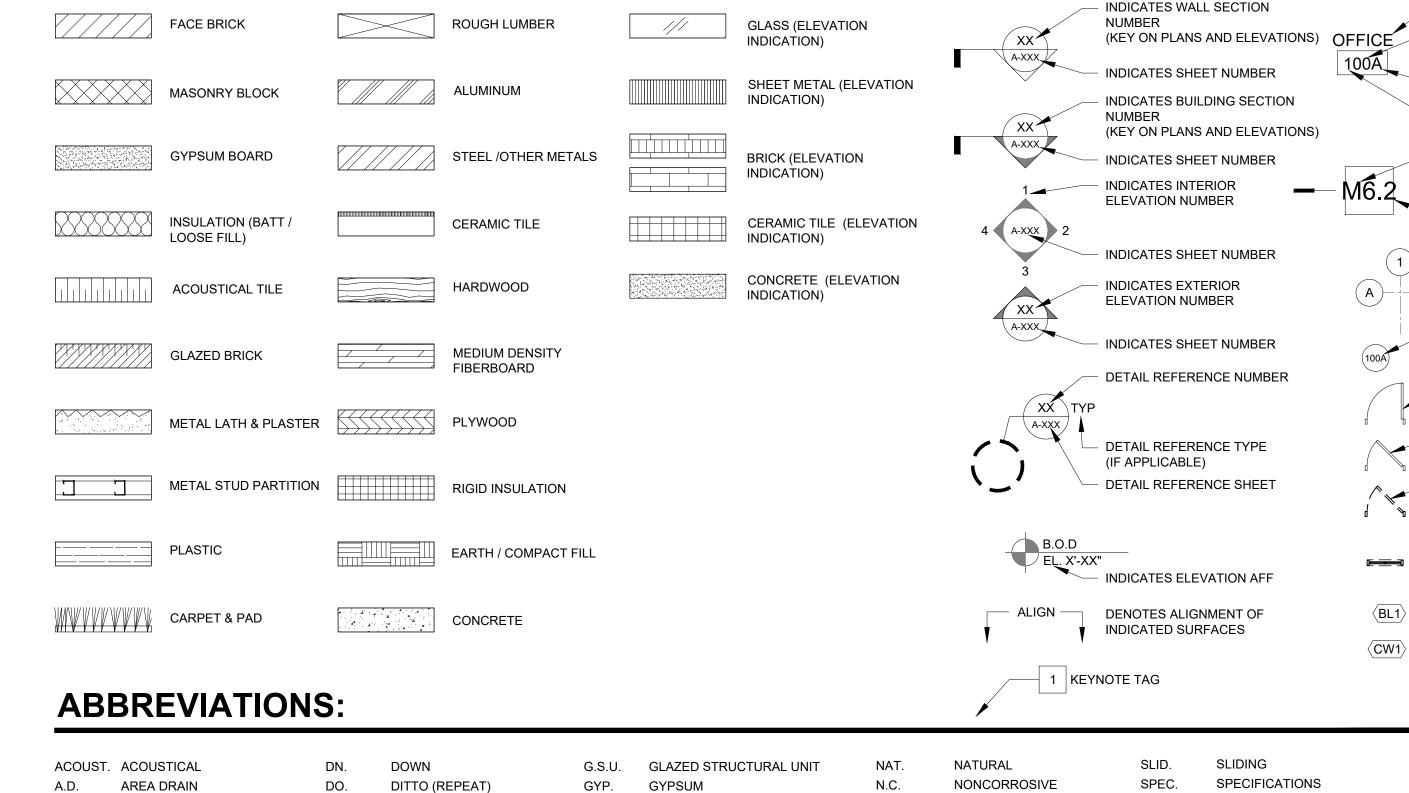


PROJECT NO: 2124.05 02/07/24 SCALE: AS NOTED DRAWN BY: HM

SYMBOLS, **ABBREVIATIONS GENERAL NOTES** 

CHECKED BY: MB

G-002



GYPSUM WALLBOARD

HANDICAP

HARDWARE

HORIZONTAL

HIGH POINT

HOUR

HEIGHT

HIGH DENSITY

HOLLOW METAL

HEATING, VENTILATING

& AIR CONDITIONING

INSIDE DIAMETER

SQUARE INCHES

INCH, INCHES

**CUBIC INCHES** 

INCANDESCENT

INFILTRATION

INSULATION

INTERIOR

INVERT

JOIST

JOINT

POUND

LENGTH

LIMIT OF WORK

LOW POINT

LOUVER

**MACHINE** 

MASONRY

MATERIAL

MAXIMUM

MARKER BOARD

MECHANICAL

METAL DOOR

MANUFACTURER

MISCELLANEOUS

MASONRY OPENING

METAL THRESHOLD

M.M.C. MISC. METAL CONTRACTOR

MEMBRANE

MINIMUM

MOLDING

MOUNTED

LIGHT WEIGHT

**LAMINATED** 

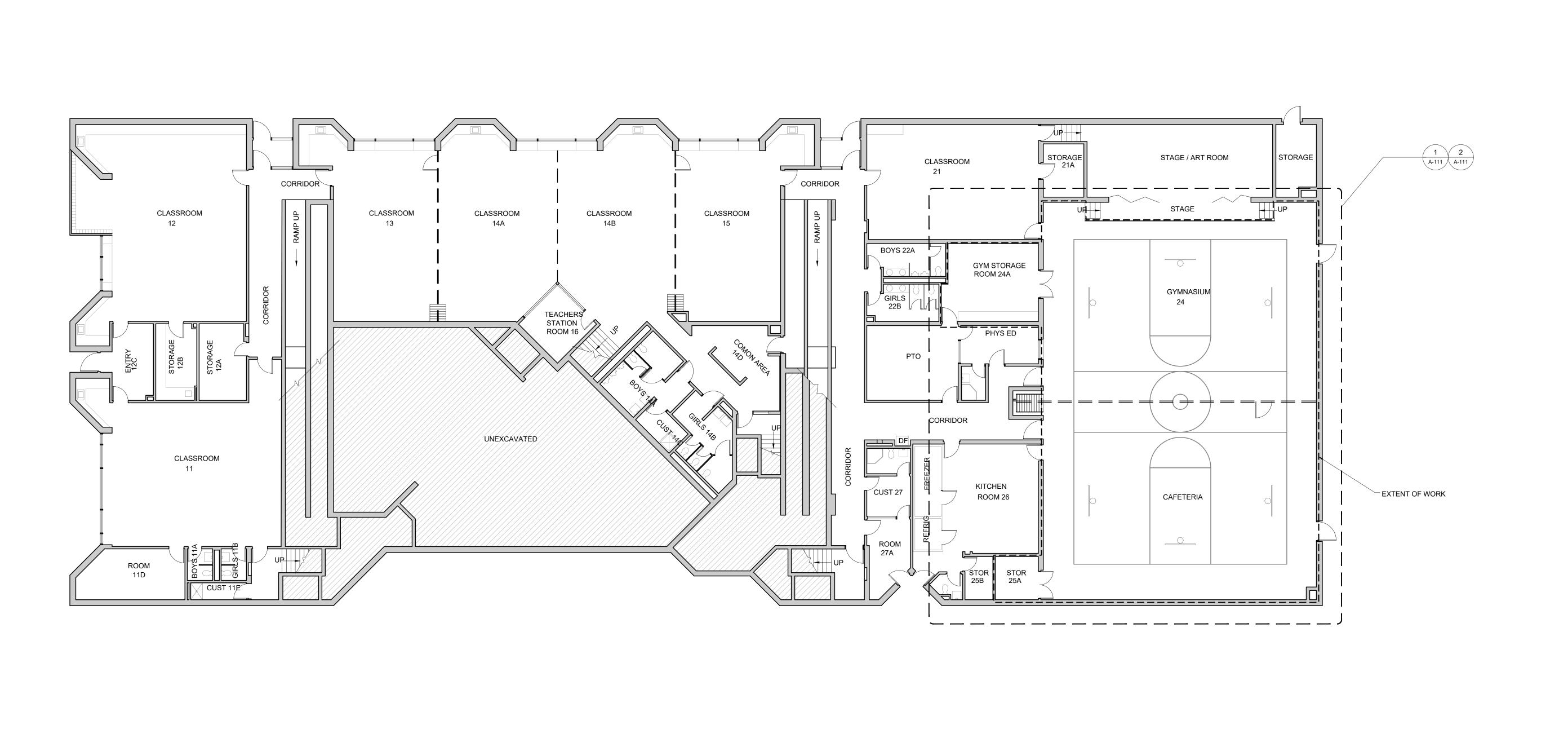
LEAD COATED COPPER

LAMINATED DRYWALL PART.

LIGHT GAGE METAL FRAMING



AERIAL SITE PLAN (Not to Scale)



FIRST FLOOR OVERALL PLAN

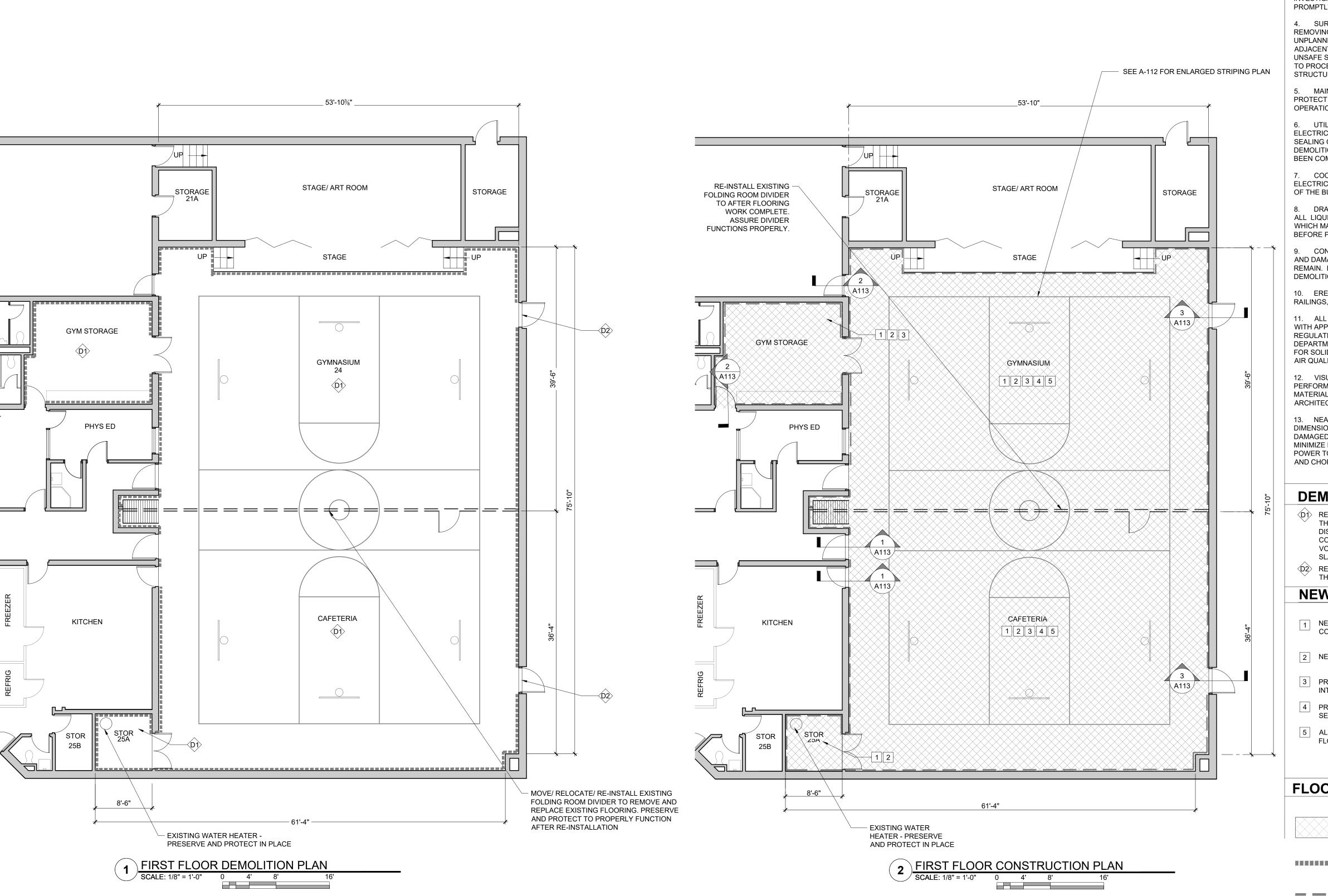
SCALE: 3/32" = 1'-0" 0 10" 21" 32"

CONSULTANT

MCGrath ELEMENTARYSCHOOL
WORCESTER PUBLIC
SCHOOL

PROJECT NO: 2124.05 AS NOTED SCALE: DRAWN BY: HM CHECKED BY: MB

FIRST FLOOR **OVERALL PLAN** 



# **SELECTIVE DEMOLITION NOTES**

- 1. EXISTING TO REMAIN: PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING SELECTIVE DEMOLITION.
- 2. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED. SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN THE OWNER'S PROPERTY, DEMOLISHED MATERIALS SHALL BECOME THE CONTRACTOR'S PROPERTY AND SHALL BE REMOVED LEGALLY FROM THE SITE WITH FURTHER DISPOSITION AT THE CONTRACTOR'S OPTION.
- 3. IF UNANTICIPATED EXISTING BUILDING ELEMENTS THAT CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE THE NATURE AND EXTENT OF THE CONFLICT. PROMPTLY SUBMIT A WRITTEN REPORT TO THE ARCHITECT.
- 4. SURVEY THE CONDITION OF THE BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THE STRUCTURE OR ADJACENT STRUCTURES DURING SELECTIVE DEMOLITION. REPORT ANY UNSAFE STRUCTURAL ISSUES TO THE ENGINEER FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK OR DURING THE WORK WHEN UNSAFE STRUCTURAL CONDITIONS BECOME APPARENT.
- 5. MAINTAIN EXISTING UTILITIES THAT ARE TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS.
- 6. UTILITY REQUIREMENTS: COORDINATE WITH MECHANICAL AND ELECTRICAL WORK FOR SHUTTING OFF, DISCONNECTING, REMOVING, AND SEALING OR CAPPING UTILITY SERVICES. DO NOT START SELECTIVE DEMOLITION WORK UNTIL UTILITY DISCONNECTING AND SEALING HAVE BEEN COMPLETED AND VERIFIED IN WRITING.
- 7. COORDINATE WITH ELECTRICAL SUBCONTRACTOR WITH RESPECT TO ELECTRICAL DEMOLITION AND DE-ENERGIZING OF PARTICULAR PORTIONS OF THE BUILDING.
- 8. DRAIN, PURGE, OR OTHERWISE REMOVE, COLLECT, AND DISPOSE OF ALL LIQUIDS (WITH THE EXCEPTION OF WASTE OIL AND RESIDUAL SLUDGES WHICH MAY BE PRESENT IN EXISTING MECHANICAL PIPING), AND REFUSE, BEFORE PROCEEDING WITH SELECTIVE DEMOLITION OPERATIONS.
- 9. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO EXISTING BUILDING COMPONENTS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND SELECTIVE DEMOLITION AREA.
- 10. ERECT TEMPORARY PROTECTION, SUCH AS WALKS, FENCES, RAILINGS, CANOPIES, AND COVERED PASSAGEWAYS, WHERE REQUIRED.
- 11. ALL DEMOLITION ACTIVITIES WILL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL ENVIRONMENTAL REGULATIONS, INCLUDING BUT NOT LIMITED TO MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION (MADEP) REGULATIONS FOR SOLID WASTE MANAGEMENT, HAZARDOUS WASTE MANAGEMENT, AND AIR QUALITY CONTROL, OSHA, MASS STATE BUILDING CODE.
- 12. VISUALLY INSPECT AREAS ABOVE CEILING WHERE WORK IS TO BE PERFORMED TO VERIFY IF ANY UNANTICIPATED POTENTIALLY HAZARDOUS MATERIALS EXIST COULD BE DISCOVERED, STOP WORK & NOTIFY
- 13. NEATLY SAW CUT OPENINGS AND HOLES PLUMB SQUARE, AND TRUE DIMENSIONS REQUIRED. USE CUTTING METHODS LEAST LIKELY TO DAMAGED CONSTRUCTION TO REMAIN OR ADJOINING CONSTRUCTION. TO MINIMIZE DISTURBANCE OF ADJACENT SURFACES, USE HAND OR SMALL POWER TOOLS DESIGNED FOR SAWING ORT GRINDING, NOT HAMMERING AND CHOPPING. TEMPORARILY COVER OPENING TO REMAIN.

# **DEMOLITION KEY NOTES**

- (D1) REMOVE RUBBER FLOORING, WALL BASE, TRANSITION STRIPS THROUGHOUT THE GYM, GYM STORAGE & STORAGE (25A) AND DISPOSE OF MERCURY HAZARDOUS WASTE. SCARIFY EXISTING CONRETE SLAB 1" IN DEPTH. REMOVE ALL EXISTING EMBEDDED VOLLEYBALL ANCHORS. LEVEL AND PATCH EXISTING CONCRETE SLAB AS REQUIRED FOR INSTALLATION OF NEW FLOORING.
- (D2) REMOVE EXISTING ALUMINUM THRESHOLDS AT EXTERIOR DOOR. THRESHOLD TO BE REPLACED.

# **NEW WORK KEY NOTES**

- 1 NEW SHEET RESILIENT ATHLETIC FLOORING AND 1" INFILL CONCRETE TOPPING ON EXISTING CONCRETE SLAB.
- 2 NEW RUBBER BASE TO REPLACE EXISTING IN ROOM INDICATED.
- 3 PROVIDE NEW TRANSITION STRIPS AS REQUIRED AT ALL INTERSECTIONS OF DISSIMILAR FLOORING MATERIALS
- 4 PROVIDE NEW ALUMINUM THRESHOLD TO MATCH EXISTING. SET THRESHOLD IN SEALANT
- 5 ALIGN TOP OF EXISTING HAND-HOLES WITH TOP OF NEW FINISH

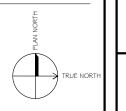
### **FLOOR LEGEND:**



**NEW RESILIENT ATHLETIC FLOORING** 

REMOVE EXISTING RUBBER BASE TO EXTENTS SHOWN ON PLAN. PROVIDE NEW RUBBER BASE.

NEW RUBBER BASE



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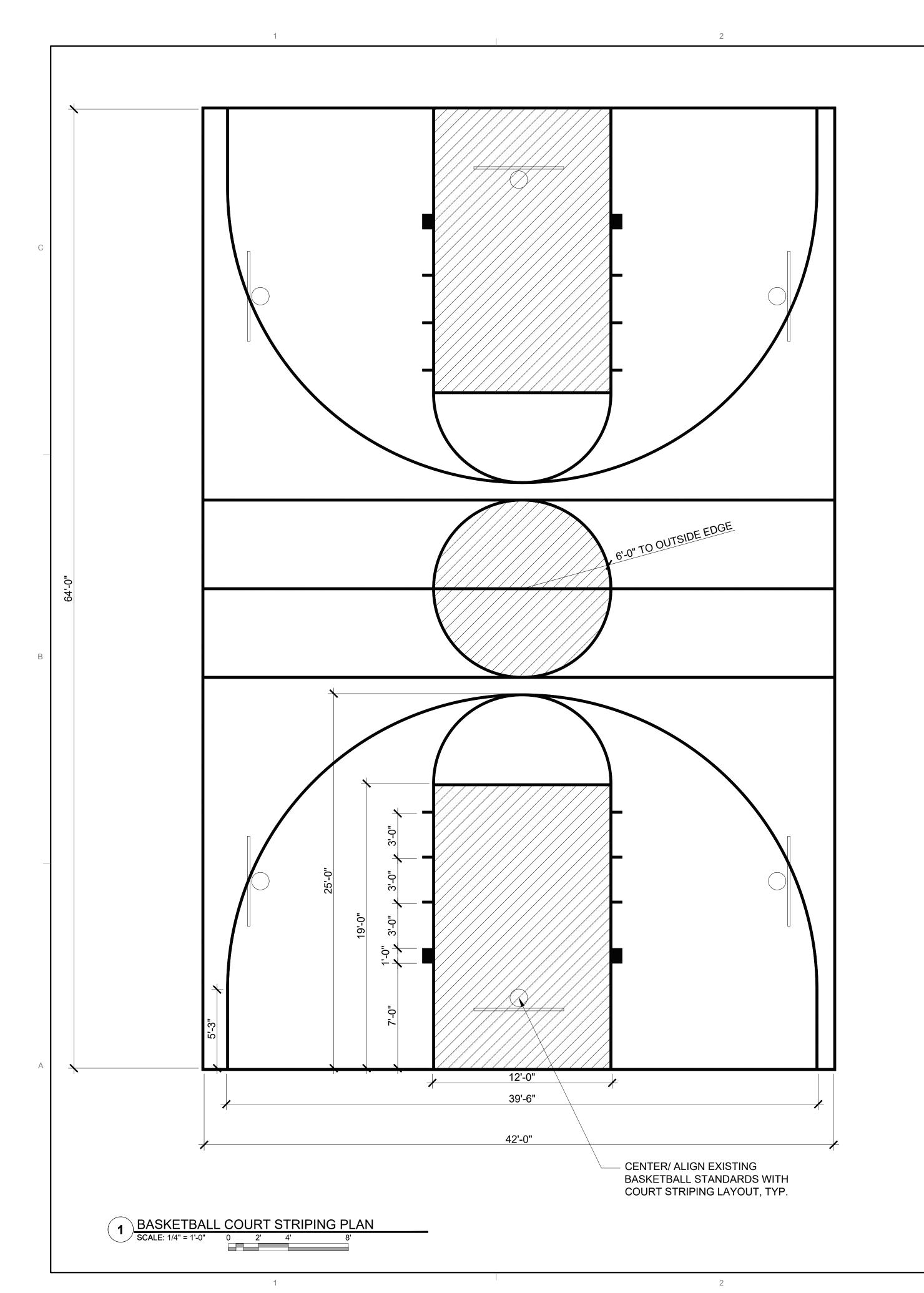
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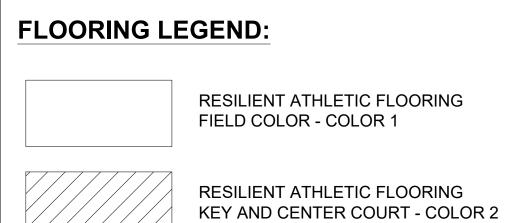
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PROJECT NO: 2124.05 02/07/24 SCALE: AS NOTED

DRAWN BY: HM CHECKED BY: MB

> **DEMOLITION &** CONSTRUCTION PLAN





RESILIENT ATHLETIC FLOORING

STRIPING - COLOR 3 2" WIDE LINES U.N.O HABEEB & ASSOCIATES

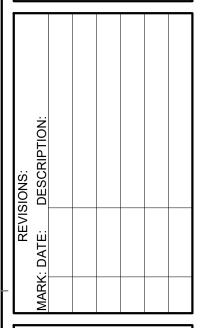
150 LONGWATER DR
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habeebarch.com

STAMP

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1605

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PROJECT NO: 2124.05

DATE: 02/07/24

SCALE: AS NOTED

DRAWN BY: HM

STRIPING

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