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A

WEST TATNUCK ELEMENTARY SCHOOL

CITY OF WORCESTER

CAFETORIUM FLOORING REPLACEMENT

300 MOWER STREET, WORCESTER, MA 01602

CONSTRUCTION DOCUMENTS

DECEMBER 23, 2022

ARCHITECT

HABEEB & ASSOCIATES

ARCHITECTS

150 LONGWATER DRIVE

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AWARDING AUTHORITY

CITY OF WORCESTER

PURCHASING DIVISION- ROOM 201

455 MAIN STREET WORCESTER, MA

DRAWING LIST

GENERAL

G-001COVER SHEET

G-002SYMBOLS, ABBREVIATIONS, GENERAL NOTES

G-003FIRST FLOOR OVERALL PLAN

ARCHITECTURAL

AS-100ARCHITECTURAL SITE PLAN

AD-110FIRST FLOOR DEMOLITION PLAN

A-111FIRST FLOOR PARTIAL PLAN

A-112DETAILS

CODE REVIEW

REFERENCE CODES

THE REFERENCE OF THE CAFETORIUM FLOOR SHALL COMPLY AND/OR CONFORM TO THE FOLLOWING CONSTRUCTION CODES, SUPPLEMENTS, STANDARDS GUIDELINES, AND ALL STANDARDS REFERENCED THEREIN.

- MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION (2015 INTERNATIONAL BUILDING CODE WITH MASSACHUSETTS AMENDMENTS)
- MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION, CHAPTER 34: EXISTING BUILDING CODE (2015 INTERNATIONAL EXISTING BUILDING CODE WITH MASSACHUSETTS AMENDMENTS).

PROJECT SUMMARY

THE PROJECT CONSISTS OF REMOVING THE EXISTING VAT/VCT FLOOR TILES FROM THE CAFETORIUM & STAGE PLATFORM AND REPLACING IT WITH A RESILIENT SHEET FLOOR. THE CONCRETE SLAB IS NOT CHANGED BY THIS WORK.

BUILDING USE OCCUPANCY (MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION AND 2015 IEBC)

301.1.2 WORK AREA COMPLIANCE METHOD

503 ALTERATION - LEVEL 1 CONSTRUCTION SHALL BE CLASSIFIED AS ALTERATION - LEVEL1

USE CLASSIFICATION:

E- EDUCATIONAL

CONUCTION TYPE:

TABLE 601 FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS:

CONSTRUCTION TYPE (IIB), UNPROTECTED, NON-COMBUSTIBLE (BASED ON FIELD OBSERVATIONS)

804 INTERIOR FLOOR FINISH

804.4.2 MINIMUM CRITICAL RADIANT FLUX - CLASS II

LOCUS PLAN (NOT TO SCALE)



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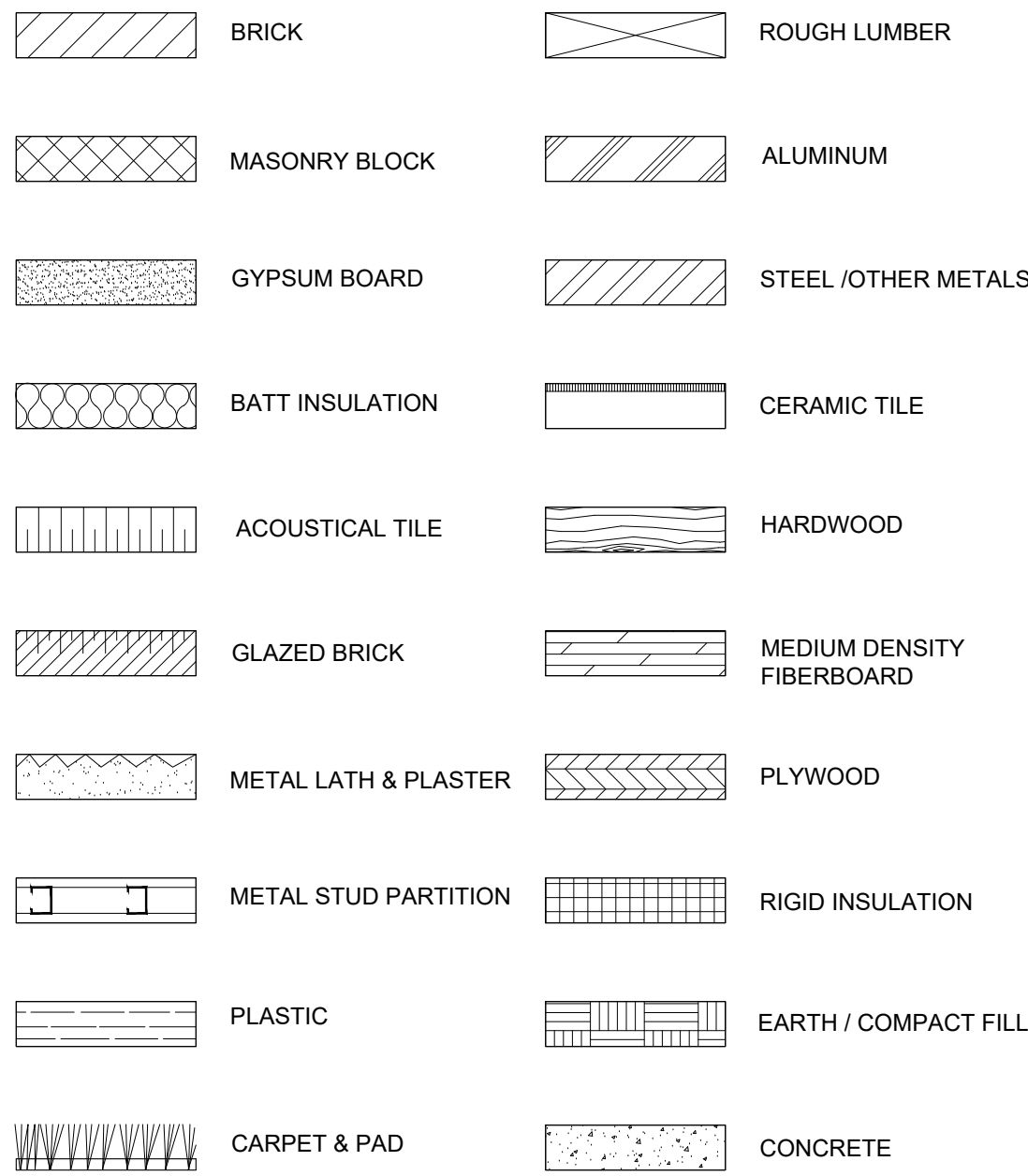
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COVER SHEET

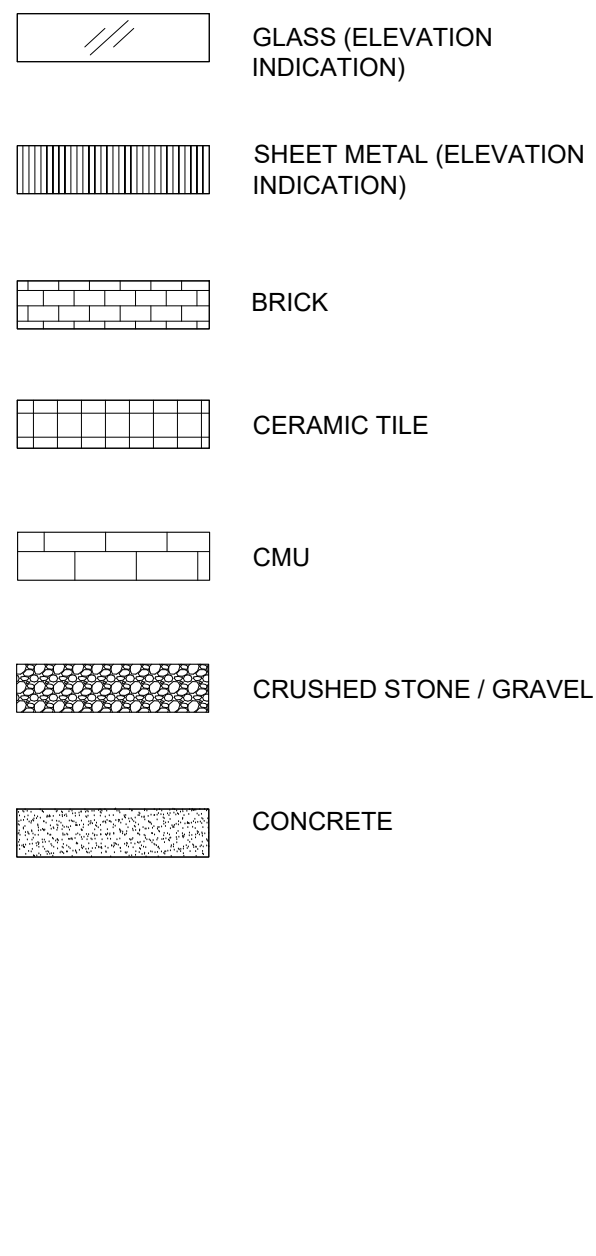
G-001

SYMBOLS

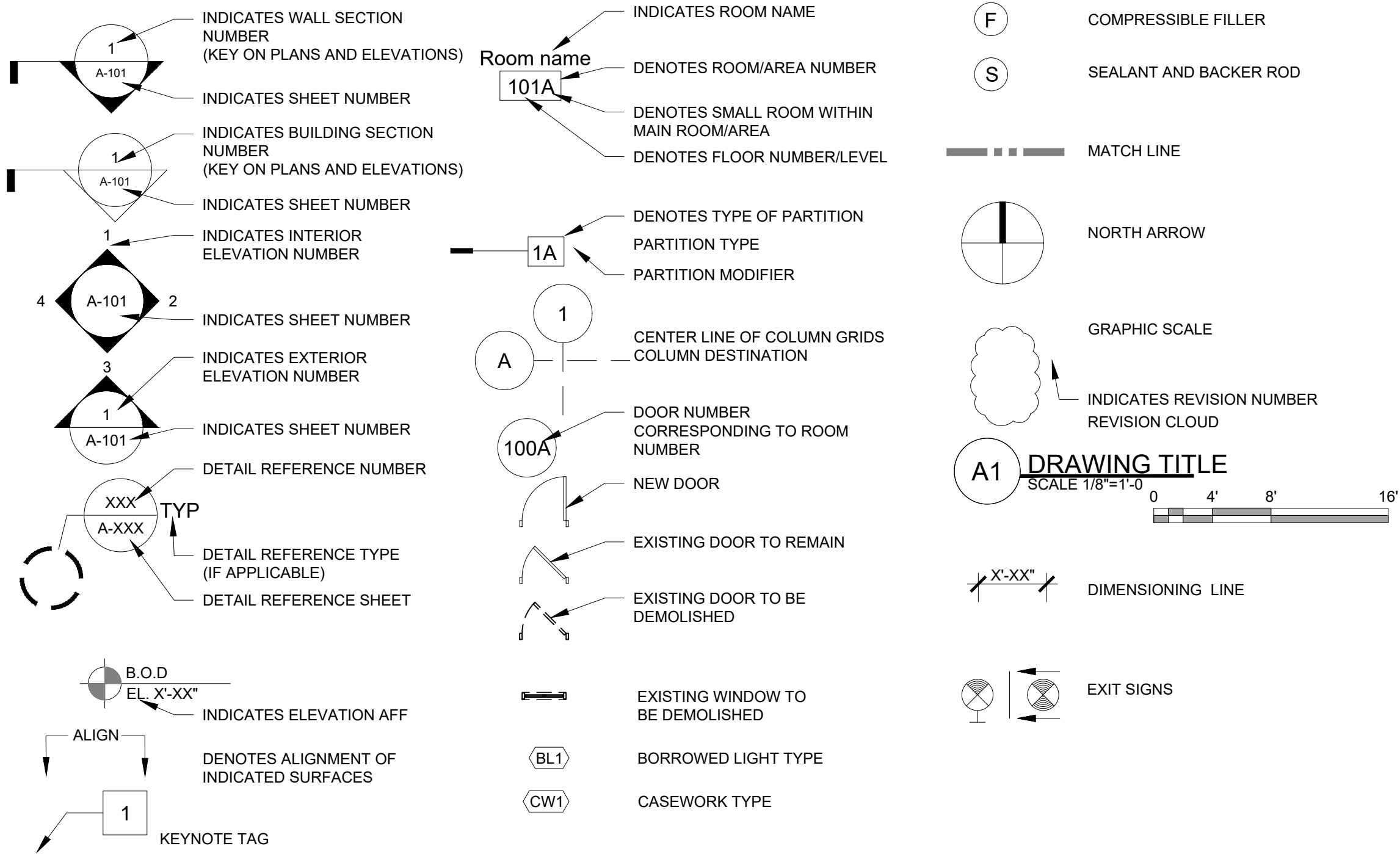
SECTION



ELEVATION



DRAWING SYMBOL



GENERAL NOTES

- "N.I.C." IS NOTED ON ITEMS NOT IN THE CONTRACT. "BY OWNER" AND/OR "OTHERS" ARE NOTED ON ITEMS TO BE PROVIDED UNDER SEPARATE CONTRACT BY THE TENANT.
 - WHERE A TYPICAL CONDITION IS DETAILED AND/OR NOTED, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS SHALL BE THE SAME UNLESS SPECIFICALLY DETAILED OR NOTED OTHERWISE.
 - DO NOT SCALE DRAWINGS. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON DRAWINGS. THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT OF ANY DIMENSIONAL REQUIREMENT AS NECESSARY FOR THE PROPER EXECUTION OF ANY AFFECTED WORK PRIOR TO THE COMMENCEMENT OF SUCH WORK.
 - THE TERM "AFFECTED WORK" AS USED IN THESE GENERAL NOTES SHALL BE DEEMED TO BE ANY REQUIREMENT OF THE CONSTRUCTION DOCUMENTS AND SHALL BE FURTHER DEEMED TO INCLUDE THE PROCUREMENT OF ANY AND ALL MATERIALS, TOOLS, LABOR, ETC., AS FURTHER DESCRIBED IN THE SPECIFICATIONS, REQUIRED FOR THE EXECUTION OF SUCH WORK.
 - THE CONTRACTOR SHALL REPORT ANY DISCREPANCY WITHIN THE CONTRACT DOCUMENTS TO THE ARCHITECT FOR CLARIFICATION AND/OR RESOLUTION PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. SUCH CLARIFICATION AND/OR RESOLUTION SHALL BE PROVIDED BY THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK.
 - THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE, BUILDING, AND UTILITY CONDITIONS, AND SHALL REPORT ANY DISCREPANCIES BETWEEN SUCH EXISTING CONDITIONS AND THE REQUIREMENTS OF THE CONTRACT DOCUMENTS TO THE ARCHITECT FOR CLARIFICATION AND/OR RESOLUTION, PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. THE ARCHITECT SHALL PROVIDE SUCH CLARIFICATION AND/OR RESOLUTION PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK.
 - THE OWNER SHALL RELOCATE THE WALK-IN COOLER, ALL FURNISHINGS, CABINETRY & EQUIPMENT FROM WORK AREAS AND MOVE BACK TO ORIGINAL LOCATIONS AS WORK IS COMPLETED.
 - NOMINAL DIMENSIONS FOR LUMBER AND WOOD TRIM ARE NOTED IN THE FOLLOWING FORMAT 1 x 4, 5/8 x 4, 2 x 4, ETC. ACTUAL DIMENSIONS, WHERE REQUIRED ARE NOTED AS 1" X 2" ETC.
 - ALL ELEVATIONS REFERENCE BY:
T.O. SLAB
Ref. Elev. 100'-0"
- ON ARCHITECTURAL DRAWINGS ARE RELATIVE TO GROUND FLOOR ELEVATION 100'-0" REFER TO CIVIL DRAWINGS FOR ACTUAL GRADE ELEVATIONS.

ABBREVIATIONS

ACOUST.	ACOUSTICAL	DN.	DOWN	G.S.U.	GLAZED STRUCTURAL UNIT	NAT.	NATURAL	SLID.	SLIDING
A.D.	AREA DRAIN	DO.	DITTO (REPEAT)	GYP.	GYPSUM	N.C.	NONCORROSIVE	SPEC.	SPECIFICATIONS
ADJ.	ADJUSTABLE	D.O.	DOOR OPENING	G.W.B.	GYPSUM WALLBOARD	N.I.C.	NOT IN CONTRACT	SQ.	SQUARE
AFF	ABOVE FINISHED FLOOR	DSP.	DISPENSER			NO./#	NUMBER	STOR.	STORAGE
ALU.	ALUMINUM	DWG.	DRAWING	H.C.	HANDICAP	NOM.	NOMINAL	S.T.	STRUCTURAL TUBE
ALUM.	ALUMINUM			HD	HIGH DENSITY	O.A.	OVERALL	S.S.	STAINLESS STEEL
ANCH.	ANCHOR	EA.	EACH	HDWR.	HARDWARE	O.C.	ON CENTER	STD.	STANDARD
APPROX.	APPROXIMATELY	ED.	EDUCATION	H.M.	HOLLOW METAL	O.D.	OUTSIDE DIAMETER	STL.	STEEL
@	AT	EDSP.	ENDSPASH	HORIZ.	HORIZONTAL	O.H.	OPPOSITE HAND	STRUCT.	STRUCTURAL
		E.F.	EXHAUST FAN	H.P.	HIGH POINT	OPER.	OPERATE	SUSP.	SUSPENDED
		E.J.	EXPANSION JOINT	HR.	HOUR	OPNG.	OPENING	T.	TREADS
BD.	BOARD	EL.	ELEVATION (GRADE)	HT.	HEIGHT	OVHD.	OVERHEAD	TBLE.	TABLE
BKSP.	BACKSPALSH	ELEC.	ELECTRICAL	HVAC	HEATING, VENTILATING & AIR CONDITIONING	OZ.	OUNCE(S)	T.B.	TACK BOARD
BKT.	BACKET	ELEV.	ELEVATION (FACADE)					T.C.	TERRA COTTA
BLDG.	BUILDING	E.O.D.	EDGE OF DECK					TEL.	TELEPHONE
BLK.	BLOCK	E.Q.	EQUAL	I.D.	INSIDE DIAMETER	PARTN.	PARTITION	TERR.	TERRAZZO
BLKG.	BLOCKING	E.S.	EACH SIDE	IN.	INCH, INCHES	P.C.	PRECAST CONCRETE	T&G	TONGUE & GROOVE
BM.	BEAM	E.T.R.	EXISTING TO REMAIN	IN.2	SQUARE INCHES	PERIM.	PERIMETER	THK.	THICKNESS
B.O.D.	BOTTOM OF DECK	EXH.	EXHAUST	IN.3	CUBIC INCHES	PERP.	PERPENDICULAR (TO)	THRESH.	THRESHOLD
BSMT.	BASEMENT	EXIST.	EXISTING	INCAN.	INCANDESCENT	P.L.	PLASTIC LAMINATE	TLT.	TOILET
		EXP. JT.	EXPANSION JOINT	INFIL.	INFILTRATION	PLAS.	PLASTER	T.O.B.	TOP OF BLOCKING
		EXP.	EXPOSED	INSUL.	INSULATION	PLUMB.	PLUMBING	T.O.C.	TOP OF CONCRETE
		EXT.	EXTERIOR	INT.	INTERIOR	PLYWD.	PLYWOOD	T.O.S.	TOP OF STEEL
		EXTIN.	EXTINGUISHER	INV.	INVERT	POL.	POLISHED	T.O.W.	TOP OF WALL
		F.C.P.	FIBER CEMENT PANEL	JST.	JOIST	PR.	PAIR	TYP.	TYPICAL
		F.D.C.	FIRE DEPT. CONNECTION	JT.	JOINT	PTD.	PAINTED	TWR.	TOWER
		F.D.V.	FIRE DEPT. VALVE			P.T.	PRESERVATIVE TREATED	U.C.	UNDERCUT
		F.D.V.C.	FIRE DEPT. VALVE CABINET	LAM.	LAMINATED	Q.T.	QUARRY TILE	U.L.	UNDERWRITERS LABORATORY
		FB.	FLAT BAR	LB./#	POUND	QTY.	QUANTITY	U.O.N.	UNLESS OTHERWISE NOTED
		F.C.	FIRE CODE	L.C.C.	LEAD COATED COPPER	r.	RADIUS	U.P.R.	UPPER
		F.D.	FLOOR DRAIN	L.D.P.	LAMINATED DRYWALL PART.	R.	RISER	U.V.	UNIT VENTILATOR
		F.E.	FIRE EXTINGUISHER	LGTH.	LENGTH	RAD. ENCL.	RADIATOR ENCLOSURE	V.C.	VINYL CLAD
		F.E.C.	FIRE EXTINGUISHER CABINET	L.G.M.F.	LIGHT GAGE METAL FRAMING	R.D.	ROOF DRAIN	VENT.	VENTILATOR
				L.O.W.	LIMIT OF WORK	REINF.	REINFORCING	VERT.	VERTICAL
		F.F.	FACTORY FINISH	L.P.	LOW POINT	REQD.	REQUIRED	VEST.	VESTIBULE
		F.H.	FLAT HEAD	LI.WT.	LIGHT WEIGHT	RESIL.	RESILIENT	V.P.	VENT PIPE
		F.H.C.	FIRE HOSE CABINET	LVR.	LOUVER	RET.	RETAINING	V.W.C.	VINYL WALL COVERING
		FIN.	FINISH	MACH.	MACHINE	R.J.	RELIEVING JOINT	W.	WIDE, WIDE FLANGE
		FL.	FLOOR	MAS.	MASONRY	RM.	ROOM	W/	WITH
		FLASH.	FLASHING	MAT.	MATERIAL	R.O.	ROUGH OPENING	W.C.	WATER CLOSET
		FLUOR.	FLUORESCENT	MAX.	MAXIMUM	R.W.L.	RAIN WATER LEADER	WD.	WOOD
		F.O.	FRAMED OPENING	M.B.	MARKER BOARD	RB.	RESILIENT BASE	W.D.	WINDOW DIMENSION
		F.O.S.	FACE OF STEEL/STUD	MECH.	MECHANICAL	SC.	SCUPPER	W.I.	WROUGHT IRON
		F.P.	FIRE PROOFING	MEMBR.	MEMBRANE	SAM	SELF ADHERED MEMBRANE	WIND.	WINDOW
		F.S.	FIRE SHIELD	M.D.	METAL DOOR	SCHED.	SCHEDULE	W.B.	WHITE BOARD (MAKER BOARD)
		F.SZ.	FULL SIZE	MFGR.	MANUFACTURER	S.F.	SMOKE FAN	W.O.	WINDOW OPENING
		FT.	FEET/FOOT	MIN.	MINIMUM	SH.	SHELVES	W.P.	WATERPROOFING
		FTR	FIN-TUBED RADIATOR	MISC.	MISCELLANEOUS	SHT.	SHEET	WT.	WEIGHT
		FUR.	FURRING	MLDG.	MOLDING	S.I.G.S.	SILICON IMPREGNATED GYPSUM SHEATHING	W.W.M.	WELDED WIRE MESH
		GA.	GAUGE	M.O.	MASONRY OPENING	SIM.	SIMILAR	X	INDICATES TIMES OR BY
		GALV.	GALVANIZED	M.T.	METAL THRESHOLD			YD.	YARD
		G.C.	GENERAL CONTRACTOR	MTD.	MOUNTED			Z	ZEE (STRUCTURAL SHAPE)
		GL.	GLASS	MTL.	METAL				
		GR.	GRADE	M.M.C.	MISC. METAL CONTRACTOR				

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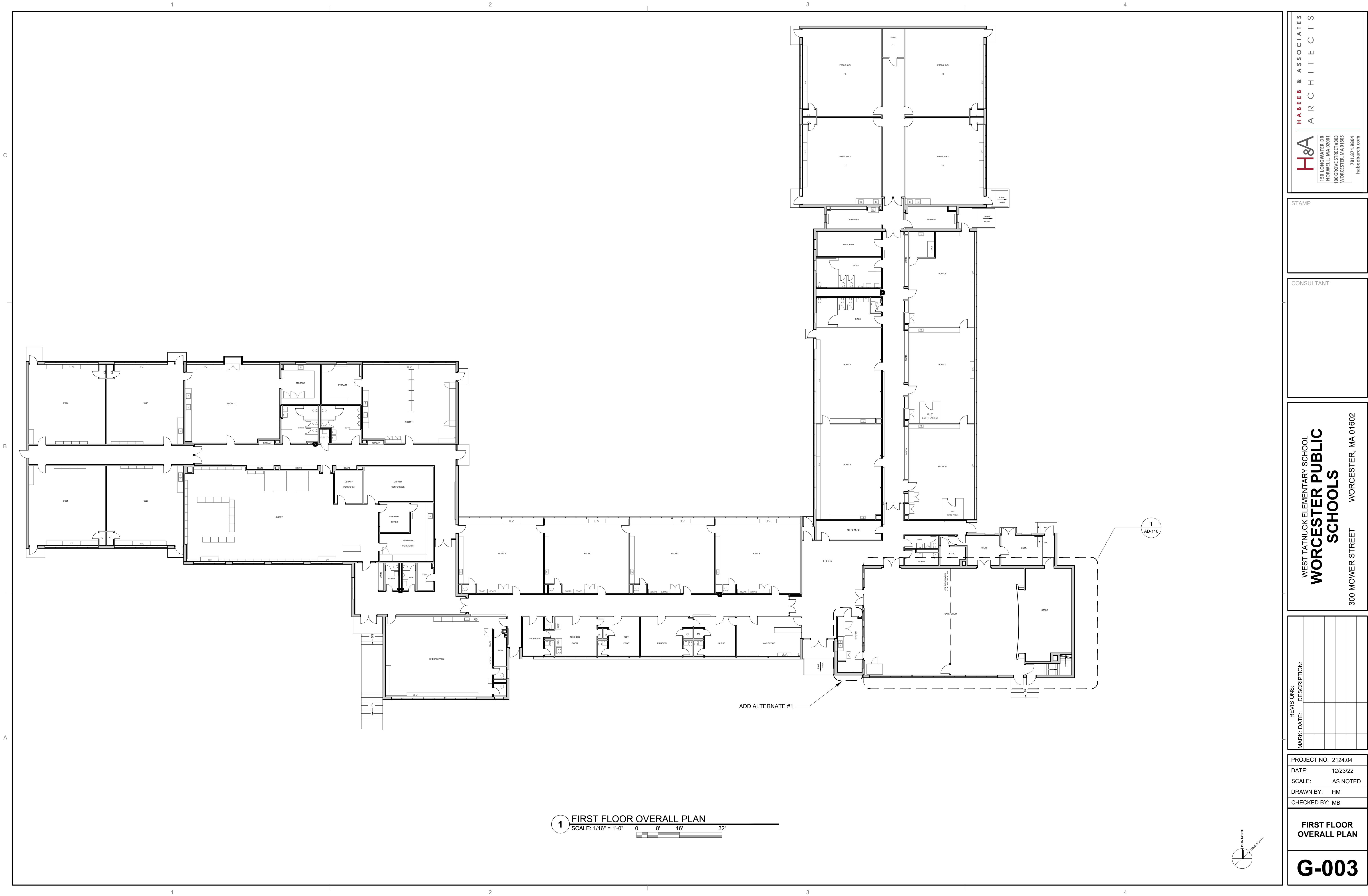
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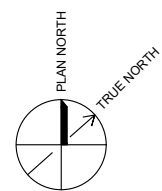
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SYMBOLS,
ABBREVIATIONS,
GENERAL NOTES

G-002



1 FIRST FLOOR OVERALL PLAN
SCALE: 1/16" = 1'-0"
0 8' 16' 32'



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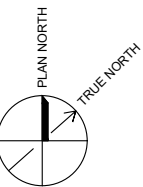
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FIRST FLOOR OVERALL PLAN
G-003



1 AERIAL SITE PLAN
SCALE: NOT TO SCALE



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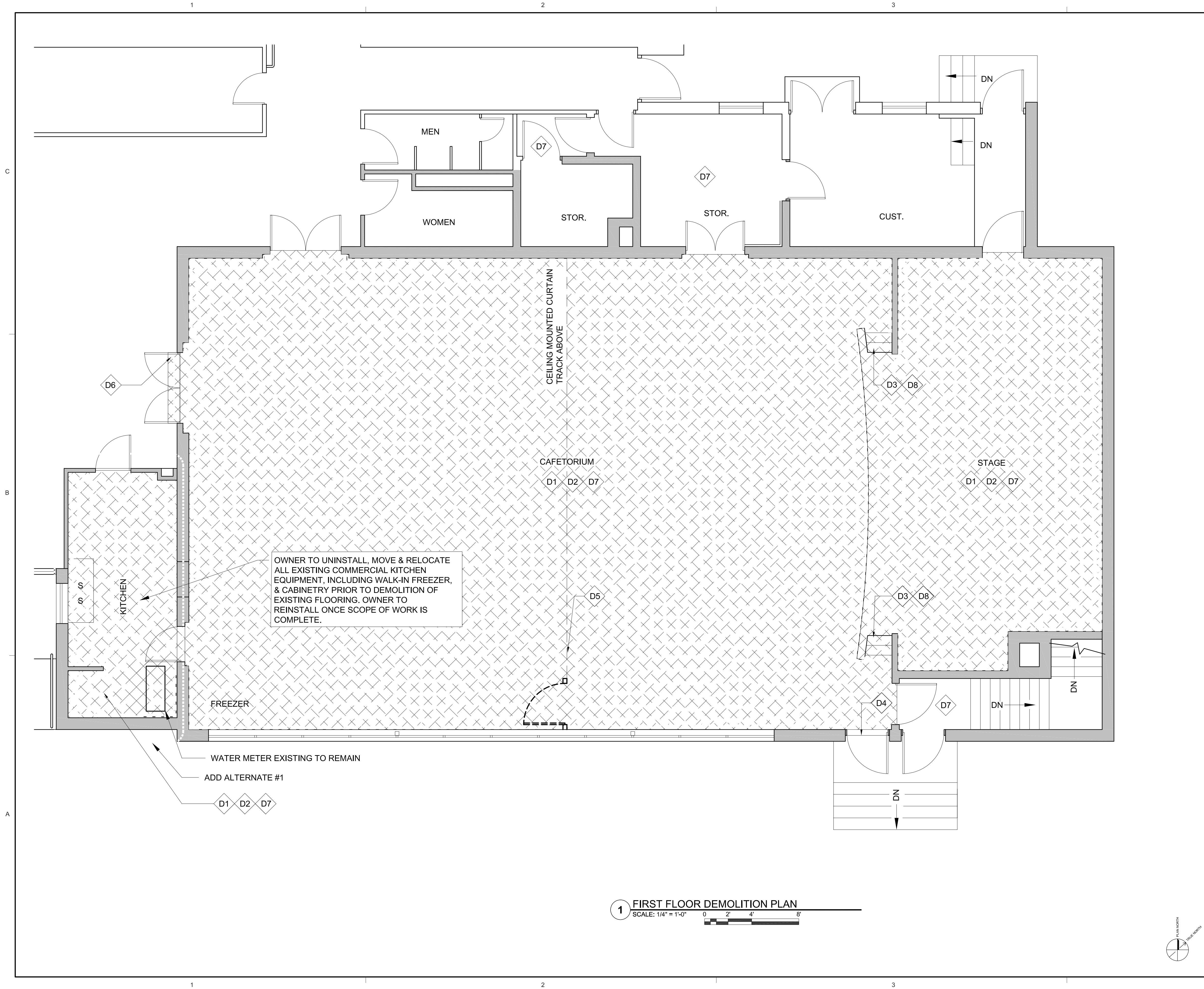
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ARCHITECTURAL
SITE PLAN

AS-100



FLOOR LEGEND:

REMOVE EXISTING VINYL WALL
BASE TO EXTENTS SHOWN ON PLAN.

REMOVE EXISTING VINYL FLOOR TILE

DEMOLITION KEY NOTES

D1

REMOVE ALL EXISTING VINYL WALL BASE IN ROOM INDICATED.

D2

REMOVE EXISTING VCT & VAT FLOORING, TO EXISTING SLAB BELOW.

D3

REMOVE EXISTING RUBBER STAIR TREADS, RISERS, SKIRTBOARD, AND LANDINGS.

D4

REMOVE EXISTING ALUMINUM THRESHOLDS AT EXTERIOR DOOR. THRESHOLD TO BE REPLACED.

D5

REMOVE EXISTING DOOR, WING-WALL, AND MOVEABLE PARTITION ASSEMBLY. PATCH AND PAINT TO MATCH AND PROVIDE SMOOTH TRANSITION TO ADJACENT FINISHES. OVERHEAD CEILING TRACK TO REMAIN.

D6

REMOVE DAMAGED LOBBY TILE AT EXISTING DOOR UP TO FIRST FULL COURSE.

D7

LEVEL AND PATCH EXISTING CONCRETE SLAB AS REQUIRED FOR INSTALLATION OF NEW RESILIENT SHEET FLOORING.

D8

LEVEL AND PATCH EXISTING CONCRETE STAIRS AS REQUIRED FOR INSTALLATION OF NEW RUBBER STAIR TREADS AND RISERS.

SELECTIVE DEMOLITION NOTES

1. EXISTING TO REMAIN: PROTECT CONSTRUCTION INDICATED AGAINST DAMAGE AND SOILING DURING SELECTIVE DEMOLITION.

2. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSE REINSTALLED, OR OTHERWISE INDICATED TO REMAIN THE OWNERS PROPERTY, DEMOLISHED MATERIALS SHALL BECOME THE CONTRACTORS PROPERTY AND SHALL BE REMOVED LEGALLY FROM THE SITE AT THE CONTRACTORS OPTION.

3. IF UNANTICIPATED EXISTING BUILDING ELEMENTS THAT CONTRADICT THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, THE CONTRACTOR SHALL MEASURE THE NATURE AND EXTENT OF THE CONFLICT. THE CONTRACTOR SHALL PROVIDE A WRITTEN REPORT TO THE ARCHITECT.

4. SURVEY THE CONDITION OF THE BUILDING TO DETERMINE IF ANY UNPLANNED COLLAPSE OF ANY PORTION OF THE STRUCTURE DURING SELECTIVE DEMOLITION. REPORT ANY STRUCTURAL ISSUES TO THE ENGINEER FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK OR DURING THE WORK WHEN UNANTICIPATED STRUCTURAL CONDITIONS BECOME APPARENT.

5. MAINTAIN EXISTING UTILITIES THAT ARE TO REMAIN IN SERVICE. PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS.

6. UTILITY REQUIREMENTS: COORDINATE WITH MECHANICAL AND ELECTRICAL FOR SHUTTING OFF, DISCONNECTING, REMOVING, AND CAPPING UTILITY SERVICES. DO NOT START SELECTIVE DEMOLITION UNTIL UTILITY DISCONNECTING AND SEALING HAVE BEEN COMPLETED AND VERIFIED IN WRITING.

7. COORDINATE WITH ELECTRICAL SUBCONTRACTOR WITH RE-ENERGIZING OF ELECTRICAL DEMOLITION AND DE-ENERGIZING OF PARTICULAR PORTIONS OF THE BUILDING.

8. DRAIN, PURGE, OR OTHERWISE REMOVE, COLLECT, AND DISPOSE OF LIQUIDS (WITH THE EXCEPTION OF WASTE OIL AND RESIDUAL LIQUIDS THAT MAY BE PRESENT IN EXISTING MECHANICAL PIPING), AND REPAIR DAMAGE TO EXISTING MECHANICAL PIPING, AND REPAIR DAMAGE TO EXISTING BUILDING COMPONENTS AND FACILITIES. ENSURE SAFE PASSAGE OF PEOPLE AROUND SELECTIVE DEMOLITION OPERATIONS.

9. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PERSONNEL AND DAMAGE TO EXISTING BUILDING COMPONENTS AND FACILITIES. ENSURE SAFE PASSAGE OF PEOPLE AROUND SELECTIVE DEMOLITION OPERATIONS.

10. ERECT TEMPORARY PROTECTION, SUCH AS WALKS, FENCE CANOPIES, AND COVERED PASSAGEWAYS, WHERE REQUIRED.

11. ALL DEMOLITION ACTIVITIES WILL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL ENVIRONMENTAL REGULATIONS, INCLUDING BUT NOT LIMITED TO MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION (MADEP) REGULATIONS FOR SOLID WASTE MANAGEMENT, HAZARDOUS WASTE MANAGEMENT, AND AIR QUALITY CONTROL, OSHA, MASS STATE BUILDING CODE.

12. VISUALLY INSPECT AREAS ABOVE CEILING WHERE WORK IS PERFORMED TO VERIFY IF ANY UNANTICIPATED POTENTIALLY HAZARDOUS MATERIALS EXIST COULD BE DISCOVERED, STOP WORK & NOTIFY THE ARCHITECT IMMEDIATELY.

13. NEATLY SAW CUT OPENINGS AND HOLES PLUMB SQUARE, TO THE REQUIRED DIMENSIONS REQUIRED. USE CUTTING METHODS LEAST LIKELY TO CAUSE DAMAGE TO ADJACENT CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTURBANCE OF ADJACENT SURFACES. USE HAND OR SMALL TOOLS FOR SAWING OR GRINDING, NOT HAMMERING AND TEMPORARILY COVER OPENING TO REMAIN.

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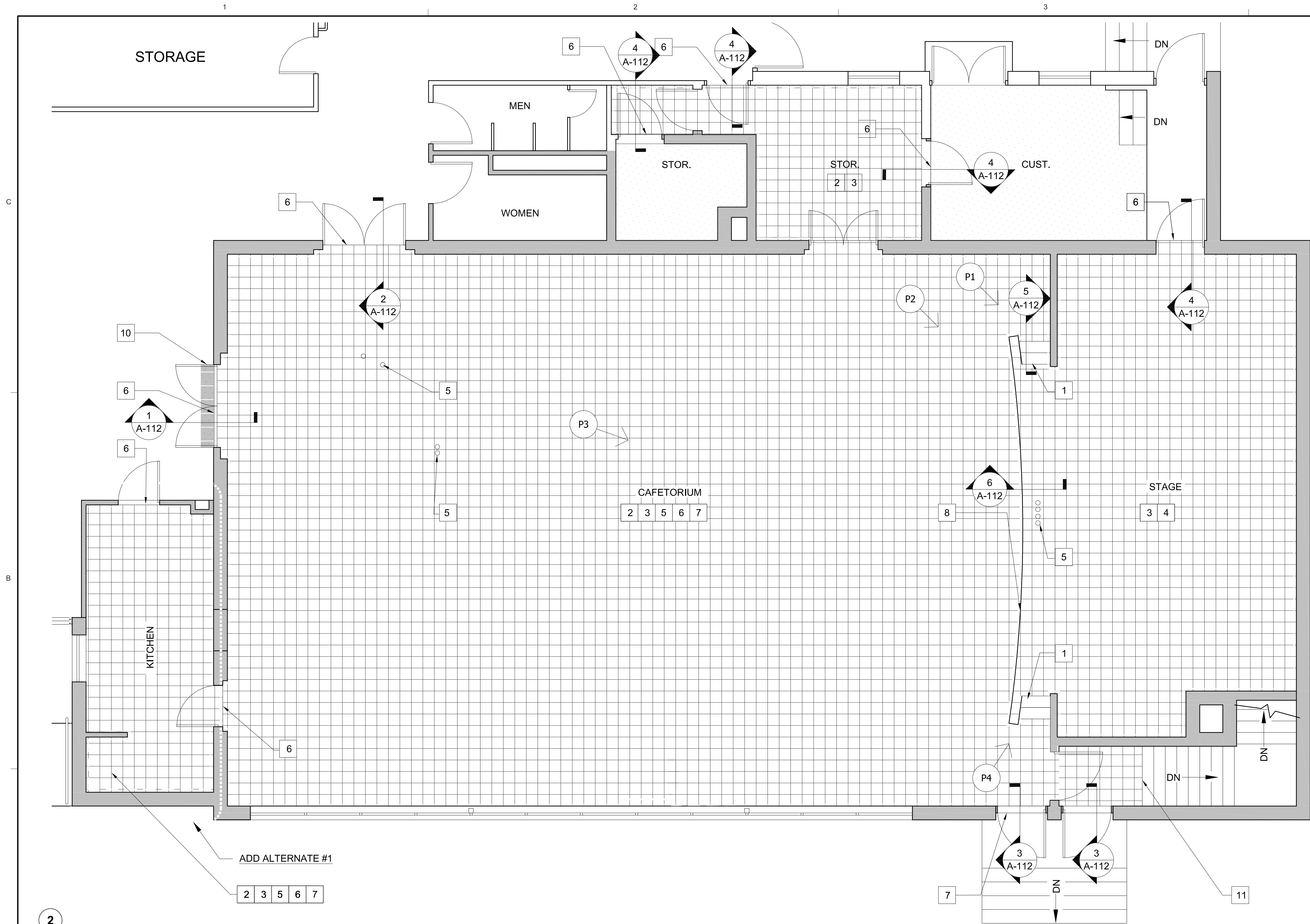
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FIRST FLOOR
DEMOLITION PLAN

AD-110



FLOOR LEGEND:

- NEW VINYL WALL BASE
- NEW SHEET VINYL FLOORING
- PAINTED CONCRETE FLOORING - PT-4

NEW WORK KEY NOTES:

- NEW RUBBER STAIR SKIRTBOARD, TREADS AND RISERS ON EXISTING PREPARED CONCRETE STAIRS AS RECOMMENDED BY THE MANUFACTURER.
- NEW SHEET VINYL FLOORING ON EXISTING PREPARED CONCRETE SLAB.
- NEW RUBBER WALL BASE TO REPLACE EXISTING IN ROOM AS INDICATED.
- NEW SHEET VINYL FLOORING ON EXISTING PREPARED STAGE PLATFORM
- ALIGN TOP OF EXISTING FLOOR CLEANOUTS (2) AND FLOOR OUTLETS (6) WITH TOP OF NEW FINISH FLOOR.
- PROVIDE NEW TRANSITION STRIPS AS REQUIRED AT ALL INTERSECTIONS OF DISSIMILAR FLOORING MATERIALS.
- PROVIDE NEW ALUMINUM THRESHOLD TO MATCH EXISTING. SET THRESHOLD IN SEALANT. ACCEPTABLE MANUFACTURERS: NATIONAL GUARD (NGP), PEMKO, REESE, OR APPROVED EQUAL.
- 1x8 CELLULAR PVC TRIM PAINTED AT EDGE OF STAGE. COLOR TO BE SELECTED BY OWNER
- PAINT EXISTING STAGE WALL-COLOR TO BE SELECTED BY OWNER. CLEAN, PATCH, AND REPAIR EXISTING WALL TO ACCEPT NEW PAINTED FINISH.
- REPLACE AREA OF DAMAGED ENTRY LOBBY FLOOR TILE PROVIDED BY OWNER FROM ATTIC STOCK APPROXIMATELY 7 SF. GC SHALL PROVIDE ADHESIVE & ASSOCIATED ACCESSORIES.
- PROVIDE RUBBER STAIR NOSING AT EDGE OF LANDING.

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FIRST FLOOR
PARTIAL PLAN

A-111

FIRST FLOOR
SCALE: 1/4" = 1'-0"



P1 VIEW OF LEFT STAIRS @ STAGE



P2 VIEW OF STAGE WALL



P3 VIEW OF RIGHT STAIRS @STAGE



P4 VIEW OF STAGE

