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WORCESTER CITY CLERK

SPECIAL PERMIT APPLICATION

2025 MAR 24 PM 2:55

CITY OF WORCESTER ZONING BOARD OF APPEALS
455 Main Street, Room 404, Worcester, MA 01608
Phone 508-799-1400 ext. 31440 - Fax 508-799-1406

TYPE OF SPECIAL PERMIT (check the Special Permit you are requesting and answer only the associated supplementary questions on page 8-12)

- 1. Extension, Alteration or Change of a Privileged Pre-existing, Nonconforming Structure and/ or Use (Article XVI, Section 4)
- 2. Residential Use allowed only by Special Permit (Article IV, Section 2, Table 4.1)
- 3. Non-Residential Use allowed only by Special Permit (Article IV, Section 2, Table 4.1)
- 4. Non-Residential Use allowed only by Special Permit – Self Storage Facility (Article IV, Section 2, Table 4.1)
- 5. Residential Conversion (Article IV, Section 9)
- 6. Placement of Fill/Earth Excavation (Article IV, Section 5)
- 7. Modification of Parking/Loading Requirements and/or Landscaping and Layout Requirements for Parking/Loading (Article IV, Section 7)
- 8. Other Special Permit (Describe Special Permit sought):

1. Property Information

- a. **51 Illinois**
Address(es) – please list all addresses the subject property is known by
- b. **07-008-05 + 06**
Parcel ID or Map-Block-Lot (MBL) Number
- c. **Worcester District Registry of Deeds, Book 3271 Page 143**
Current Owner(s) Recorded Deed/Title Reference(s)
- d. **RG-5**
Zoning District and all Zoning Overlay Districts (if any)

Former rectory building previously attached to church located at 55 Illinois Street prior to the transfer of same by The Roman Catholic Bishop of Worcester to the A.M.E. Zion Church. Total living area being 8,865 square feet. Lot area 16,758 square feet.
- e. Describe what is presently located on the property (Use as much detail as possible including all uses and square footage of each use; attached separate narrative if necessary):

f. Nineteen (19) lodging house beds proposed.

If residential, describe how many bedrooms are pre-existing and proposed

2. Applicant Information

a. Gold Star Builders, Inc.

Name(s)

b. 6 Jacques Street, Worcester, MA 01603

Mailing Address(es)

c. goldstarbuilder@gmail.com / (508) 736-7944

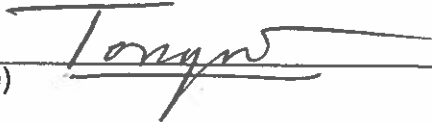
Email and Phone Number(s)

d. Purchaser

Interest in Property (e.g., Lessee, Purchaser, etc.)

I certify that I am requesting the Worcester Zoning Board of Appeals to grant the Special Permit as described below

(Signature)



3. Owner of Record Information (If different from Applicant)

a. The Roman Catholic Bishop of Worcester

Name(s)

b. 49 Elm Street, Worcester, MA 01609

Mailing Address(es)

d. c/o Atty. Peter Dawson pdawson@mirickoconnell.com

Email and Phone Number

4. Representative Information

a. Donald J. O'Neil, Esq.

Name(s)

b. Signature(s)

c. 688 Pleasant Street, Worcester, MA 01602

Mailing Address(es)

d. djo@oneilbarrister.com / (508) 755-5655

Email and Phone Number

e. Lawyer

Relation to Project (Architect/Attorney/Engineer/Contractor, etc.)

(For office use only: Project Number: ZB-20_____)

5. Owner Authorization

Authorization I, Most Reverend Robert J. McManus, Owner of Record of the property listed with the Roman Catholic Bishop of Worcester, a corporation sole, do hereby authorize Donald J. O'Neil to file this application with the Division of Planning & Regulatory Services of the City of Worcester on this the 19th day of March, 2025.
Assessing Division of the City of Worcester, Massachusetts as Map 07 Block 008 Lot(s) 05 +06

6. Proposal (attach a separate narrative if necessary)

Convert former rectory building to lodging house. Applicant proposes 18 bedrooms for the site with zoning compliant off street parking area for 14 spaces proposed.

a. The applicant seeks to (Describe what you want to do on the property in as much detail as possible)

Article IV, Section 2, Table 4.1

b. Such a use is permitted only by the City of Worcester Zoning Ordinance under Article (insert Article, Section (s)) of the Zoning Ordinance which permits the proposed use of the property.
Unknown.

c. Are you aware if this property has been previously granted approvals from any City Board or Commission? If so, please list (Provide dates of previous approvals, book and page numbers and/or certificate numbers of any recorded decisions and/or recorded/registered land. Also, please provide copies of previous recorded decisions)
No.

d. Have you applied for or are you aware if other applicants have applied for a Building Permit for this site and been refused for non-compliance with the Zoning Ordinance (e.g. a cease and desist order has been issued)?
Proposed use will provide much needed housing for City residents unable to afford prevailing apartment rents.

e. List any additional information relevant to the Special Permit (s)

Robert J. McManus
Most Reverend Robert J. McManus
Roman Catholic Bishop of Worcester, a corporation sole

SPECIAL PERMIT FINDINGS OF FACT

In the spaces below explain how the adverse effects of the proposed use will not outweigh its beneficial impacts to the City with respect to each of the following considerations per Article II, Section 6(A)(2) of the Zoning Ordinance. (Attach additional supporting documentation as necessary.)

1. Social, economic or community needs that are served by the proposal:

The proposed use will provide much needed housing for City residents who are unable to afford and/or have no need for a full sized apartment. Proposed use will also put the existing structure back into active use which will benefit the neighborhood community.

2. Traffic flow and safety, including access, parking and loading areas:

No issues are anticipated given the limited use planned for the site and the off street parking proposed for residents, which exceeds off street parking minimums required under the Zoning Ordinance.

3. Adequacy of utilities and other public services:

Existing utilities and other public services in place, including access to public transportation, are adequate in all respects.

4. Neighborhood character and social structure:

Applicant believes that the proposed use is in keeping with the neighborhood character and social structure and will mutually benefit all concerned.

5. Impacts on the natural environment:

The proposal is not expected to have any negative impacts on the natural environment given that it deals with the repurposing of an existing developed site,

6. Potential fiscal impact, including city services needed, tax base, and employment:

Proposal will add additional housing to the City's housing stock with minimal demands on City services and will increase the real estate tax base. In addition the renovation and operation of the lodging house will provide employment for City residents and others.

**1b. Extension, Alteration or Change of a Privileged Pre-existing, Nonconforming Use
(Article XVI, Section 4)**

1. Describe what is currently nonconforming about this use:

2. Indicate how long the nonconforming use has been in existence? What year did the use begin? (Check with the zoning ordinance, as amended, that would have been in effect at the time of construction. Past zoning ordinances are available for research at the City Clerk's office. Past zoning maps are available at the Division of Planning and Regulatory Services)

3. At the time the use was initiated, was the use allowed under the then applicable Zoning Ordinance?

4. Describe the proposed extension, alteration or change of use:

5. Indicate the total square footage to be utilized for the proposed use:

6. Indicate the number of off-street parking spaces currently provided and to be provided for the proposed use: Note: In residential districts, the use as extended, altered or changed shall meet the off-street parking requirements of the zoning ordinance.

7. Explain how the use as extended, altered or changed will not be substantially more detrimental to the neighborhood than the existing structure:

**2. Residential Use allowed only by Special Permit in a particular zoning district
(Article IV, Section 2, Table 4.1)**

1. Describe the proposed residential use:
Lodging house.

2. Total number of dwelling units proposed, number of bedrooms per unit, and square footage of units:
Nineteen (19) beds proposed. Unit square footage to vary. See floor plans for details.

3. Number and dimensions of off-street parking spaces to be provided and location (garage, driveway). Off-street parking spaces must be located outside of the front yard and exterior side yard setbacks.
12 off street parking spaces are proposed.

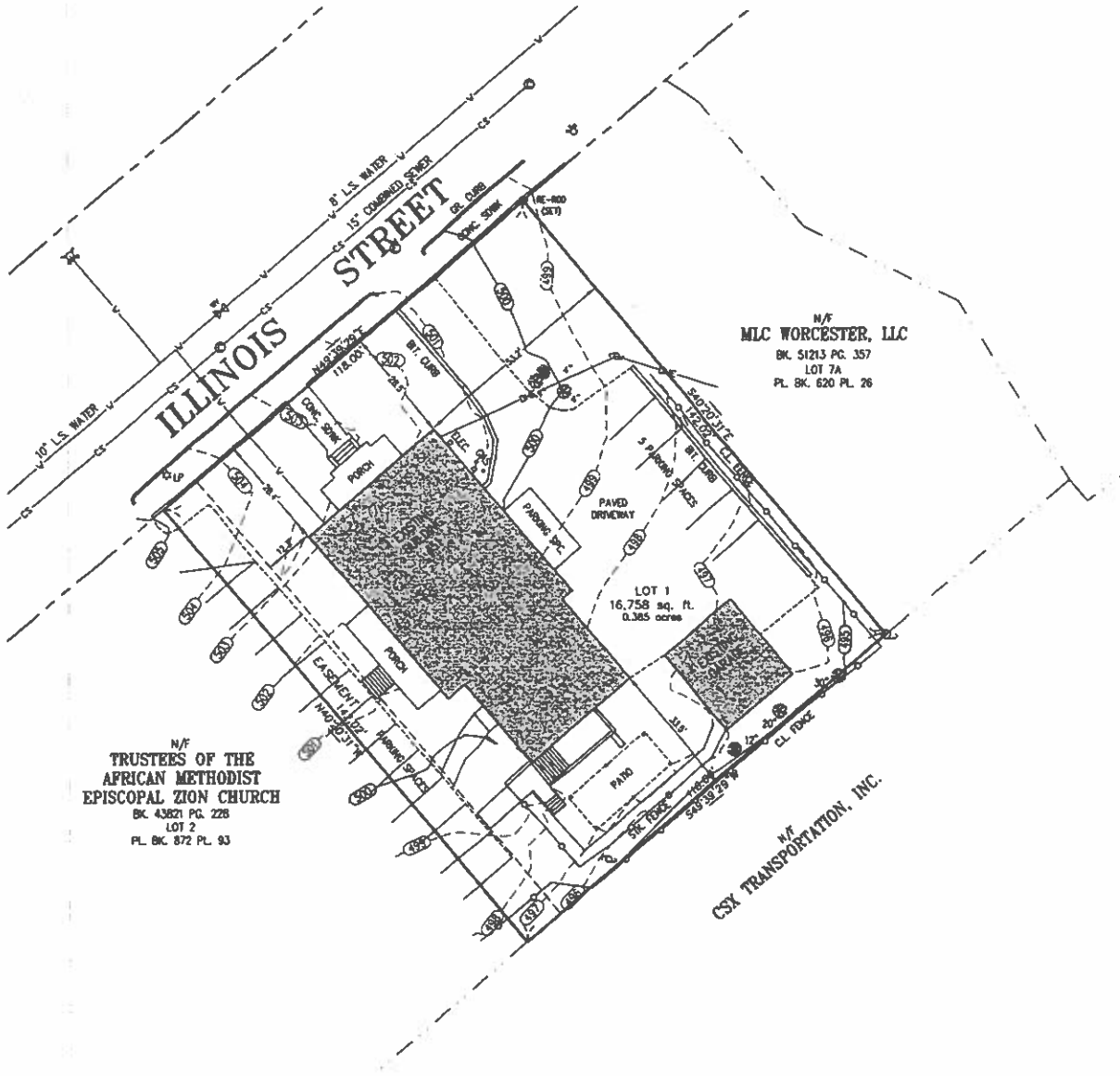
4. Attach documentation from the Director of Public Health and the Conservation Commission as outlined in the City of Worcester Zoning Ordinance Article IV, Section 5.
5. Attach a site plan with all required information in support of the application per the City of Worcester Zoning Ordinance Article IV, Section 5.

7. Modification of Parking/Loading Requirements and/or Landscaping and Layout Requirements for Parking/Loading (Article IV, Section 7)

1. Indicate what relief is being sought under the Special Permit:
Relief is sought to reduce the width of the parking lot landscape buffer running along the easterly property line as shown on the site plan filed herewith.
2. If applicable, indicate locations, square footages, and dimensions of relief sought under the Special Permit:
Parking lot landscape buffer, at approximately 4.5 feet, is slightly under the 5 foot buffer width to allow for maintenance of a 24 foot driveway entrance.
3. If applicable, provide number of parking/loading spaces required and relief requested through the Special Permit:
No relief required or requested for number of required parking/loading spaces.

8. Other Special Permits

1. Describe Special Permit sought and provide relevant details on the plan of land and rendering. Provide square footage and height of any structures and indicate percentage of lot structure will occupy:



NOTES:

THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY FINDINGS SUCH A REPORT MIGHT DISCLOSE.

LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER GATES, ETC. AND COMPILING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. IN ACCORDANCE WITH CHAPTER 82 SECTION 40 INCLUDING AMENDMENTS ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-344-7233.

REFERENCES:

DEED BOOK 3721 PAGE 143
 PLAN BOOK 872 PLAN 93
 ASSESSORS REFERENCE: 07-008-05+06

ZONING:

RG-5

ALL ABOVE DEEDS AND PLANS ARE RECORDED WITH THE WORCESTER DISTRICT REGISTRY OF DEEDS.



Feb 11, 2025
 DATE

B&R SURVEY, INC.

100 GROVE STREET
 WORCESTER, MA 01605
 TEL 508-756-8579
 FAX 508-421-4797

EXISTING CONDITIONS PLAN

PREPARED FOR:
GOLDSTAR BUILDERS, INC.

**51 ILLINOIS STREET
 WORCESTER, MASSACHUSETTS**

SCALE: 1"=20' DATE: FEBRUARY 11, 2025

FIELD: RJS	CALC: RPB	CHECK: RJS
SHEET 1 OF 1		JOB #24-309

GRAPHIC SCALE
 1"=20'

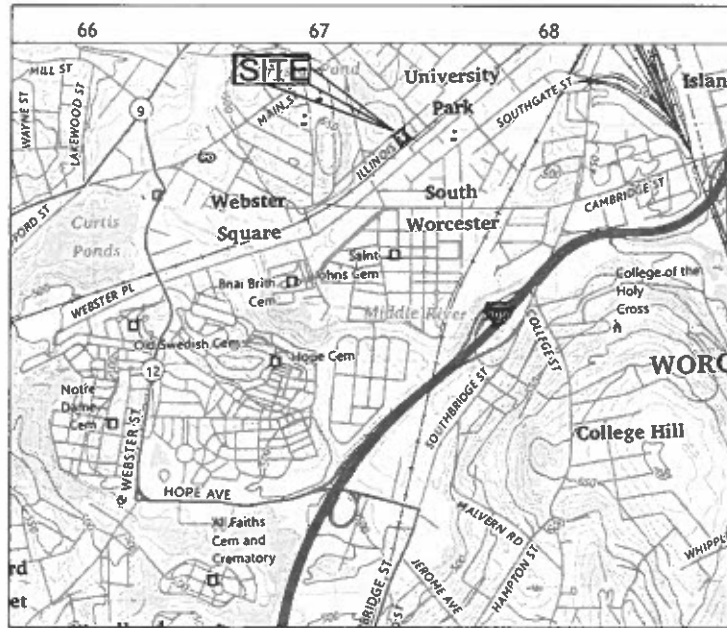


SPECIAL USE PERMIT

51 ILLINOIS STREET
WORCESTER, MASSACHUSETTS

DATE: MARCH 11, 2025

NO.	DATE	REVISIONS
1	03/11/2025	ISSUE FOR PERMIT



USGS MAP

SCALE: 1" = 500'±



ASSESSORS MAP

SCALE: 1" = 100'±

APPLICANT:

GOLDSTAR BUILDERS INC.
6 JACQUES STREET
WORCESTER, MA 01603

CIVIL ENGINEER:



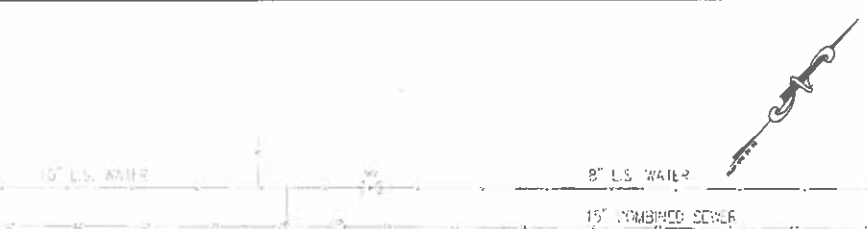
PROPERTY ADDRESS:
51 ILLINOIS STREET
WORCESTER, MA

ASSESSORS MAP/PARCEL:
MAP 7, BLOCK 8, LOT 5+6

ZONING DISTRICT:
RG-5

DRAWING LIST:

- C-0.0 COVER
- C-0.1 NOTES & LEGEND
- C-2.0 SITE PLAN
- C-3.0 EROSION CONTROL PLAN
- C-4.0 DETAIL SHEET-1
- C-4.1 DETAIL SHEET-2

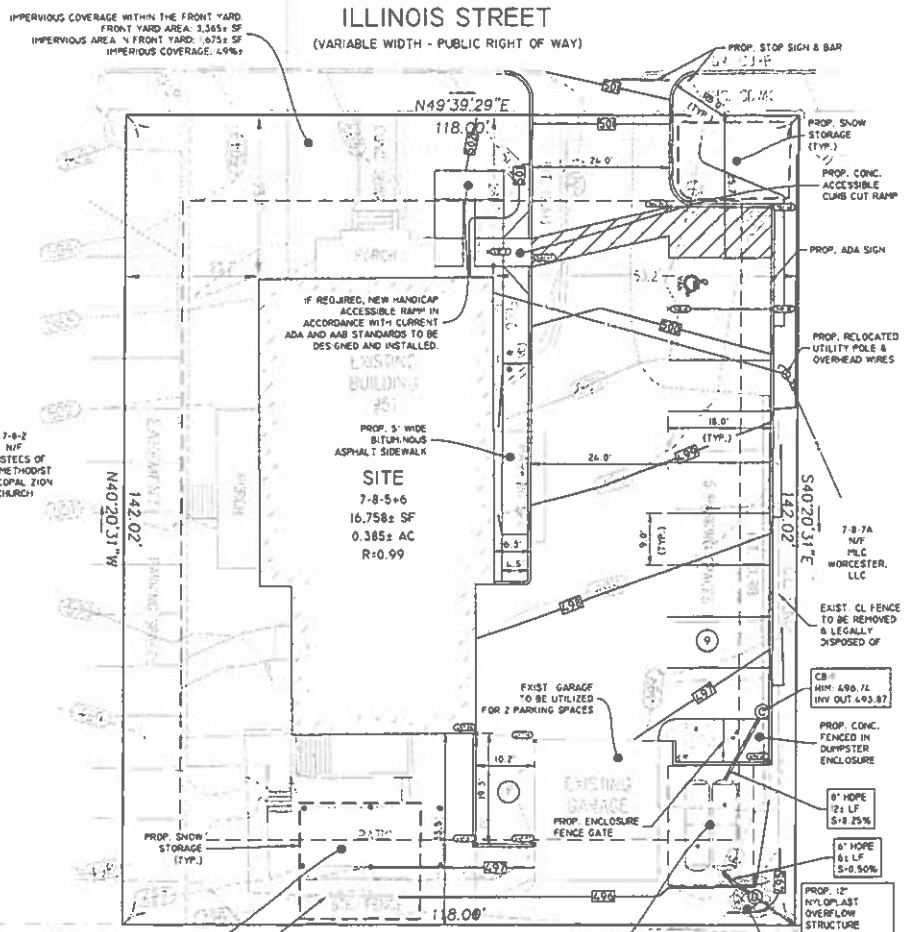


ZONING ORDINANCE REQUIREMENTS		
ZONING DISTRICT: RG-5 (RESIDENTIAL)		
USE: LODGING HOUSE		
	REQUIRED	PROVIDED
LOT AREA (SQUARE FEET)	1,600	16,754
LOT FRONTAGE (FEET)	50	118
FRONT YARD SETBACK (FEET)	15	20.44
SIDE YARD SETBACK (FEET)	10	23.30
REAR YARD SETBACK (FEET)	15	33.84
BUILDING HEIGHT (FEET)	45	30
BUILDING HEIGHT (STORIES)	3+	2
MAX. ALLOWED IMPERVIOUS COVERAGE WITHIN FRONT AND EXTERIOR SIDE YARD	50%	49%

NO.	DATE	REVISIONS
1	07/07/24	ISSUE FOR PERMIT



ILLINOIS STREET
(VARIABLE WIDTH - PUBLIC RIGHT OF WAY)



PARKING SPACE REQUIREMENT		
USE	REQUIRED	PROVIDED
LODGING HOUSE (10 BEDS)	10 SPACES	12 SPACES

PARKING SUMMARY TABLE	
NUMBER OF PARKING SPACES REQUIRED	NUMBER OF PARKING SPACES PROVIDED
1. SPACE/2 BEDS X 10 BEDS = 10 SPACES	11.000000
2. HANDICAP ACCESSIBLE	1.200000
10 TOTAL	12.200000

- PLAN NOTES:**
- SEE SHEET C-1.0 FOR PLAN NOTES AND PLAN LEGEND.
 - CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES IN THE DESIGN PLANS PRIOR TO THE START OF CONSTRUCTION.
 - ALL EXISTING PAVEMENT SHALL BE SAWCUT PRIOR TO REMOVAL.
 - ALL EXISTING PAVEMENT, CURB, WALKS, UTILITIES, LIGHT POLES, TREES, SHRUBS, ETC. SHALL BE REMOVED FROM THE AREAS TO BE DEVELOPED. ALL SUCH ITEMS NOT WITHIN THE WORK AREA SHALL BE PROTECTED AND UNDISTURBED.
 - ALL DISTURBED AREAS NOT RECEIVING IMPROVEMENTS SHALL BE LOANED AND SEEDED.
 - ALL CONSTRUCTION AND CONSTRUCTION ACTIVITIES SHALL CONFORM TO STATE AND LOCAL REQUIREMENTS, INCLUDING BUT NOT LIMITED TO THE CITY OF WORCESTER, THE COMMONWEALTH OF MASSACHUSETTS AND ANY OTHER AGENCIES HAVING JURISDICTION.

- LAYOUT NOTES:**
- THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS THROUGHOUT CONSTRUCTION. ALL WORK SHALL BE COORDINATED WITH THE OWNER, POLICE AND FIRE DEPARTMENTS ACCORDINGLY.
 - DIMENSIONS SHOWN ARE TO THE FACE OF THE CURB/OUTER LINE OF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
 - SEE ARCHITECTURAL PLANS FOR PROPOSED BUILDING LAYOUT, DIMENSIONS, ELEVATIONS AND STAIR CONFIGURATIONS.
 - THE PROPOSED DRIVEWAY AND PARKING LOT AREA FOR THE BUILDING SHALL BE PAVED WITH BITUMINOUS CONCRETE. SEE DETAIL SHEETS FOR PAVEMENT DETAIL.
 - THE PROPOSED CURBING SHALL BE 6" BITUMINOUS CURBING.
 - PROPOSED PLANTINGS FOR THE SITE SHALL CONSIST OF A MIXTURE OF TREES AND SHRUBS. PLANTINGS SHALL CONFORM TO THE LANDSCAPING DESIGN STANDARDS FOR THE CITY OF WORCESTER. TREES TO BE PLANTED SHALL HAVE TRUNKS AT LEAST 3 INCHES IN DIAMETER WHEN MEASURED 8 INCHES ABOVE THE GROUND. RECOMMENDED TREE SPECIES MAY BE FOUND IN THE CITY OF WORCESTER ZONING ORDINANCE. SHRUBS SHALL BE PLANTED ALONG WITH THE TREES IN THE LANDSCAPING AREAS. SHRUBS MAY BE DECIDUOUS OR EVERGREEN OR A MIXTURE OF BOTH. SHRUBS SHALL BE DENSELY PLANTED AS TO PROVIDE A MATURE APPEARANCE WITHIN 3 YEARS. SHRUB HEIGHTS SHALL VARY. RECOMMENDED SHRUB SPECIES AND HEIGHTS MAY BE FOUND IN THE CITY OF WORCESTER ZONING ORDINANCE. ALL LANDSCAPING TREES AND SHRUBS SHALL BE ASIAN LONGHORNED BEETLE RESISTANT.
 - NO SNOW STORAGE SHALL BE PLACED IN REQUIRED PARKING SPACES.

- GRADING NOTES:**
- ALL UTILITY GRATES, COVERS OR OTHER SURFACE ELEMENTS INTENDED TO BE EXPOSED AT GRADE SHALL BE FLUSH WITH THE ADJACENT FINISHED GRADE AND ADJUSTED TO PROVIDE A SMOOTH TRANSITION AT ALL EDGES.
 - THE CONTRACTOR SHALL SET SUBGRADE ELEVATIONS TO ALLOW FOR POSITIVE DRAINAGE AND PROVIDE EROSION CONTROL DEVICES, STRUCTURES, MATERIALS AND CONSTRUCTION METHODS TO DIRECT SILT WASH AWAY FROM DRAINAGE AND OTHER UTILITY SYSTEMS, PUBLIC STREETS AND WORK AREAS.
 - ALL PROPOSED PAVEMENT AREAS SHALL BE PITCHED AS SHOWN ON THE DRAWINGS. IF NOT OTHERWISE SHOWN, PROPOSED PAVEMENT AREAS SHALL BE PITCHED A MINIMUM OF 1% (1/8" PER FOOT) TO PROVIDE POSITIVE DRAINAGE.
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER.
 - ALL GRADING IS TO BE SMOOTH AND CONTIGUOUS WHERE PROPOSED PAVEMENT MEETS EXISTING PAVEMENTS. EDGES ARE TO BE SAW CUT. THE PAVEMENT JOINTS ARE TO BE EMULSION OILED AND SANDED.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY AND THE "DIG SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EACH FIELD LOCATION OF UTILITIES. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION IS TO BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
 - PROPOSED RETAINING WALLS IN EXCESS OF 4' IN HEIGHT SHALL BE DESIGNED BY A STRUCTURAL ENGINEER.
 - PROPOSED RETAINING WALLS SHALL BE INTO THE EXISTING GROUND SURFACE ALONG THE OUTSIDE PERIMETER OF THE WALL.

7-8-2
N/F
TRUSTEES OF
THE METHODIST
EPISCOPAL CHURCH

SITE
7-8-5+6
16,758± SF
0.385± AC
R=0.99

STORMTECH SYSTEM
STORMTECH 760 CHAMBERS
2 ROWS
4 CHAMBERS
TOP OF STONE 4.95.83
BOT OF STONE 4.92.35
FINISH GRADE 4.96.84
INV IN: 4.92.88
INV OUT: 4.94.21

CB
MIN 4.90.74
INV OUT 4.93.87

PROP. CONC.
FENCED IN
DUMPSTER
ENCLOSURE

6" HOPE
24 LF
5:8.25%

4" HOPE
81 LF
5:10.50%

PROP. 12"
NYP O/LAST
OVERFLOW
STRUCTURE
(BEE HIVE GATE)
RWT: 4.95.25
INV: 4.96.10

PROP. RIPRAP
TO SURROUND
OUTLET STRUCTURE

RR-ROW-0CSAT
N/F
CSA
TRANSPORTATION,
INC.

51 ILLINOIS STREET
MAP 7, BLOCK 8, LOT 5+6
51 ILLINOIS STREET
WORCESTER, MASSACHUSETTS



SITE PLAN

C-2.0

SCALE: 1"=10'

2341.00

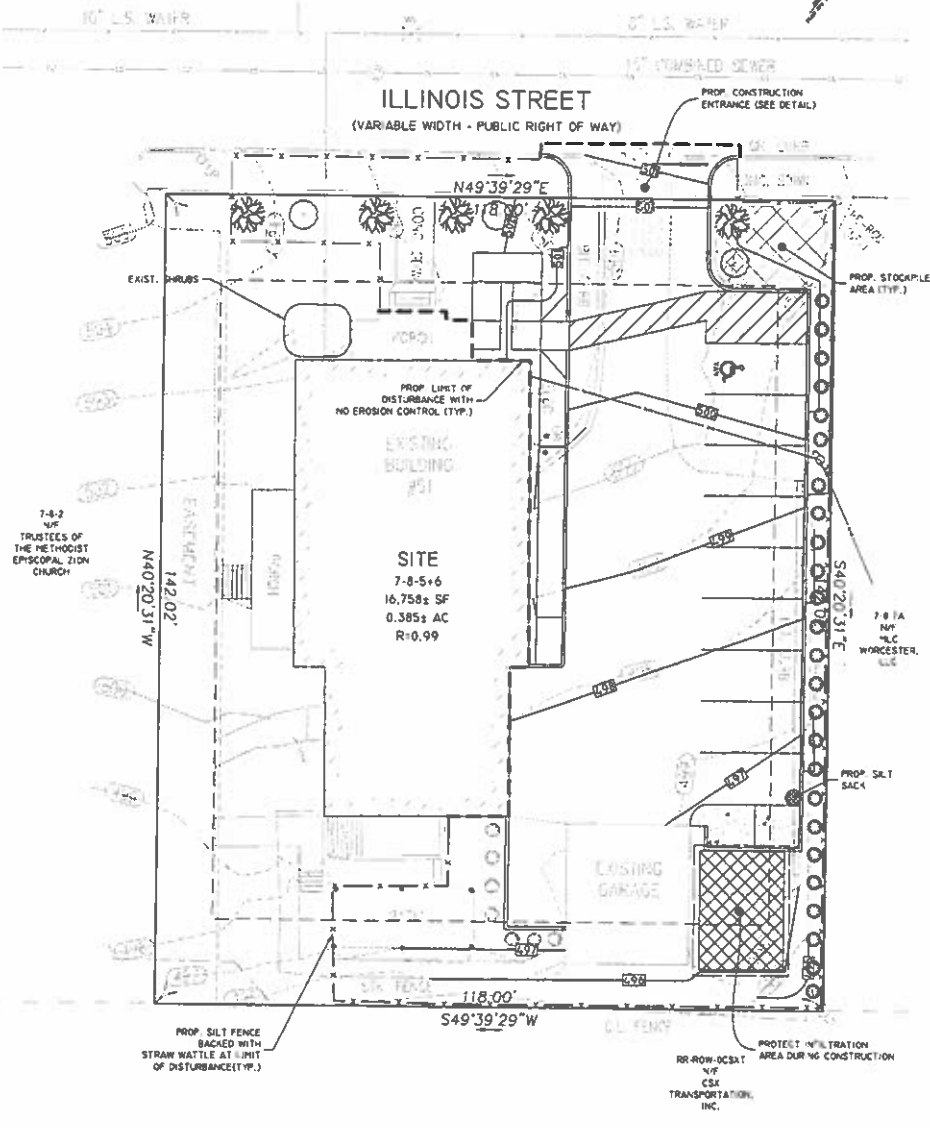
LANDSCAPING NOTES:

1. NOTIFY DIG-SAFE AT 1-888-DIG-SAFE AND LOCAL AUTHORITIES PRIOR TO ANY TYPE OF SITE PREPARATION OR CONSTRUCTION.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL AND MAINTAIN SUFFICIENT QUANTITIES TO COMPLETE PLANTING AS SHOWN ON THE DRAWINGS.
3. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES SET FORTH BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
4. ALL TREES AND SHRUBS SHALL BE PLANTED WITH THE "BEST FACE" SHOWING. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN.
5. ALL CONTAINER GROWN STOCK SHALL BE HEALTHY, VIGOROUS, WELL ROOTED AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE GROWING. THEY SHALL HAVE TOPS OF GOOD QUALITY, NO APPLICABLE HURRY AND BE IN A HEALTHY GROWING CONDITION. A CONTAINER GROWN PLANT SHALL HAVE A WELL ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER TO MAINTAIN A FIRM BALL.
6. THE QUALITY OF ALL TREES & SHRUBS IS TO BE NORMAL FOR THE SPECIES. ALL PLANTS ARE TO HAVE DEVELOPED ROOT SYSTEMS, TO BE FREE OF INSECTS AND DISEASES AS WELL AS MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR PLANTING.
7. ALL CONIFERS SHALL HAVE DORMANT BUDS AND SECONDARY NEEDLES.
8. WHERE SPECIFIED, CALIPER SIZE IS TO BE THE OVERHANGING FACTOR IN TREE SELECTION. CALIPER SIZE SHALL BE MEASURED 12" ABOVE THE ROOTBALL.
9. PLANT SUBSTITUTIONS ARE NOT ALLOWED UNLESS APPROVED BY THE DESIGNER.
10. ALL DISTURBED AREAS NOT SHOWN OTHERWISE SHALL BE LOAMED AND SEEDED AND BLENDED INTO EXISTING GRASS AND CONDITIONS.
11. LAWN SEED MIX SHALL BE THE PREVIOUS YEAR'S CRAB GRASS, SETTERSON, CENTAURY BLUEGRASS, 35% CARMEN CHEWING FESCUE AND JOE STALLION PERENNIAL RYEGRASS, OR APPROVED EQUAL PLANT AT A RATE OF 1 LB. PER 150 SQUARE FEET.
12. LAWN SEED AREAS SHALL BE NOT BE DEEMED ACCEPTABLE UNITS, IN EXCESS OF 50% OF EACH AREA, INDEPENDENTLY, IS GERMINATED, GROWING AND DISPLAYING HEALTHY, UNIFORM GROWTH AND HAS BEEN CUT TWICE. THE SITE CONTRACTOR IS RESPONSIBLE FOR APPLYING AT A MINIMUM 1" OF WATER A WEEK UNTIL THE SEEDING AREAS HAVE BEEN ACCEPTED. THE WATERING SHALL OCCUR IN SMALL DOSES. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY WEEDS (CRAB GRASS) WITHIN THE SEEDING AREAS UNTIL THE SEEDING AREAS HAVE BEEN ACCEPTED.
13. THE HYDRO SEED SLURRY SHALL BE A WOOD BASED BONDED FIBER MATRIX. THE APPLICATION RATE SHALL BE 3,000-3,000 LB. PER ACRE SPRAYED IN AT LEAST TWO DIRECTIONS. DO NOT APPLY HYDRO SEED SLURRY IF RAIN IS EXPECTED WITHIN 12 HOURS, AND WHEN TEMPERATURES ARE BELOW 50 DEGREES.
14. PRIOR TO PLANTING, THE LANDSCAPER SHALL REVIEW AND COORDINATE WITH THE SITE UTILITY PLAN AND GRADING PLAN.
15. THE ROOTS OF NEWLY PLANTED TREES AND SHRUBS MUST BE KEPT STEADILY MOIST. AS THE DEVELOPING ROOTS ESTABLISH IN THE NEW SOIL, AT PLANTING, WATER THOROUGHLY TO SOAK THE ROOTS AND TO SETTLE THE NEW SOIL AROUND THE ROOT BALL. THE AMOUNT OF SUPPLEMENTAL WATER NEEDED EACH WEEK DURING THE FIRST GROWING SEASON AFTER PLANTING DEPENDS ON RECENT RAINFALL, TEMPERATURE, AND WIND. IF LESS THAN ONE-INCH OF RAIN HAS FALLEN OVER THE PAST FIVE TO SEVEN DAYS, THE NEW PLANTINGS MUST BE WATERED. LAWN, TREES, AND SHRUBS WATERING SHALL OCCUR AT A MINIMUM OF TWO (2) TIMES A DAY FOR THE FIRST TWO MONTHS. ONCE IN THE EARLY MORNING AND THEN THE OTHER IN THE LATE AFTERNOON. IN GENERAL, TEN GALLONS OF WATER APPLIED TWICE A WEEK WILL MEET A 20"-24" ROOT BALL AND PROVIDE THE EQUIVALENT OF ONE INCH OF RAIN. FALL NEW LAWN SHALL BE WATERED SO THAT IT RECEIVES AT A MINIMUM ONE INCH (1") OF WATER EVERY WEEK.
17. LANDSCAPE AREAS SHALL BE DEEP TILLED TO A DEPTH OF TWELVE INCHES TO FACILITATE DEEP WATER PENETRATION.

SITE LANDSCAPING LEGEND

PLANTING TABLE			
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME
⊙	5	CORNUS KOUSA	KOUSSA DOGWOOD
⊙	3	GLABRISIA MERTENSIA	AMERICAN YELLOWWOOD
⊙	3	TRILIA OCCIDENTALIS	AMERICAN ARBORWIT

NOTE: ALL LANDSCAPING MATERIALS TO BE PLANTED ON SITE SHALL BE ASIAN LONGHORNE BUTTE RESISTANT SPECIES.



NO.	DATE	REVISIONS
1	10/19/20	SCALE CHANGE

PROFESSIONAL SEAL

LANDSCAPE ARCHITECT

STATE OF MASSACHUSETTS

NO. 12345

DATE: 10/19/20

SCALE: 1"=10'

51 ILLINOIS STREET

MAP 7, BLOCK 8, LOT 5+6

51 ILLINOIS STREET

WORCESTER, MASSACHUSETTS

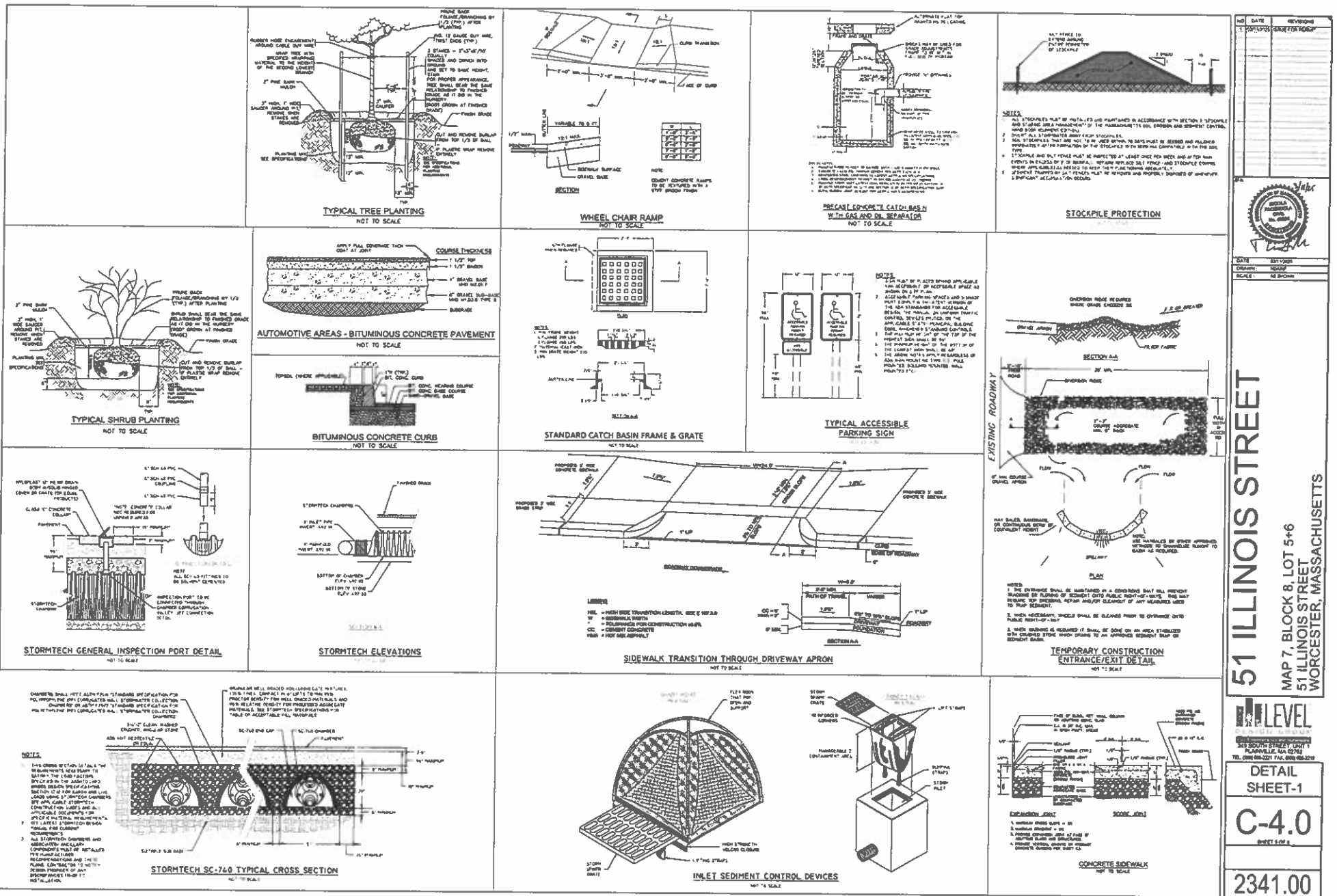
LEVEL

EROSION CONTROL & LANDSCAPE PLAN

C-3.0

SCALE: 1"=10'

2341.00



NO.	DATE	REVISIONS
1	11/17/2018	FOR NOTIFICATION



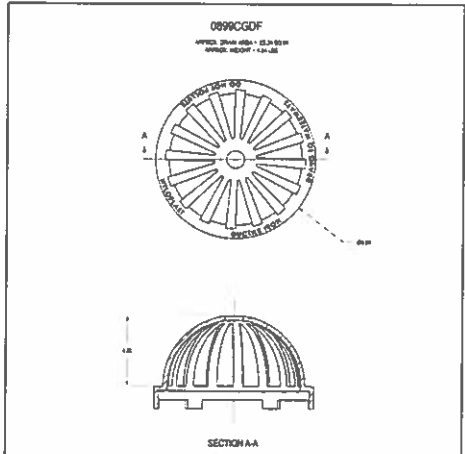
DATE	BY	REVISION

51 ILLINOIS STREET
 MAP 7, BLOCK 8, LOT 5+6
 51 ILLINOIS STREET
 WORCESTER, MASSACHUSETTS

LEVEL
 CIVIL ENGINEERING
 115 SOUTH STREET, SUITE 1
 PLAINVILLE, MA 01862
 TEL: 978-962-7741 FAX: 978-962-1072

DETAIL SHEET-1
C-4.0
 SHEET 1 OF 1
2341.00

DATE PLOTTED: 11/20/2018 10:11 AM PLOT: C:\PROJECTS\51 ILLINOIS STREET\51 ILLINOIS.DWG PLOT: 51 ILLINOIS.DWG



CONSTRUCTION AND INSTALLATION INSTRUCTIONS FOR THE ABOVE STRUCTURE:

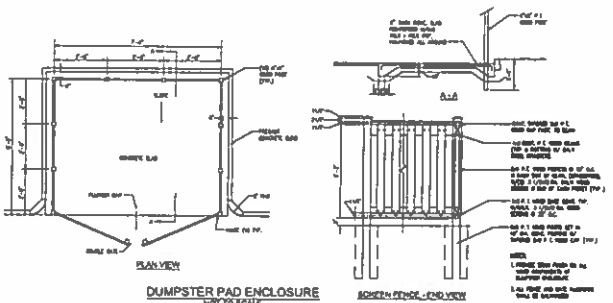
1. THE STRUCTURE SHALL BE CONSTRUCTED OF 1/2" THICK GALVANIZED STEEL SHEET PILING WITH 1/2" DIA. RIBS.

2. THE STRUCTURE SHALL BE INSTALLED IN A TRENCH 18" DEEP AND 18" WIDE.

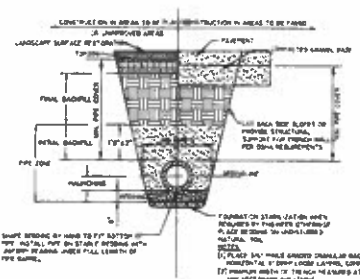
3. THE STRUCTURE SHALL BE INSTALLED IN A TRENCH 18" DEEP AND 18" WIDE.

4. THE STRUCTURE SHALL BE INSTALLED IN A TRENCH 18" DEEP AND 18" WIDE.

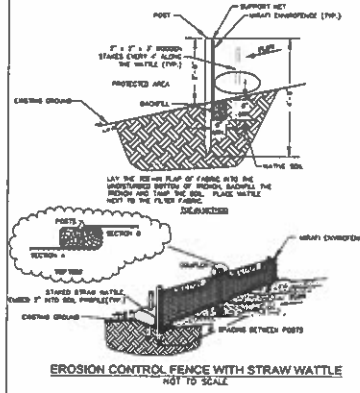
NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	1/2" THICK GALVANIZED STEEL SHEET PILING	100	LINEAL FEET	1.50	150.00
2	1/2" DIA. RIBS	100	LINEAL FEET	0.50	50.00
3	18" X 18" TRENCH	100	SQ. FEET	0.20	20.00
4	18" X 18" TRENCH	100	SQ. FEET	0.20	20.00
5	18" X 18" TRENCH	100	SQ. FEET	0.20	20.00
6	18" X 18" TRENCH	100	SQ. FEET	0.20	20.00
7	18" X 18" TRENCH	100	SQ. FEET	0.20	20.00
8	18" X 18" TRENCH	100	SQ. FEET	0.20	20.00
9	18" X 18" TRENCH	100	SQ. FEET	0.20	20.00
10	18" X 18" TRENCH	100	SQ. FEET	0.20	20.00



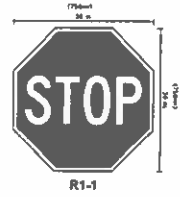
DUMPSTER PAD ENCLOSURE
NOT TO SCALE



UTILITY TRENCH
NOT TO SCALE



EROSION CONTROL FENCE WITH STRAW WATTLE
NOT TO SCALE



R1-1

STOP SIGN
NOT TO SCALE

NO.	DATE	REVISIONS
1	08/08/08	ISSUE FOR PERMIT

DATE	BY	REVISIONS
08/08/08	AS	ISSUE FOR PERMIT

51 ILLINOIS STREET

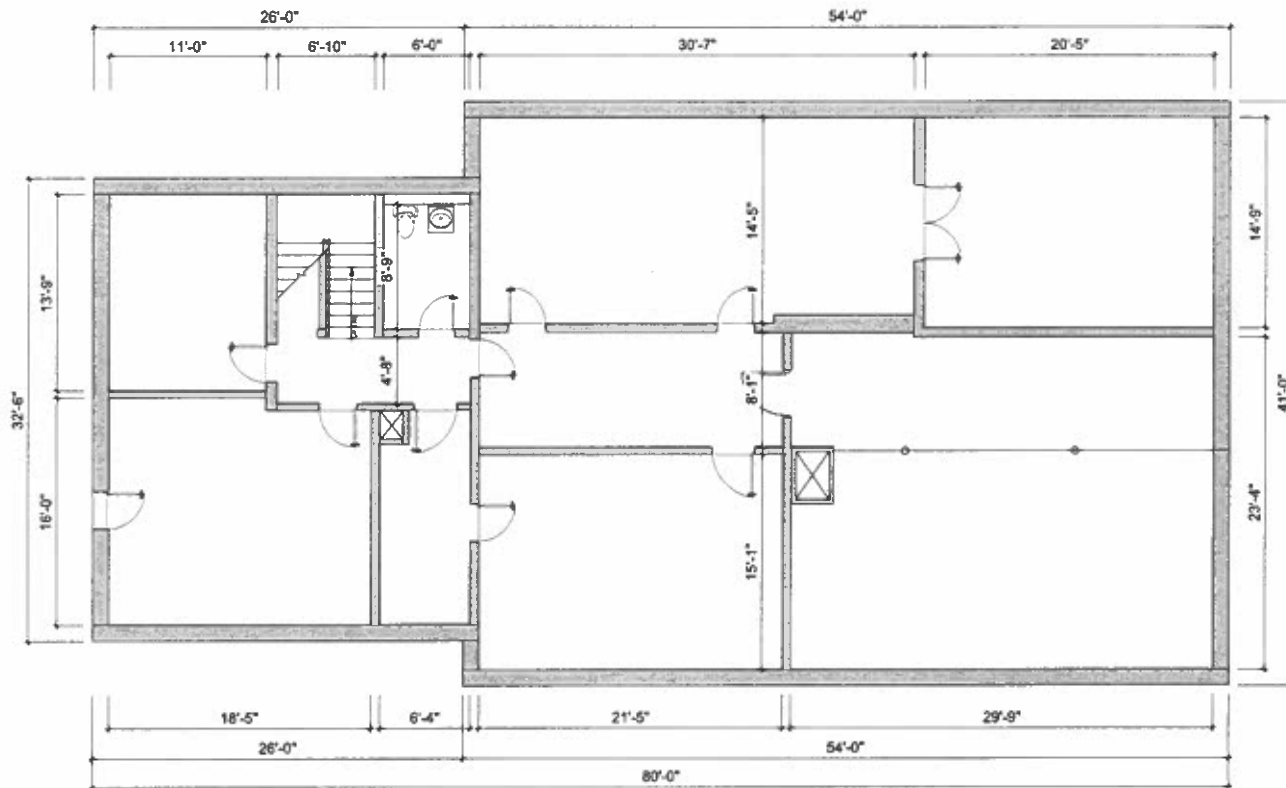
MAP 7, BLOCK 8, LOT 5+6
51 ILLINOIS STREET
WORCESTER, MASSACHUSETTS



DETAIL SHEET-2

C-4.1
SHEET 1 OF 5

2341.00



Ⓜ BASEMENT PLAN
1/4" = 1'-0"

PROJECT NAME
NEW CONSTRUCTION:
APARTMENT
BUILDING
ATTACHED
51 ILLINOIS ST.
WORCESTER, MA

GOLDSTAR BUILDERS INC
DESIGNER/ CONTRACTOR

6 JACQUES ST. WORCESTER, MA 01603
PHONE: 988-736-7944
EMAIL: GOLDSTARBUILDER@GMAIL.COM

NO.	DATE	REVISION

DISCIPLINE
ARCHITECTURAL

BASEMENT
PLAN

PROJECT NUMBER	DESIGNER
20-01	LEO NGUYEN
SCALE	DATE
AS NOTED	01/25/2020

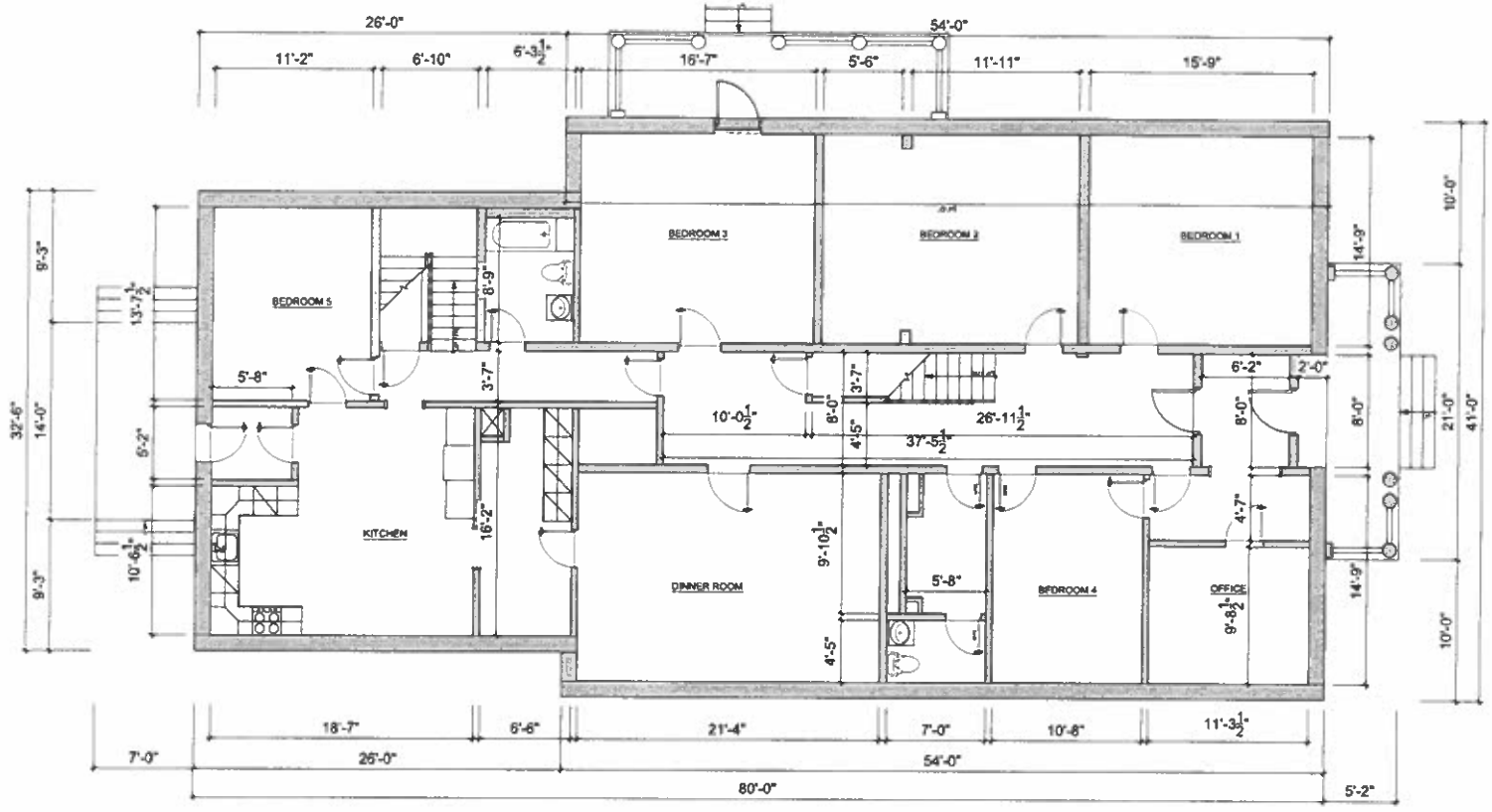
DRAWING NUMBER

A-1

PROJECT NAME
 NEW CONSTRUCTION
 APARTMENT
 BUILDING
 ATTACHED
 51 ILLINOIS ST.
 WORCESTER, MA

GOLDSTAR BUILDERS INC
 DESIGNER/ CONTRACTOR

8 JACQUES ST. WORCESTER MA 01603
 PHONE: 508-756-7544
 EMAIL: GOLDSTARBUILDERS@GMAIL.COM



FIRST FLOOR PLAN
 1/4" = 1'-0"

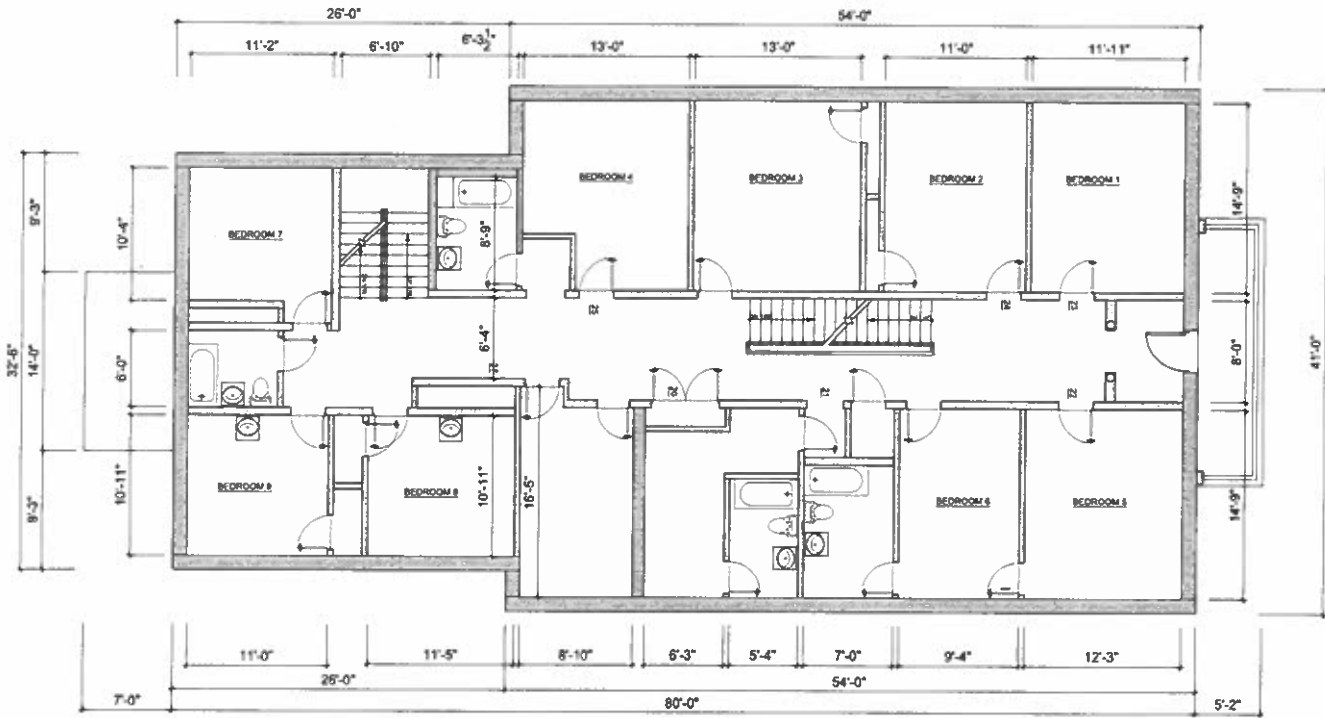
NO.	DATE	REVISION

DRAWING TYPE
 ARCHITECTURAL

FIRST FLOOR PLAN

PROJECT NUMBER 25-01	DESIGNED BY LEO HOUYEN
SCALE AS NOTED	DATE 01/23/2005

A-2



1 SECOND FLOOR PLAN
1/4" = 1'-0"

PROJECT NAME
**NEW CONSTRUCTION:
 APARTMENT
 BUILDING
 ATTACHED
 51 ILLINOIS ST.
 WORCESTER, MA**

GOLDSTAR BUILDERS INC
 DESIGNER/ CONTRACTOR

8 JACOBES ST. WORCESTER MA, 01603
 PHONE: 508-728-7844
 EMAIL: GOLDSTARBUILDER@GMAIL.COM

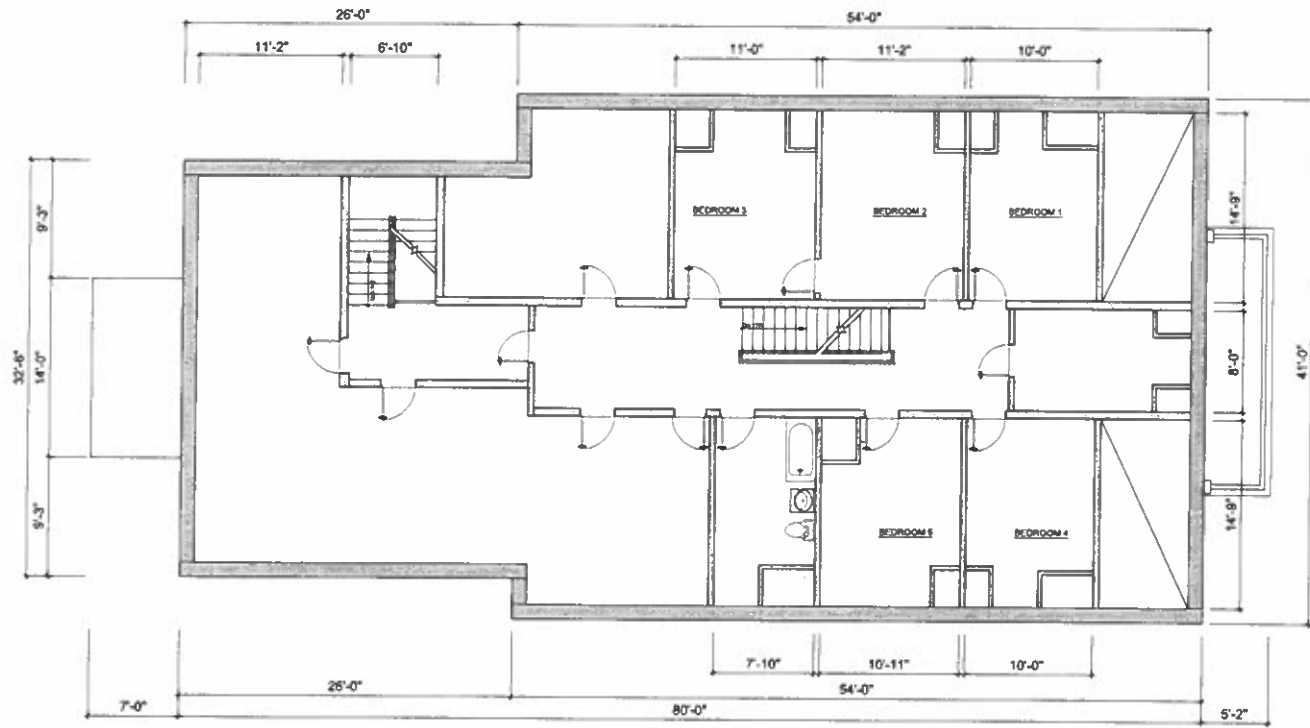
NO.	DATE	REVISION

DRAWING NUMBER
 ARCHITECTURAL

**SECOND
 FLOOR
 PLAN**

DATE 20-01	DESIGNER LEO NGUYEN
SCALE AS NOTED	DATE 01/23/2025
DRAWING NUMBER	

A-3



1
A-3 ATTIC FLOOR PLAN
1/4" = 1'-0"

PROJECT NAME
 NEW CONSTRUCTION:
 APARTMENT
 BUILDING
 ATTACHED
 51 ILLINOIS ST.
 WORCESTER, MA

GOLDSTAR BUILDERS INC
 DESIGNER/ CONTRACTOR

8 JACOBS ST., WORCESTER MA, 01603
 PHONE: 508-739-7944
 EMAIL: GOLDSTARBUILDER@GMAIL.COM

NO.	DATE	REVISION

DRAWN BY
 ARCHITECTURAL

**ATTIC
 FLOOR
 PLAN**

DATE 25-01	DESIGNER LEO HOUYER
SCALE AS NOTED	DATE 01/23/2025

DRAWING NUMBER

A-4

PROJECT NAME
**NEW CONSTRUCTION:
 APARTMENT
 BUILDING
 ATTACHED
 51 ILLINOIS ST.
 WORCESTER, MA**

GOLDSTAR BUILDERS INC
 DESIGNER/ CONTRACTOR

4 JACOBS ST. WORCESTER, MA 01603
 PHONE: 508-736-7844
 EMAIL: GOLDSTARBUILDERS@GMAIL.COM

NO.	DATE	REVISION

DRAWING NAME
ARCHITECTURAL

**FRONT, REAL
 ELEVATION**

PROJECT NUMBER: 25-01
 DRAWN BY: LEO HOLYEN
 SCALE: AS NOTED
 DATE: 01/23/2016

A-5



FRONT ELEVATION
 1/4" = 1'-0"



REAL ELEVATION
 1/4" = 1'-0"



RIGHT ELEVATION
1/4" = 1'-0"

PROJECT NAME
 NEW CONSTRUCTION:
 APARTMENT
 BUILDING
 ATTACHED
 51 ILLINOIS ST.
 WORCESTER, MA

GOLDSTAR BUILDERS INC
 DESIGNER/ CONTRACTOR

4 JACQUES ST. WORCESTER, MA 01893
 PHONE: 508-736-7944
 EMAIL: GOLDSTAR@GOLDSTAR.COM

NO.	DATE	REVISION

DRAWING TYPE
 ARCHITECTURAL

RIGHT
 ELEVATION

FAMILY NUMBER
 25-01

DESIGNER
 LEO. HOUSTON

SCALE
 AS NOTED

DATE
 01/23/2025

ISSUED NUMBER

A- 6



1
2-1 LEFT ELEVATION
1/4" = 1'-0"

PROJECT NAME
**NEW CONSTRUCTION:
 APARTMENT
 BUILDING
 ATTACHED
 51 ILLINOIS ST.
 WORCESTER, MA**

GOLDSTAR BUILDERS INC
 DESIGNER/ CONTRACTOR

6 JACOBS ST. WORCESTER, MA 01603
 PHONE: 508-736-7944
 EMAIL: GOLDSTARBUILDER@GMAIL.COM

NO.	DATE	REVISION:

DRAWING NAME
 ARCHITECTURAL

**LEFT
 ELEVATION**

PROJECT NUMBER 20-01	DESIGNER LEO HOLYEN
SCALE AS NOTED	DATE 01/03/2025

A-7