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SPECIAL PERMIT APPLICATION

2025 FEB 19 PM 3:03

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CITY OF WORCESTER ZONING BOARD OF APPEALS

455 Main Street, Room 404, Worcester, MA 01608
Phone 508-799-1400 ext. 31440 - Fax 508-799-1406

TYPE OF SPECIAL PERMIT (check the Special Permit you are requesting and answer only the associated supplementary questions on page 8-12)

- 1. Extension, Alteration or Change of a Privileged Pre-existing, Nonconforming Structure and/ or Use (Article XVI, Section 4)
- 2. Residential Use allowed only by Special Permit (Article IV, Section 2, Table 4.1)
- 3. Non-Residential Use allowed only by Special Permit (Article IV, Section 2, Table 4.1)
- 4. Non-Residential Use allowed only by Special Permit – Self Storage Facility (Article IV, Section 2, Table 4.1)
- 5. Residential Conversion (Article IV, Section 9)
- 6. Placement of Fill/Earth Excavation (Article IV, Section 5)
- 7. Modification of Parking/Loading Requirements and/or Landscaping and Layout Requirements for Parking/Loading (Article IV, Section 7)
- 8. Other Special Permit (Describe Special Permit sought):

1. Property Information

a. **85 Lake Ave. North & 55 Mohican Road**

Address(es) – please list all addresses the subject property is known by

b. **46-003-46-48 & 46-00300047A**

Parcel ID or Map-Block-Lot (MBL) Number

c. **Worcester District Registry of Deeds, Book 71340 Page 344**

Current Owner(s) Recorded Deed/Title Reference(s)

d. **RL-7**

Zoning District and all Zoning Overlay Districts (if any)

Existing single family house which the Applicant proposes to demolish and replace with a four unit single family attached dwelling.

e. Describe what is presently located on the property (Use as much detail as possible including all uses and square footage of each use; attached separate narrative if necessary):

f. Four bedrooms at present with eight bedrooms proposed.

If residential, describe how many bedrooms are pre-existing and proposed

2. Applicant Information

a. RENTAHOME, LLC

Name(s)

b. 13 Morningside Drive, Shrewsbury, MA 01545

Mailing Address(es)

c. sujat@msm.com/(508) 981-4301

Email and Phone Number(s)

d. Owner

Interest in Property (e.g., Lessee, Purchaser, etc.)

I certify that I am requesting the Worcester Zoning Board of Appeals to grant the Special Permit as described below

 Any for Rentahome, LLC

(Signature)

3. Owner of Record Information (If different from Applicant)

a. Name(s)

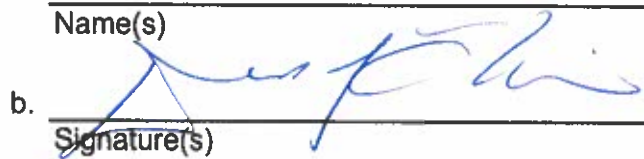
b. Mailing Address(es)

d. Email and Phone Number

4. Representative Information

a. Donald J. O'Neil

Name(s)



Signature(s)

c. 688 Pleasant Street, Worcester, MA 01602

Mailing Address(es)


d. djo@oneilbarrister.com/ (508) 755-5655

Email and Phone Number

e. Lawyer

Relation to Project (Architect/Attorney/Engineer/Contractor, etc.)

5. Owner Authorization

Authorization I,  Art's for Rent - home, LLC, Owner of Record of the property listed with the Assessing Division of the City of Worcester, Massachusetts as Map 46 Block 003 Lot(s) 46-48 & 47A, do hereby authorize Donald J. O'Neil to file this application with the Division of Planning & Regulatory Services of the City of Worcester on this the 28th day of January, 2025.

6. Proposal (attach a separate narrative if necessary)

Demolish existing single family dwelling located on the premises and replace same with a four unit single family attached dwelling.

a. _____
The applicant seeks to (Describe what you want to do on the property in as much detail as possible)
Article IV, Section 2, Table 4.1

b. _____
Such a use is permitted only by the City of Worcester Zoning Ordinance under Article (Insert Article, Section (s) of the Zoning Ordinance which permits the proposed used of the property.
Previous Special Permit for same use proposed was issued on May 20, 2013.

c. _____
Are you aware if this property has been previously granted approvals from any City Board or Commission? If so, please list (Provide dates of previous approvals, book and page numbers and/or certificate numbers of any recorded decisions and/or recorded/registered land. Also, please provide copies of previous recorded decisions)
No.

d. _____
Have you applied for or are you aware if other applicants have applied for a Building Permit for this site and been refused for non-compliance with the Zoning Ordinance (e.g. a cease and desist order has been issued)?
Previous grant of Special Permit was allowed to lapse by prior owner. Said owner recently sought permission for multi-family apartment use for site that was subsequently withdrawn without prejudice prior to the transfer to the current owner.

e. _____
List any additional information relevant to the Special Permit (s)

SPECIAL PERMIT FINDINGS OF FACT

In the spaces below explain how the adverse effects of the proposed use will not outweigh its beneficial impacts to the City with respect to each of the following considerations per Article II, Section 6(A)(2) of the Zoning Ordinance. (Attach additional supporting documentation as necessary.)

1. Social, economic or community needs that are served by the proposal:

Applicant proposes to construct four single family attached dwellings which will help meet the demand for additional within the City of Worcester while utilizing existing infrastructure in place. Proposal will meet required building setbacks and satisfy off-street parking requirements.

2. Traffic flow and safety, including access, parking and loading areas:

The Applicant proposes to access the units to be built with one shared driveway off Lake Avenue North which will reduce the number of curb cuts required for this project. In addition the existing curb cut on Mohican Road will be closed off so there will be no net increase in the number of curb cuts at the site. No traffic flow and /or safety issues are anticipated.

3. Adequacy of utilities and other public services:

Existing utilities and other public services are adequate in all respects for the proposed use with no extension of same being required.

4. Neighborhood character and social structure:

The proposed use is consistent with the neighborhood character and social structure which has transitioned over the last several years to predominantly multifamily use.

5. Impacts on the natural environment:

The proposal calls for a new building to be constructed on a previously developed parcel. Limited impacts on the natural environment are to be expected.

6. Potential fiscal impact, including city services needed, tax base, and employment:

The proposal will add to the City's real estate tax base and provide employment opportunities for the construction trades with minimal demands on City services anticipated given the modest size of the two bedroom units proposed.

**1b. Extension, Alteration or Change of a Privileged Pre-existing, Nonconforming Use
(Article XVI, Section 4)**

1. Describe what is currently nonconforming about this use:

2. Indicate how long the nonconforming use has been in existence? What year did the use begin? (Check with the zoning ordinance, as amended, that would have been in effect at the time of construction. Past zoning ordinances are available for research at the City Clerk's office. Past zoning maps are available at the Division of Planning and Regulatory Services)

3. At the time the use was initiated, was the use allowed under the then applicable Zoning Ordinance?

4. Describe the proposed extension, alteration or change of use:

5. Indicate the total square footage to be utilized for the proposed use:

6. Indicate the number of off-street parking spaces currently provided and to be provided for the proposed use: Note: In residential districts, the use as extended, altered or changed shall meet the off-street parking requirements of the zoning ordinance.

7. Explain how the use as extended, altered or changed will not be substantially more detrimental to the neighborhood than the existing structure:

**2. Residential Use allowed only by Special Permit in a particular zoning district
(Article IV, Section 2, Table 4.1)**

1. Describe the proposed residential use:
Multi-family residential use.

2. Total number of dwelling units proposed, number of bedrooms per unit, and square footage of units:
Four units proposed with two bedrooms each. See attached floor plans for details.

3. Number and dimensions of off-street parking spaces to be provided and location (garage, driveway). Off-street parking spaces must be located outside of the front yard and exterior side yard setbacks.
Eight off-street parking spaces are proposed. Two per unit.

TAX CERTIFICATION

This certification must be completed by all applicants and owners of the property, certifying payment of all local taxes, fees, assessments, betterments, or any other municipal charges of any kind. Failure to include a completed certification shall result in the application being deemed incomplete.

If a Single Owner or Proprietorship:

- a. _____
Name
- b. _____
Signature certifying payment of all municipal charges
- c. _____
Mailing Address
- d. _____
Email and Phone Number

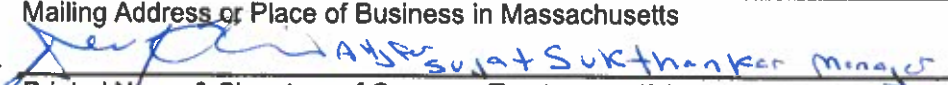
If a Partnership or Multiple Owners:

- e. _____
Names
- f. _____
Signatures certifying payment of all municipal charges
- g. _____
Mailing Address
- h. _____
Email and Phone Number

Applicant, if different from owner:

- i. _____
Printed Name & Signature of Applicant, certifying payment of all municipal charges

If a Corporation or Trust:

- j. RENTAHOME, LLC
Full Legal Name
- k. Massachusetts Shrewsbury, MA
State of Incorporation Principal Place of Business
- l. 13 Morningside Drive, Shrewsbury, MA 01545
Mailing Address or Place of Business in Massachusetts
- m.  Anurag Sukthankar Manager
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges
- n. _____
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges
- o. _____
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges
- p. _____
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges

Eric D. Batista
CITY MANAGER



CITY OF WORCESTER
ADMINISTRATION & FINANCE

Timothy J. McGourthy
CHIEF FINANCIAL OFFICER

Samuel E. Konieczny
CITY ASSESSOR

Certified Abutters List

A list of 'parties in interest' shall be attached to the application form and shall include the names and addresses. All such names and addresses shall be obtained from the most recent applicable tax list maintained by the City's Assessing Department. The Assessing Department certifies the list of names and addresses.

Total Count: 30

Parcel Address: **85 LAKE AVE. NORTH**
WORCESTER, MA 01605

Assessor's Map-Block-Lot(s): **46-003-46-48**

Owner: **RENTAHOME LLC**

Mailing Address: **13 MORNINGSIDE DR**
SHREWSBURY, MA 01545

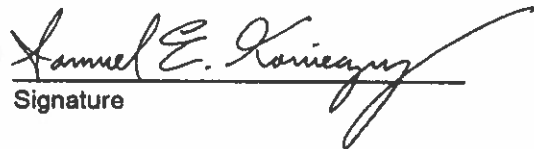
Petitioner (if other than owner): **DONALD J O'NEIL**
688 PLEASANT ST
WORCESTER, MA 01602
508-755-5655

Planning: _____ Zoning: X Liquor License: _____ Conn. Comm.: _____
Historical: _____ Cannabis: _____ Other: _____

RUGGIERI, DONALD A	46-003-40+41	15 WINNECONNETT RD	WORCESTER, MA 01605
GIRARD, CARA E	46-003-00126	0048 DOMINION RD	WORCESTER, MA 01604
PENG, WEILIN	46-003-00128	0042 DOMINION RD	WORCESTER, MA 01605
DULUDE, KATHLEEN S +	46-003-00135	0038 DOMINION RD	WORCESTER, MA 01605-2310
SHARDA, TEKCHAND +	46-003-00123	0101 NORTH LAKE AVE	WORCESTER, MA 01605
ARAGAM, JAYASHRI R + GOPALAKRISHNA K	46-003-00122	0062 OLD GARRISON RD	SUDBURY, MA 01776
LAZZARO, JOHN A	46-003-00117	0020 WINNECONNETT RD	WORCESTER, MA 01605-2341
WALSH, DEBRA A	46-003-00121	0002 WINNECONNETT ST	WORCESTER, MA 01604
DRYER-COX, SHERRY R + MARK R	46-003-1122B	0008 TAYLOR LN	DOVER, MA 02030
NADKARNI, SHIRISH +	46-003-00120	16 RAVENS BLF	ANDOVER, MA 01810-4289
DYER-COX, SHERRY R + COX, MARK R	46-003-1122A	0008 TAYLOR LN	DOVER, MA 02030
MOUNT, VALERIE LUNA	46-003-00111	0012 WINNECONNETT RD	WORCESTER, MA 01605
RUGGIERI, JOHN (LIFE ESTATE)	46-003-00038	0025 WINNECONNETT RD	WORCESTER, MA 01605
CASTRO, XIMENA M	46-003-00051	65 LAKE AVE #214	WORCESTER, MA 01604
DWYER, BRIAN P + BOPHARY TRUSTEES	46-003-00053	0003 WINNECONNETT RD	WORCESTER, MA 01605

FRIEDMAN,AMY L + SCHMIDT,MICHAEL S	46-003-00054	0033 PILGRIM PATH	CARLISLE, MA 01741
CORNEJO,JUAN J + KRISTINE M	46-003-00055	0010 PAINE ST	WELLESLEY, MA 02481
RUGGIERI,ROBERT M	46-003-56-58	0011 WINNECONNETT RD	WORCESTER, MA 01605-2340
COMM OF MASS ENVIRONMENTAL MNGT	57-005-00002	PO BOX 155	CLINTON, MA 01510
RUGGIERI,DONALD M	46-003-59-61	0015 WINNECONNETT RD	WORCESTER, MA 01605
VALLEJO,ZAYDA TRUSTEE	46-003-0047A	210 PARK AVE SUITE 208	WORCESTER, MA 01609
VALLEJO,ZAYDA TRUSTEE	46-003-46-48	210 PARK AVE SUITE 208	WORCESTER, MA 01609
TANTEH,MHD IEAD +	46-002-00165	0041 MOHICAN RD	WORCESTER, MA 01605
QUEST TRUST COMPANY FBO	46-002-00166	17171 PARK ROW #100	HOUSTON, TX 77084
ROSSETTI,PHILIP LIFE EST +	46-003-42-45	0053 MOHICAN RD	WORCESTER, MA 01605
STENGLEIN,JOHN J	46-003-00107	0005 BROOK HOLLOW RD	HATFIELD, MA 01338
COMM OF MASS EDUCATION	57-004-0000D	55 LAKE AVENUE NORTH	WORCESTER, MA 01605
WANG,DAN + YING	46-003-128-2	0006 DOGWOOD DR	BELCHERTOWN, MA 01007
THOMAS,VERONICA O	46-003-128-3	0046 A DOMINION RD	WORCESTER, MA 01605
PASTOR,JUDITH + BRIAN J TRUSTEES	46-003-128-4	046B DOMINION RD	WORCESTER, MA 01605

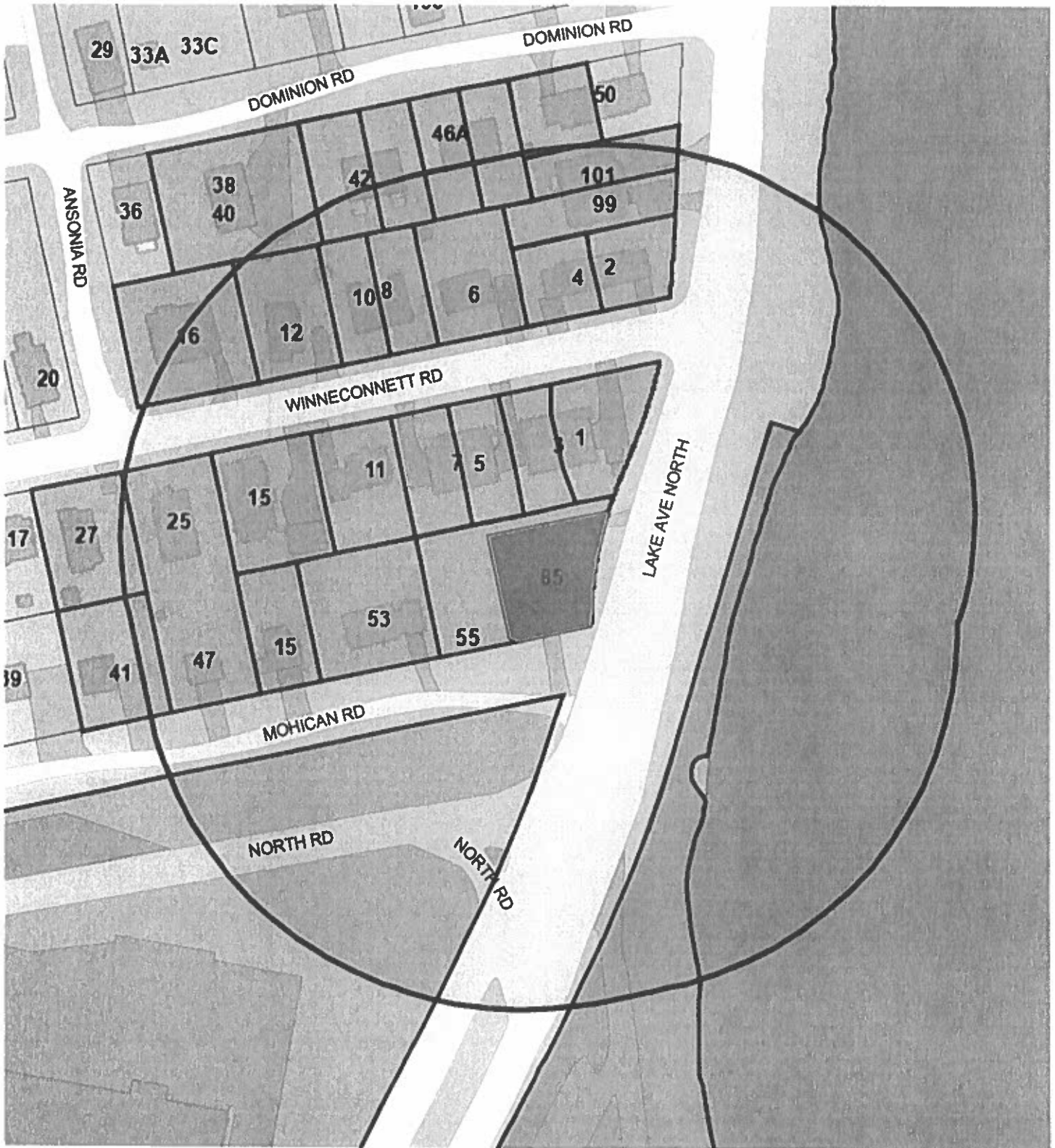
This is to certify that the above is a list of abutters to Assessor's Map-Block-Lot(s) 46-003-46-48 as cited above.
Certified by:


Signature

Date: JAN. 27, 2025



Abutters Map





CITY OF WORCESTER
ADMINISTRATION & FINANCE

Certified Abutters List

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Total Count: 35

Parcel Address: 55 MOHICAN RD
WORCESTER, MA 01605

Assessor's Map-Block-Lot(s): 46-003-0047A

Owner: RENTAHOME LLC
Mailing Address: 13 MORNINGSIDE DR
SHREWSBURY, MA 01545

Petitioner (if other than owner): DONALD J O'NEIL
688 PLEASANT ST
WORCESTER, MA 01602
508-755-5655

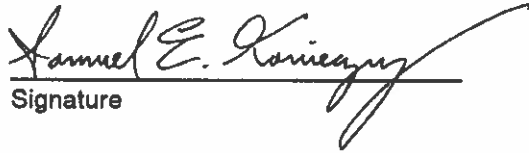
Planning: _____ Zoning: X Liquor License: _____ Conn. Comm.: _____
Historical: _____ Cannabis: _____ Other: _____

UNDERWOOD,BRENDA J(LIFE ESTATE)	46-002-68+69	0017 WINNECONNETT RD	WORCESTER, MA 01605
RUGGIERI,DONALD A	46-003-40+41	15 WINNECONNETT RD	WORCESTER, MA 01605
GIRARD,CARA	46-003-00127	0048 DOMINION RD	WORCESTER, MA 01605
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ARAGAM,JAYASHRI R + GOPALAKRISHNA K	46-003-00122	0062 OLD GARRISON RD	SUDBURY, MA 01776
LAZZARO,ARMANDO J + HELEN E	46-002-00105	0020 WINNECONNETT ROAD	WORCESTER, MA 01605
LAZZARO,JOHN A	46-003-00117	0020 WINNECONNETT RD	WORCESTER, MA 01605-2341
WALSH, DEBRA A	46-003-00121	0002 WINNECONNETT ST	WORCESTER, MA 01604
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CORNEJO,JUAN J + KRISTINE M	46-003-00055	0010 PAINE ST	WELLESLEY, MA 02481
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TANTEH,MHD IEAD +	46-002-00165	0041 MOHICAN RD	WORCESTER, MA 01605
SALVATI,CATHERINE +	46-002-30-33	117 HOWLAND RD	LAKEVILLE, MA 02347-2210
QUEST TRUST COMPANY FBO	46-002-00166	17171 PARK ROW #100	HOUSTON, TX 77084
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STENGLEIN,JOHN J	46-003-00107	0005 BROOK HOLLOW RD	HATFIELD, MA 01338
DIROBERTO,JOSEPH + SANDRA	46-003-00140	36 DOMINION ROAD	WORCESTER, MA 01605
COMM OF MASS EDUCATION	57-004-0000D	55 LAKE AVENUE NORTH	WORCESTER, MA 01605
WANG,DAN + YING	46-003-128-2	0006 DOGWOOD DR	BELCHERTOWN, MA 01007
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This is to certify that the above is a list of abutters to Assessor's Map-Block-Lot(s) **46-003-0047A** as cited above.

Certified by:

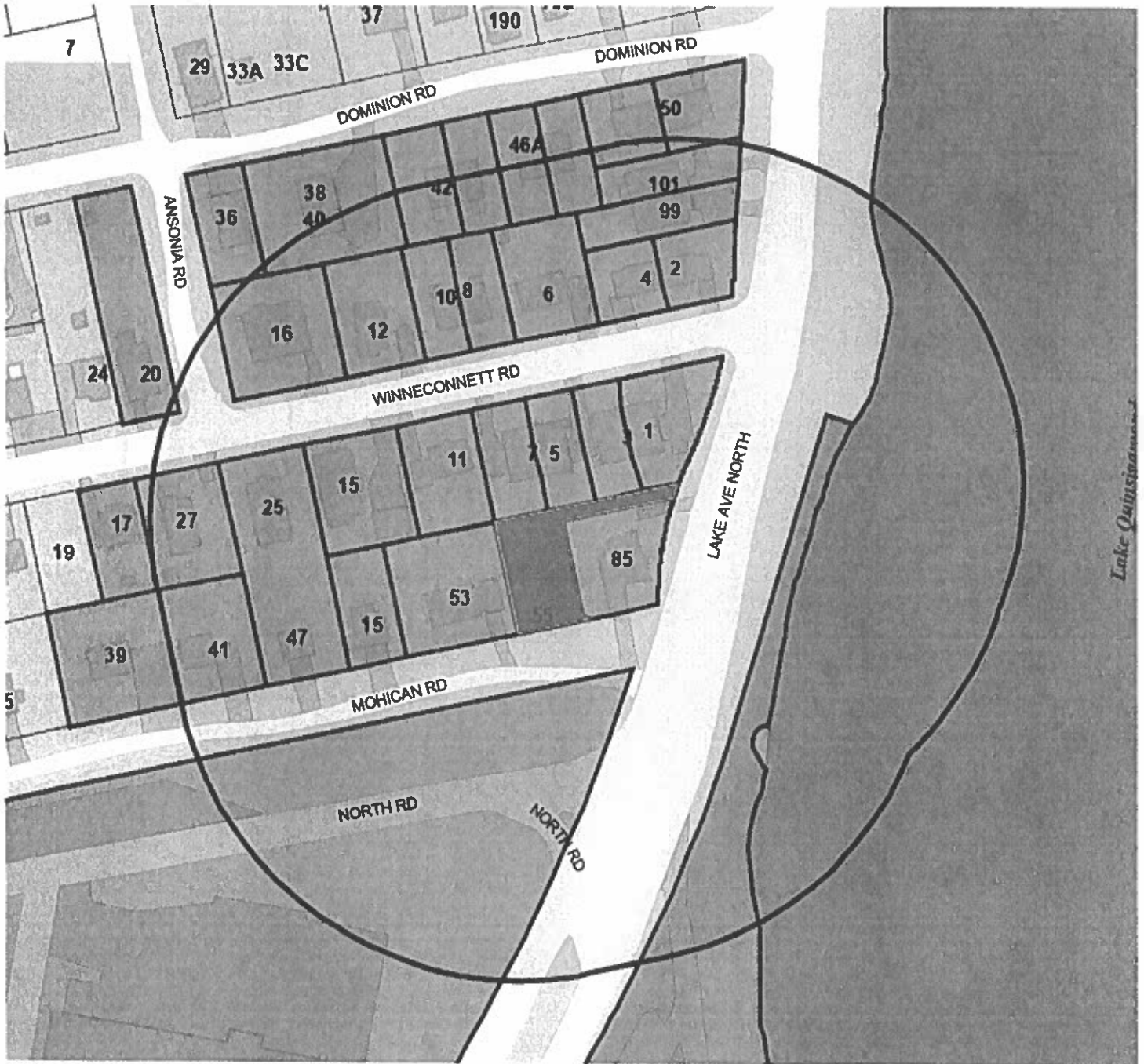


 Signature

Date: JAN. 27, 2025

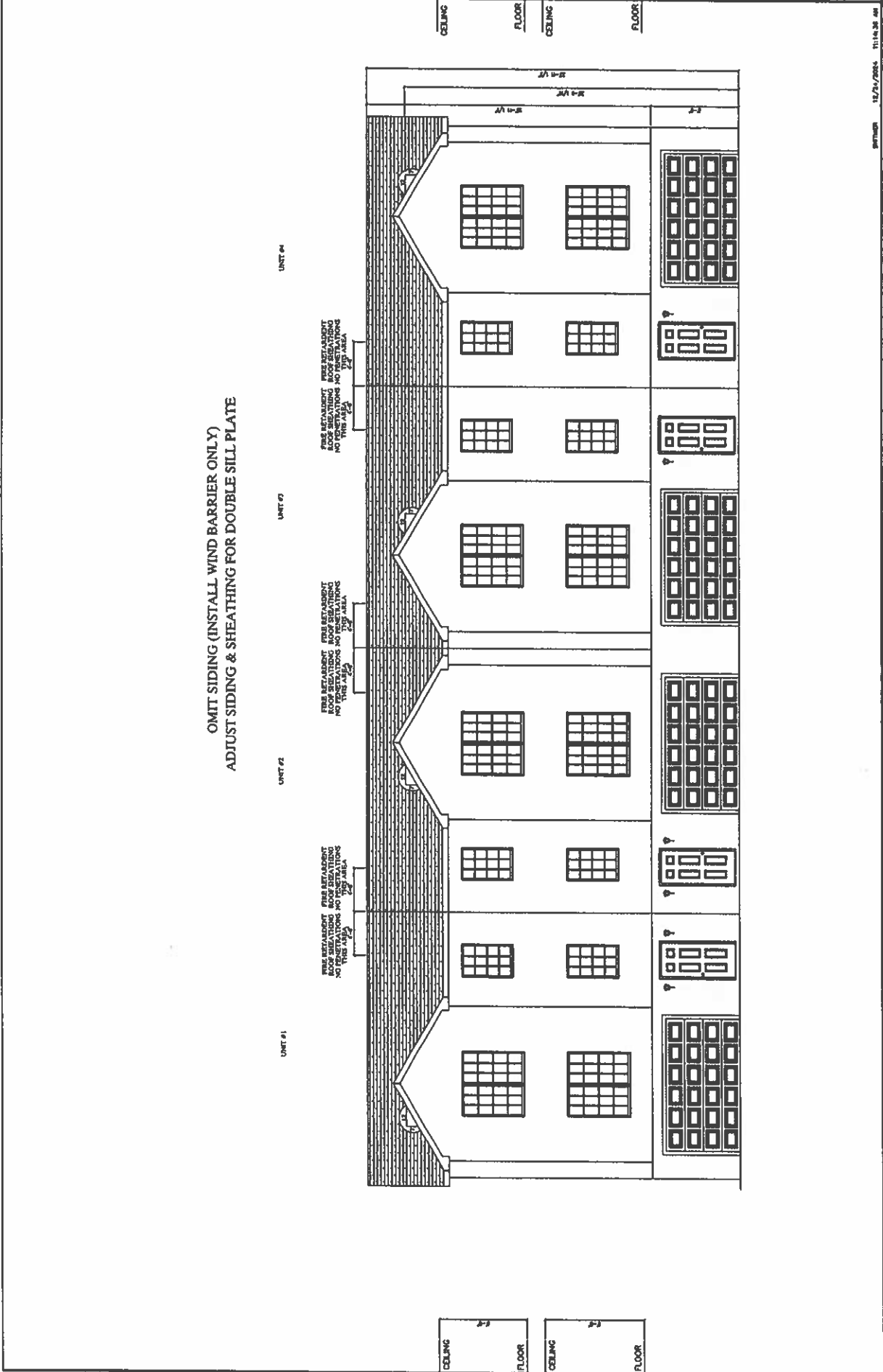


Abutters Map



DATE:	12/11/2024	SWT	OPD	STATUS:	CONF	REV	CONF
DRAWN BY:	OPD	CONF	CONF	STATUS:	CONF	REV	CONF
CITY:	WORCESTER	COUNTY:	WORCESTER	STATE:	MA	90. FT.	3024
ORDER NO.:	3248-MULTI FAMILY 3 STORY FRONT ELEVATION	FILE NO.:	117 MPH VULT	WIND SPEED:	50	SNOW LOAD:	50
PROJECT:	3248-MULTI FAMILY 3 STORY	CLIENT:	HERITAGESM@BUSINESSARTHOUSEAR	PROJECT:	HERITAGESM@BUSINESSARTHOUSEAR	PROJECT:	HERITAGESM@BUSINESSARTHOUSEAR

PAGE: 2.1



ACTUAL HOUSE MAY VARY FROM ELEVATION--ACCESS TO GRADE ON--SITE BY OTHERS

ACTUAL HOUSE MAY VARY FROM ELEVATION—ACCESS TO GRADE ON—SITE BY OTHERS

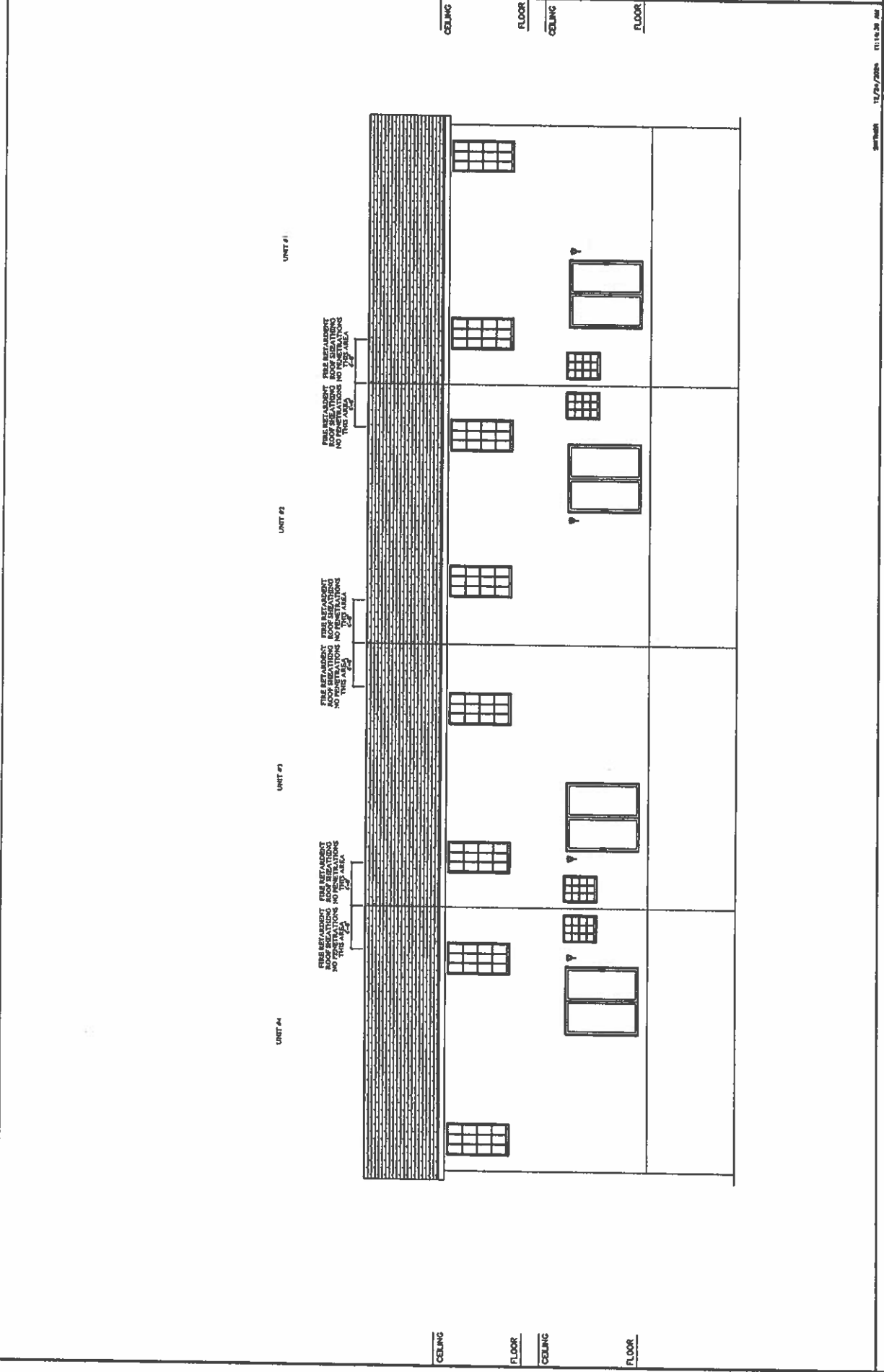
DATE: 12/11/2024
DRAWN BY: SWT
STATUS: CONFD

12/23/24
REV CONFO

3248-MULTI FAMILY 3 STORY REAR ELEVATION

MBS
Professional Sealing Service
1914
100-101
100-101
100-101

ORDER NO.	172
SEAL NO.	172
WIND SPEED	117 MPH WULT
SNOW LOAD	50
STATE	MA
CITY	WORCESTER
COUNTY	WORCESTER
CUSTOMER	HERITAGESM@DUWARTN&WEAR 5-STORY TOWNHO



ACTUAL HOUSE MAY VARY FROM ELEVATION—ACCESS TO GRADE ON—SITE BY OTHERS

DATE: 12/11/2024
12/23/24
12/24/2024

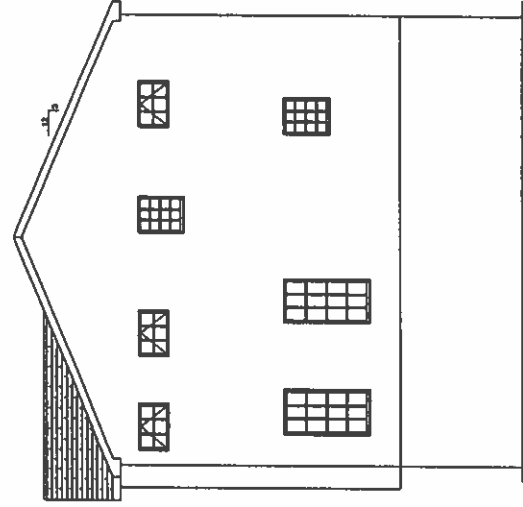
DRAWN BY: SWT
GPO

STATUS: CONFD
REV CONFO

3248-MULTI FAMILY 3 STORY
RIGHT ELEVATION



ORDER NO.	3024
WIND SPEED	117 MPH VULT
SNOW LOAD	50
CITY	WORCESTER
COUNTY	WORCESTER
STATE	MA
PROJECT	HERITAGESMADUSARTHWORCESTER B-STORY TOWNHO

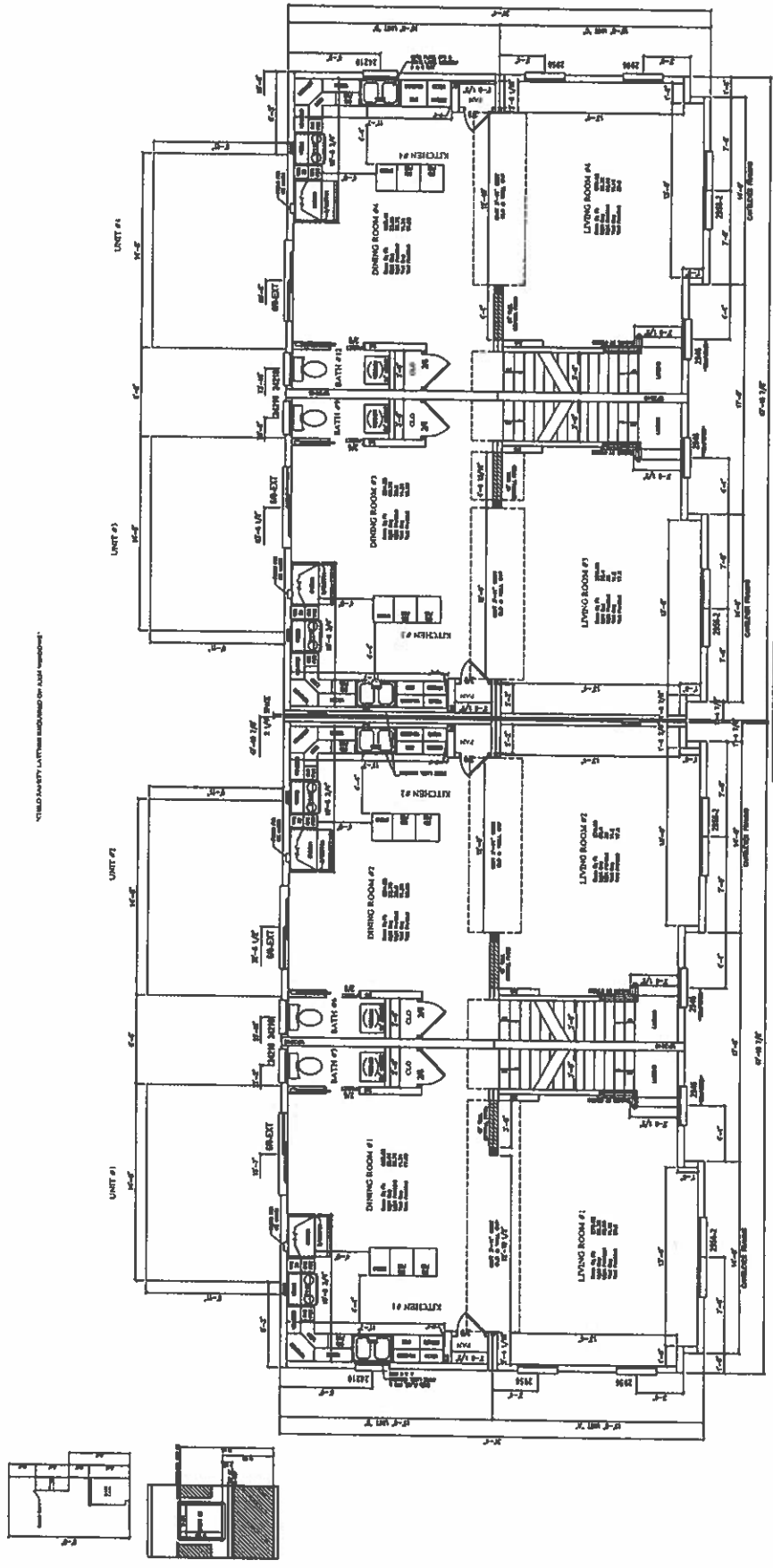


CEILING
FLOOR
CEILING
FLOOR

DATE:	12/23/24	STATUS:	CONTD
DRAWN BY:	GPO	REV CONFO:	
PROJECT NO.:	3248-MULTI FAMILY 3 STORY	CITY:	WORCESTER
CLIENT:	HERITAGESM@DUKIEWHOMER	COUNTY:	WORCESTER
STATE:	MA	ZIP CODE:	01604
PROJECT ADDRESS:	117 MPH VULT	ORDER NO.:	
SHEET NO.:	50	SERIAL NO.:	
SQ. FT.:	3024	DATE:	12/23/24

PAGE: 3.1

SPRINKLER ROUGH PLUMB & W/HEADS BY MBSP



BASINETS TO BE INSTALLED IN ALL BATHS
 BASEMENT CLOSE-OFF @ BOTTOM OF STAIRS ON-SITE BY BUILDER

NOTES:
 1. 2x6 EXTERIOR WALLS 16" O.C.
 2. 2x4 MARRIAGE WALLS 16" O.C.
 3. 2x4 ROOF RAFTERS 16" O.C.

- 1. 2x6 EXTERIOR WALLS 16" O.C.
- 2. 2x4 MARRIAGE WALLS 16" O.C.
- 3. 2x4 ROOF RAFTERS 16" O.C.
- 4. STAIRS TO BE 8 1/4" RISERS AND 9" TREADS.
- 5. MW CLG BEAM OVER DIN/LV. TBD

- 9.
- 10.
- 11.
- 12.

DATE: 12/23/2024 11:14:30 AM

DATE: 12/23/24

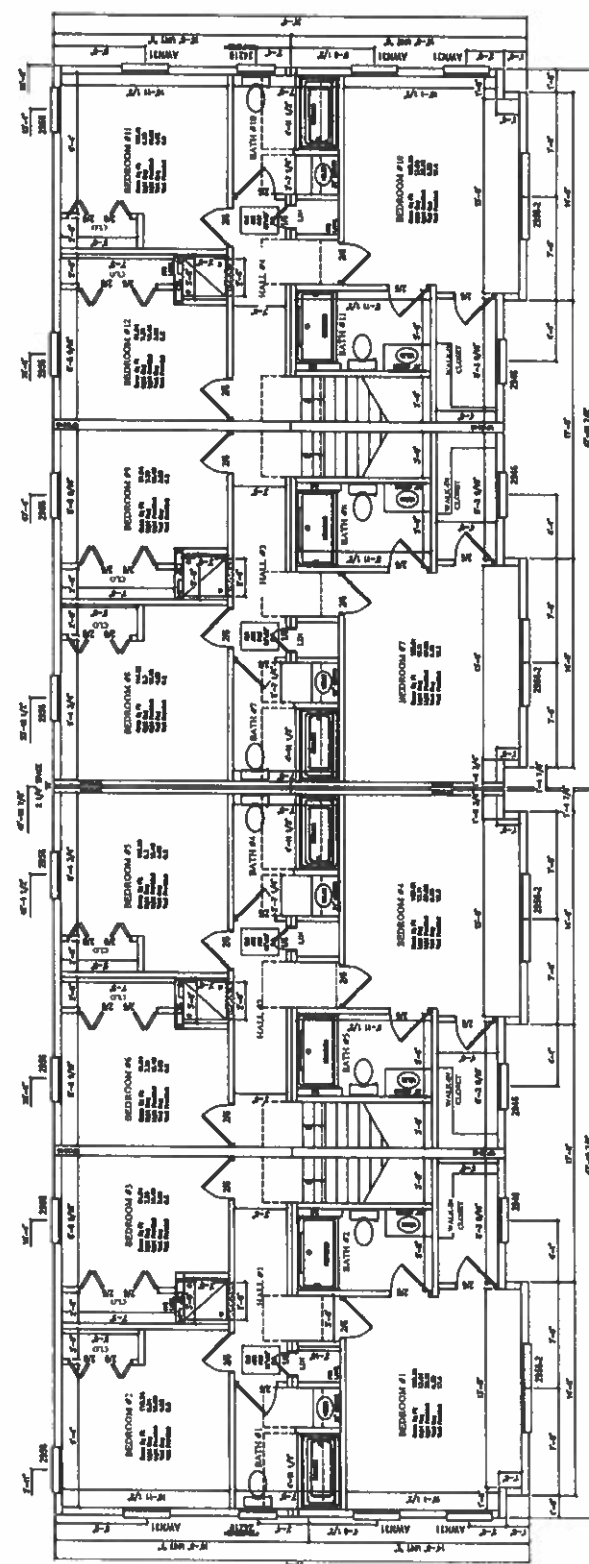
DRAWN BY: SWT

STATUS: REV CONFD

MBS P
 Mechanical Design Division
 77 East North Street
 Worcester, MA 01602
 (508) 853-1914
 www.mbsp.com

ORDER NO.	SEAL NO.	FILE NO.
117 MPH VULT		
WIND SPEED	WIND LOAD	SQ. FT.
WORCESTER	WORCESTER	3024
CITY	COUNTY	STATE
WORCESTER	WORCESTER	MA
BUILDER: HERITAGES@DUBUARTHANDHEAR 3-STORY TOWNHO		
CUSTOMER:		

3248-MULTI FAMILY 3 STORY
 2ND STORY FLOOR PLAN



CHILD SAFETY LATCHES REQUIRED ON XXS6 WINDOWS

- 9.
- 10.
- 11.
- 12.

- 5. ROOF RAFTERS 16' O.C.
- 6. 8'-0" CLG.
- 7.
- 8.

- NOTES: 1. * - DENOTES ADDITIONAL COLUMN IN BASEMENT
- 2. 2X6 EXTERIOR WALLS 16' O.C.
- 3. 2X4 MARRIAGE WALLS 16' O.C.
- 4.

REVISION: 12/23/2024 11:14:36 AM

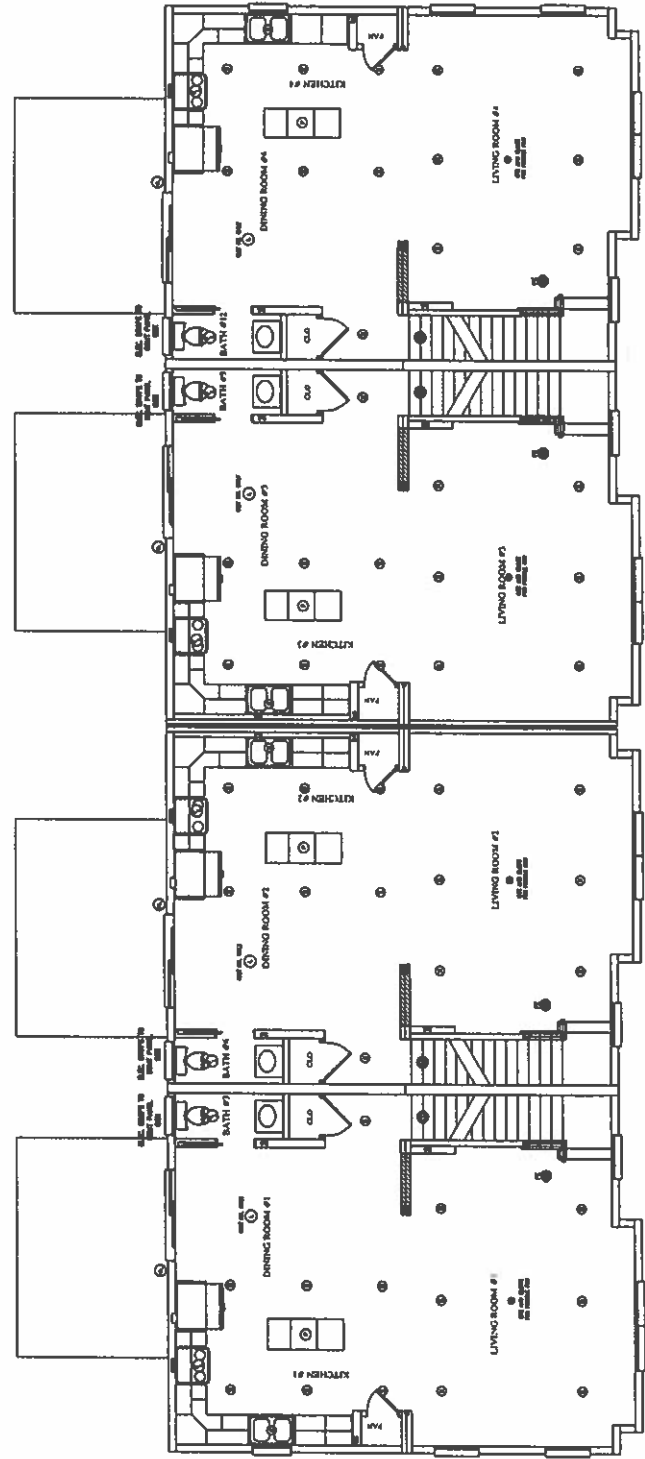
DATE: 12/23/24
DRAWN BY: SWT
REV CONFO: DP0
STATUS: CONFO

DATE:	12/23/24
DRAWN BY:	SWT
REV CONFO:	DP0
STATUS:	CONFO

MBS&P
 Mechanical Building Systems
 72 East Street
 Worcester, MA 01602
 508-853-1914
 www.mbsandp.com

3248-MULTI FAMILY 3 STORY
 1st STORY ELEC. PLAN

ORDER NO.:	117 MPH VULT
SERIAL NO.:	50
FILE NO.:	3024
CITY:	WORCESTER
COUNTY:	WORCESTER
STATE:	MA
CUSTOMER:	HERITAGESM@DUARTRHAMER-3-STORY TOWNHO



PROJECT: 3248-MULTI FAMILY 3 STORY
 1st STORY ELEC. PLAN

DATE: 12/23/24
 DRAWN BY: SWT
 REV CONFO: DP0
 STATUS: CONFO

CITY: WORCESTER
 COUNTY: WORCESTER
 STATE: MA

ORDER NO.: 117 MPH VULT
 SERIAL NO.: 50
 FILE NO.: 3024

CUSTOMER: HERITAGESM@DUARTRHAMER-3-STORY TOWNHO

DATE: 12/23/24
 DRAWN BY: SWT
 REV CONFO: DP0
 STATUS: CONFO

DATE: 12/23/24
SWT: 12/17/2024
REV CONFO: RPO
STATUS: CONFO

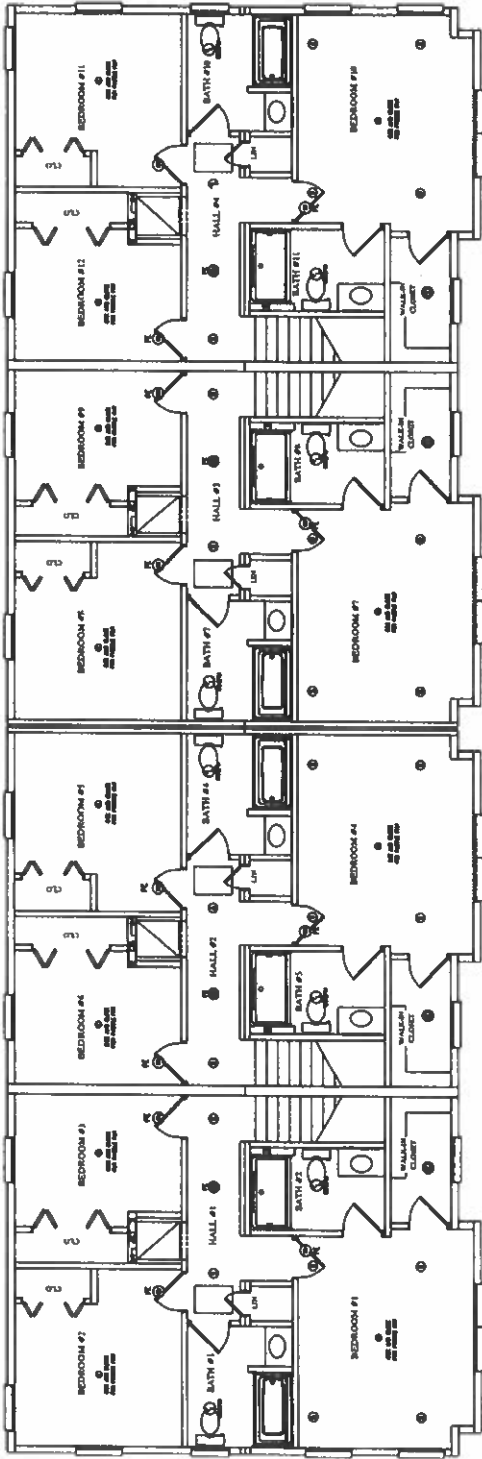
DRAWN BY:

3248-MULTI FAMILY 3 STORY
2ND STORY ELEC. PLAN

MBS&P
Professional Building Systems
27 East Street, West
Worcester, MA 01602
508-853-1818
www.mbsandp.com

PROFESSIONAL
ELECTRICAL ENGINEER
LICENSE NO. 23048

ORDER NO.	SERIAL NO.	FILE NO.
117 MPH WLT		
WIND SPEED	SHOW LOAD	50
CITY	COUNTY	STATE
WORCESTER	WORCESTER	MA
CUSTOMER: HERITAGESM@DUKESMARTWORKS.COM 3-STORY TOWNHO		



12/14/2024 AM

