

**ZONING INFORMATION**  
 BUSINESS, LIMITED - BL-1.0  
 COMMERCIAL CORRIDORS OVERLAY DISTRICT - ELSEWHERE (CCOD-E)

**DIMENSIONAL REQUIREMENTS**

UNDERLYING DISTRICT - BL-1.0  
 REQUIRED  
 MIN. LOT AREA 5,000 SF  
 MIN. FRONT YARD 10 FT  
 MAX. FRONT YARD N/A  
 MIN. SIDE YARD 10 FT  
 MIN. REAR YARD 20 FT  
 MAX. HEIGHT 40 FT  
 MAX. STORIES 3+  
 MAX. FAR 1.0  
 MIN. RECREATION AREA 2,010 SF

- 3+ INDICATES 3 STORIES PLUS ATTIC LEVEL
- "FOR BRAND NEW RESIDENTIAL USES, AT LEAST 10% OF THE LOT AREA MUST BE SET ASIDE FOR RECREATIONAL PURPOSES."

OVERLAY DISTRICT - CCOD-E

REQUIRED	PROPOSED
MIN. FRONT YARD <sup>1</sup> 5 FT	17.5 FT
MAX. FRONT YARD 15 FT	17.5 FT (RELIEF REQUIRED)
MIN. SIDE YARD (BDG) 10 FT	12 FT
MIN. SIDE YARD (WALL) 5 FT	5 FT
MIN. REAR YARD (BDG) 20 FT	54.8 FT
MIN. REAR YARD (WALL) 5 FT	10.8 FT
MAX. HEIGHT 50 FT	65 FT (RELIEF REQUIRED)
MAX. STORIES <sup>2</sup> 3+	5 (RELIEF REQUIRED)
MAX. FAR 2.0	0.9±
MIN. RECREATION AREA <sup>3</sup> 2,010 SF	2,051± SF

- MINIMUM FRONT YARD SETBACK IS 5 FEET FOR USES WITH GROUND FLOOR RESIDENCES.
- 3+ INDICATES 3 STORIES PLUS ATTIC LEVEL
- "FOR BRAND NEW RESIDENTIAL USES, AT LEAST 10% OF THE LOT AREA MUST BE SET ASIDE FOR RECREATIONAL PURPOSES."

**PLAN INTENT**

THE INTENT OF THIS PLAN IS TO SHOW THE CONCEPTUAL LAYOUT OF A PROPOSED 5 STORY MULTI-FAMILY BUILDING AND REQUESTED RELIEF FOR REVIEW BY THE ZONING BOARD OF APPEALS.

**PARKING REQUIREMENTS**

MULTI-FAMILY RESIDENTIAL USE

PROPOSED DWELLING UNITS = 24

MIN. PARKING: (CCOD-ELSEWHERE: TABLE 9.1)  
 1 SPACE PER DU = 24 SPACES  
 1 GUEST SPACE PER 10 DU  
 MIN. TOTAL = 1/DU + 1 GUEST/10 SPACES = 26 SPACES  
 PROPOSED = 15 SPACES - STANDARD  
 = 1 SPACES - ACCESSIBLE  
 = 16 SPACES - TOTAL (RELIEF REQUIRED)

PARKING BUFFER = 3 FEET  
 LANDSCAPING BUFFERS FOR PARKING AREAS SHALL BE A MINIMUM OF THREE (3) FEET IN WIDTH WITH MINIMUM FIVE (5) FEET BY FIVE (5) FEET TREE PLANTING AREAS FOR REQUIRED TREE PLANTINGS. (ARTICLE IX, §6(F))

**LANDSCAPING REQUIREMENTS**

AREA BETWEEN PARKING AND ADJUTING PROPERTY LINES SHALL CONSIST OF PERMEABLE LANDSCAPED AREAS.

**PUBLIC TRANSIT**

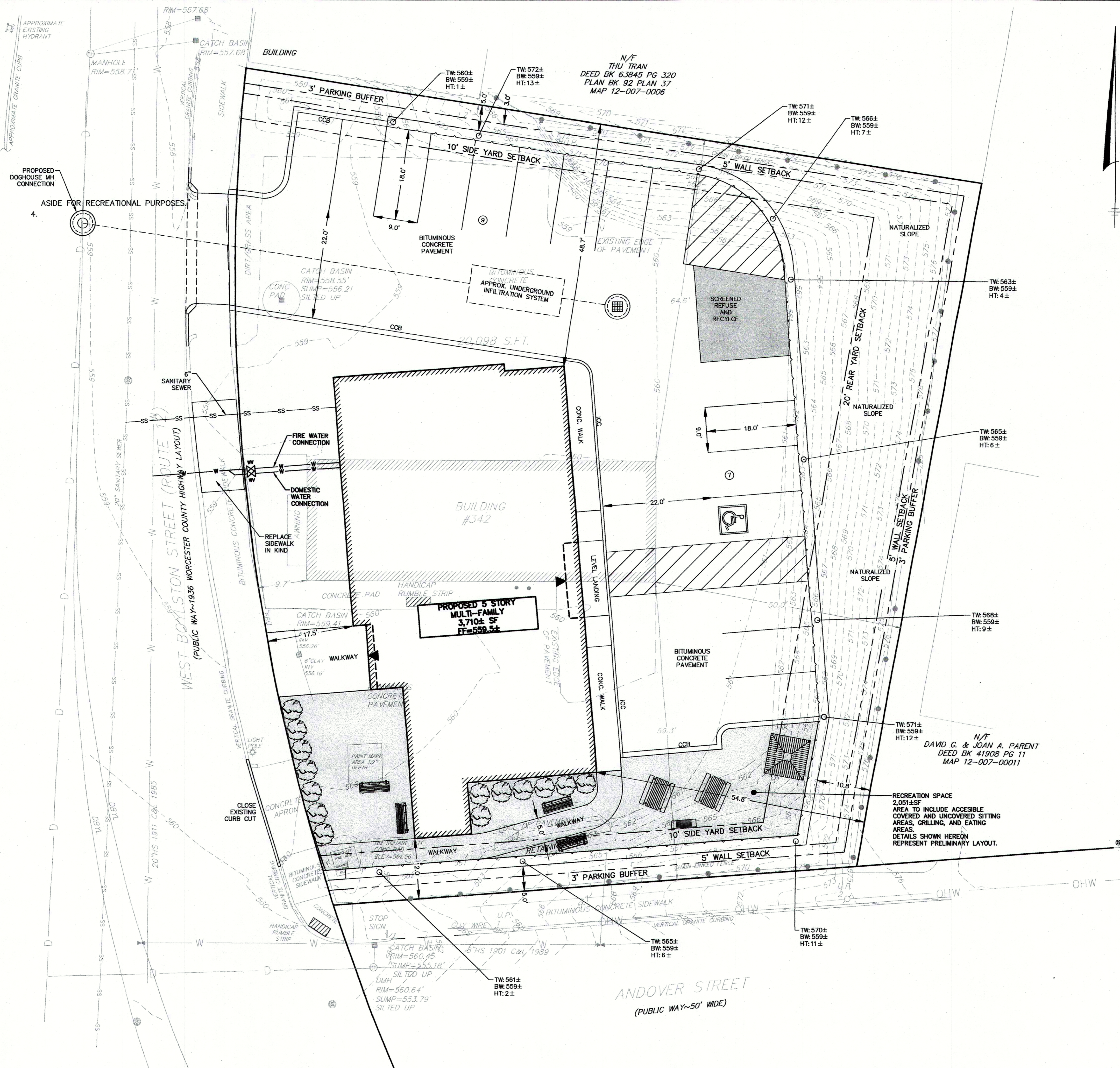
SITE IS IN IMMEDIATE PROXIMITY TO WEST BOYLSTON STREET, ANDOVER STREET WRTA BUS STOP SERVICED BY LINES 30 & 31.

**RECREATION AREA CALCULATION**

REQUIRED AREA = 0.1 x LOT AREA = 0.1 x 20,098 = 2,009.8 = 2,010 SF  
 PROVIDED EXTERIOR = 2,051 SF  
 TOTAL = 2,051 SF > 2,010 SF

**REQUESTED RELIEF**

- MINIMUM PARKING/PARKING DIMENSIONS:  
 - 8 SPACES BY VARIANCE AND 2 SPACES BY PLANNING BOARD SPECIAL PERMIT
- MAXIMUM FRONT YARD SETBACK:  
 - 2.5 FEET RELIEF BY PLANNING BOARD SPECIAL PERMIT
- MAXIMUM BUILDING HEIGHT/MAX STORIES:  
 - 15 FEET AND 2 STORIES RELIEF BY VARIANCE



342  
 WEST  
 BOYLSTON  
 STREET

Worcester, Massachusetts

PREPARED FOR:

Steven  
 Rothschild

40 Jackson Street, Suite 1000  
 Worcester, Massachusetts 01608

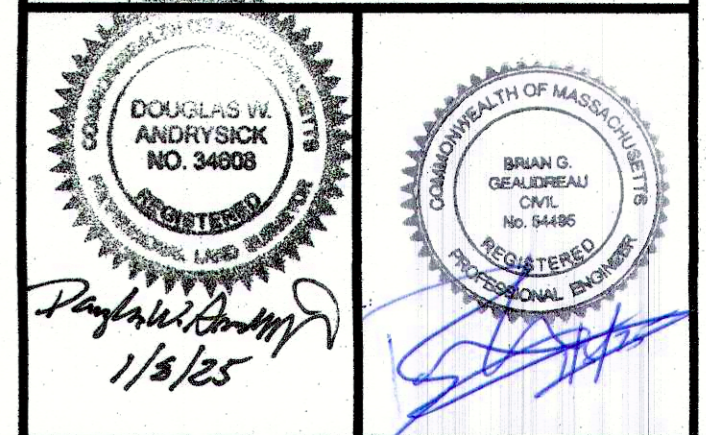
**HANCOCK  
 ASSOCIATES**

Civil Engineers

Land Surveyors

Environmental  
 Consultants

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NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION
3	MJS	BGG	01/07/25	ZONING TABLE REVISIONS
2	MRD	BGG	12/24/24	ZBA APPLICATION REVISIONS
1	MJS	BGG	12/11/24	ZBA APPLICATION REVISIONS

DATE: 12/03/24 DESIGN BY: MJS  
 SCALE: AS SHOWN DRAWN BY: MJS  
 APPVD BY: BGG CHECK BY: JP

**LAND  
 DEVELOPMENT  
 CONCEPT PLAN  
 (ZBA)**

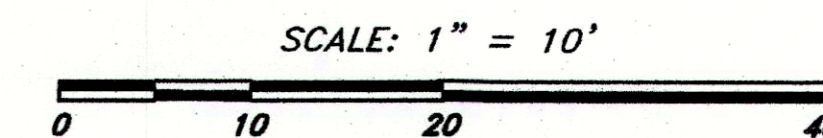
DWG: 27639C5.dwg

LAYOUT: C6

SHEET: 1 OF 1

JOB NO.: 27639

**C6**



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