

NEW CONSTRUCTION: RESIDENTIAL BUILDING

PROJECT LOCATION
342 WEST BOYLSTON STREET
WORCESTER, MA 01606

CLIENT
342 WEST BOYLSTON LLC
40 JACKSON STREET, SUITE 1000
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ARCHITECT
DIXON SALO ARCHITECTS, INC.
300 MAIN STREET, FIRST FLOOR
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ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

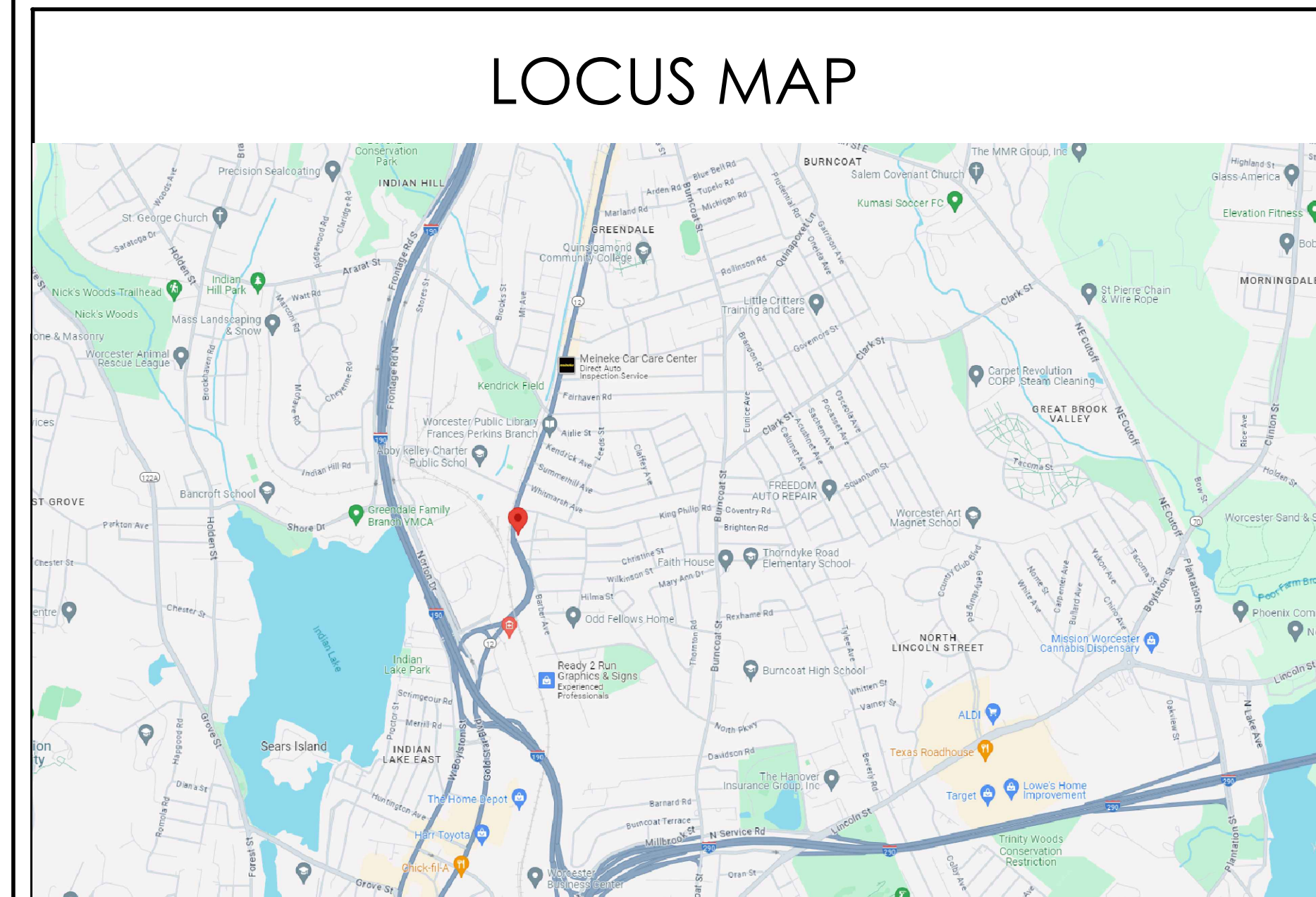
ABBREVIATIONS

A.C.T	ACOUSTICAL CEILING TILE	A.C.T	ACOUSTICAL CEILING TILE	MANUFACTURED	MFD
ACST	ACOUSTIC	ACST	ACOUSTIC	MAR	MARBLE
AF	ABOVE FINISHED FLOOR	AF	ABOVE FINISHED FLOOR	MASONRY	MASONRY
ALUM	ALUMINUM	ALUM	ALUMINUM	MASONRY OPENING	MASO
ARCH	ARCHITECT	ARCH	ARCHITECT	MAT	MATERIAL
AVG	AVERAGE	AVG	AVERAGE	MAT	MATERIAL
BM	BEAM	BM	BEAM	MCC	MISCELLANEOUS
BO	BOARD	BO	BOARD	MIL	MILL
BR	BRASS	BR	BRASS	M	METER
BRE	BRONZE	BRE	BRONZE	MIR	MIRROR
BLDG	BUILDING	BLDG	BUILDING	MISC	MISCELLANEOUS
BLFH	BUILT-IN	BLFH	BUILT-IN	MULL	MULLION
CAB	CABINET	CAB	CABINET	NAT	NATURAL
CLG	CEILING	CLG	CEILING	NOM	NOMINAL
CL	CENTER LINE	CL	CENTER LINE	NOT IN CONTACT	NIC
CM	CENTIMETER	CM	CENTIMETER	NOT TO SCALE	NIS
CER	CERAMIC	CER	CERAMIC	NUMBER	N
CLR	CLEAR	CLR	CLEAR	ON CENTER	OC
CW	COLD WATER	CW	COLD WATER	OPENING	OP
COL	COLUMN	COL	COLUMN	OPPOSITE	OPP
CONC	CONCRETE	CONC	CONCRETE	PAINTED	PI
CONCM	CONCRETE MASONRY UNIT	CONCM	CONCRETE MASONRY UNIT	PARTITION	PI
CONSTR	CONSTRUCTION	CONSTR	CONSTRUCTION	PLASTER	PL
CONTR	CONTRACTOR	CONTR	CONTRACTOR	PLASTIC LAMINATE	PLAM
DEM	DEMOLITION	DEM	DEMOLITION	PLYWOOD	PLY
DET	DETAIL	DET	DETAIL	PRESSURE TREATED	PT
DIA	DIAMETER	DIA	DIAMETER	QUANTITY	QTY
DM	DIMENSION	DM	DIMENSION	QUANTITY TILE	QT
DR	DOOR	DR	DOOR	RADIUS	R
DN	DOWN	DN	DOWN	REFERENCE	REF
DWG	DRAWING	DWG	DRAWING	REMOVE	RE
DF	DRINKING FOUNTAIN	DF	DRINKING FOUNTAIN	REQUIRED	REQ
EA	EACH	EA	EACH	REVISION	REV
ELEC	ELECTRIC	ELEC	ELECTRIC	ROUGH OPENING	RO
EW	ELECTRIC WATER COOLER	EW	ELECTRIC WATER COOLER	SCHEDULE	SCH
EQ	EQUAL	EQ	EQUAL	SECTION	SECT
EST	EQUIPMENT	EST	EQUIPMENT	SHEET	SH
ESTM	ESTIMATE	ESTM	ESTIMATE	SIMILAR	SIM
EXT	EXISTING	EXT	EXISTING	SOLID CORE	SC
EXT	EXTERIOR	EXT	EXTERIOR	SPECIFICATIONS	SPEC
FAB	FABRICATE	FAB	FABRICATE	SQUARE FEET	SF
OR FT	FEET	OR FT	FEET	SQUARE INCHES	SQ IN.
FIN	FINISH	FIN	FINISH	STAINLESS STEEL	SS
FAO	FINISHED ALL OVER	FAO	FINISHED ALL OVER	STANDARD	STD
FP	FIREPROOF	FP	FIREPROOF	STEEL	ST
FLR	FLOOR	FLR	FLOOR	STRUCTURAL	STR
FLROR	FLOORSICNT	FLROR	FLOORSICNT	SUSPENDED	SUSP
FS	FULL SIZE	FS	FULL SIZE	SYSTEM	SYS
FURN	FURNISH	FURN	FURNISH	TEMPERATURE	TEMP
GA	GAUGE	GA	GAUGE	TONGUE & GROOVE	T&G
GEN	GENERAL	GEN	GENERAL	TREAD	TR
GYP	GYPSUM BOARD	GYP	GYPSUM BOARD	UNFINISHED	UNF
GWB	GYPSUM WALL BOARD	GWB	GYPSUM WALL BOARD	URNAL	UR
HW	HARDWARE	HW	HARDWARE	VENT THROUGH ROOF	VTR
HW	HARDWOOD	HW	HARDWOOD	VERIFY IN THE FIELD	VIF
HT	HEIGHT	HT	HEIGHT	VERTICAL	VERT
HWC	HOLLOW CORE	HWC	HOLLOW CORE	VENTS TILE	VNT
HWR	HORIZONTAL	HWR	HORIZONTAL	WARRANTY	WNT
HW	HOT WATER	HW	HOT WATER	WATER CLOSET	WC
IN	INCH	IN	INCH	WATERPROOF	WP
INS	INSULATION	INS	INSULATION	WEIGHT	WF
INT	INTERIOR	INT	INTERIOR	WIDTH	W
JBOX	JUNCTION BOX	JBOX	JUNCTION BOX	WITH	W
LAV	LAVATORY	LAV	LAVATORY	WITHOUT	WO
LIC	LIGHT	LIC	LIGHT	WOOD	WD
LIC	LIGHTING	LIC	LIGHTING	WOOD	WD
LN	LINEAR	LN	LINEAR	WROUGHT IRON	WI
LNO	LINE	LNO	LINE	YARD	YD
LNO	LINOLEUM	LNO	LINOLEUM		
MFR	MANUFACTURER	MFR	MANUFACTURER		
GALV.	GALVANIZED	GALV.	GALVANIZED		
GWB	GYPSUM WALL BOARD	GWB	GYPSUM WALL BOARD		

LEGEND

SYMBOLS	MATERIALS	DRAWING SYMBOLS
	EARTH - LOAM	
	EARTH - FILL	
	GRAVEL	
	SAND	
	CONCRETE	
	CONCRETE MASONRY	
	BRICK	
	BITUMINOUS CONCRETE	
	BATT INSULATION	
	RIGID INSULATION	
	WOOD - FRAMING	
	WOOD - FINISH	
	PLYWOOD - SMALL SCALE	
	ACOUSTICAL TILE	
	STEEL	
	ALUMINUM	

LOCUS MAP



	SCHMATIC	12.16.2024
	DESIGN DEVELOPMENT	
	BID	
	PERMIT	
	CONSTRUCTION	
	EXISTING CONDITIONS	

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REVISION DATE	

DATE:	12.16.2024
SCALE:	AS NOTED
PROJECT:	-
DRAWN:	JGH
CHECKED:	JGH

PROJECT TITLE:
RESIDENTIAL BUILDING
342 WEST BOYLSTON STREET
WORCESTER, MA 01606

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T-1.0

GENERAL CONSTRUCTION NOTES

1. ALL WORK IS TO BE PERFORMED IN PROFESSIONAL AND WORKMANLIKE MANNER, IN ACCORDANCE WITH ALL APPLICABLE FEDERAL & STATE CODES, INCLUDING THE INTERNATIONAL BUILDING CODE (IBC), THESE INCLUDE, BUT ARE NOT LIMITED TO, THE INTERNATIONAL EXISTING BUILDING CODE (IEBC), MASS STATE BUILDING CODE, THE AMERICAN NATIONAL STANDARD (ANSI), THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC), THE NATIONAL ELECTRIC CODE (NEC), THE INTERNATIONAL PLUMBING CODE (IPC), THE INTERNATIONAL MECHANICAL CODE (IMC), AND THE NATIONAL FIRE PROTECTION STANDARDS, AS WELL AS ALL LOCAL REGULATIONS GOVERNING THE PROJECT.
2. CONTRACTOR TO VISIT SITE AND TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD, AND REPORT ALL DISCREPANCIES TO ARCHITECT, PRIOR TO PROCEEDING WITH WORK.
3. ALL MATERIALS USED ON THIS PROJECT SHALL BE IN COMPLIANCE WITH THE APPLICABLE INTERNATIONAL BUILDING CODE.
4. THE CONTRACTOR SHALL MAINTAIN COMPLETE AND UP-TO-DATE DRAWINGS AT THE JOB SITE, AND SHALL SUBMIT ACCURATE AS-BUILT DRAWINGS TO ARCHITECT AND OWNER AT END OF PROJECT.
5. THE INTENTION OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND OTHER ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
6. BY EXECUTING THE CONTRACT, THE CONTRACTOR REPRESENTS THAT THEY HAVE VISITED THE SITE AND HAVE FAMILIARIZED THEMSELVES WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
7. THE ARCHITECT WILL HAVE AUTHORITY TO REJECT WORK WHICH DOES NOT CONFORM TO THE CONTRACT DOCUMENTS.
8. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THEIR BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, & SHORING, AND FOR COORDINATING THE WORK OF ALL SUB-CONTRACTORS.
9. EACH CONTRACTOR SHALL PERFORM ALL REQUIRED CUTTING AND PATCHING FOR THEIR OWN TRADE, UNLESS OTHERWISE NOTED.
10. DRAWINGS SHALL NOT BE SCALED TO OBTAIN DIMENSIONS.
11. CONTRACTOR SHALL PROPERLY PROTECT AND MAKE SAFE WORK PREMISES.
12. THE CONTRACTOR SHALL KEEP THE WORKSITE CLEAN AND TIDY, AND AT ALL TIMES SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR TRASH CAUSED BY THEIR OPERATIONS.
13. ALL EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES AND SHALL MAINTAIN REQUIRED EMERGENCY EGRESS DURING CONSTRUCTION.
14. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT, AND THEIR AGENTS AND EMPLOYEES, FROM AND AGAINST ANY CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCES OF THE WORK.
15. THE CONTRACTOR SHALL PAY ALL FEES AND SECURE PERMITS FROM ALL AGENCIES HAVING JURISDICTION AND AT COMPLETION SHALL SEE THAT THE PROJECT IS SIGNED OFF BY THE APPROPRIATE AUTHORITY HAVING JURISDICTION.
16. WEATHER PROTECTION: THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST THE RAIN, WIND, STORM, FROST, OR HEAT SO AS TO MAINTAIN ALL WORK MATERIALS, APPARATUS, AND FIXTURES FROM INJURY OR DAMAGE.
17. THE CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE THE CONTRACT LIMITS AND RESTORE ALL SUCH PROPERTY TO ITS CONDITION PRIOR TO THE START OF THE WORK.
18. DAMAGE: ALL WORK DAMAGED BY FAILURE TO PROVIDE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTORS EXPENSE. THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP UNTIL THE DATE OF OWNER'S ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSES TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING CAUSED BY REPAIR OF THEIR WORK.
19. ALL FINISHES SHALL COMPLY WITH THE LIMITS FOR FIRE RESISTANCE/FLAMMABILITY AS SPECIFIED IN THE APPLICABLE INTERNATIONAL BUILDING CODE.
20. ALL DEMOLITION AND RELOCATING OF EXISTING MEP SYSTEMS EFFECTING NEW PLUMBING, HVAC, AND ELECTRICAL SYSTEMS SHALL BE COORDINATED WITH RESPECTIVE SUBCONTRACTORS. RELOCATE/REWORK ALL ACTIVE MECHANICAL AND ELECTRICAL LINES WHERE REQUIRED DUE TO REMOVALS AND NEW LAYOUT. MODIFICATIONS FROM THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE COMMENCING WORK.
21. CONTRACTORS SHALL COORDINATE WITH PROPERTY MANAGER AS REQUIRED WHEN ITEMS OF NEW PLUMBING WORK REQUIRE ACCESS TO ADJACENT COMMON AREAS, AND TENANT SPACES OUTSIDE AREA OF WORK. REPLACE AND RESTORE FINISHES TO MATCH AFTER COMPLETION OF WORK.
22. PROVIDE ALL BLOCKING REQUIRED TO INSTALL MILLWORK, EQUIPMENT, CASEWORK, GRAB BARS, RAILINGS, ETC. TYPE AND LOCATION SHALL BE SUBJECT TO REVIEW BY ARCHITECT.
23. FOAM IN PLACE INSULATION FOR SMALL GAPS AND VOIDS.
24. CAULK ALL JOINTS OF DISSIMILAR MATERIALS.
25. PLAN DIMENSIONS ARE TO FACE OF PARTITION AT INTERIOR AND FACE OF FOUNDATION AT EXTERIOR, UNLESS OTHERWISE NOTED.
26. REFER TO OWNERS ENVIRONMENTAL REPORT REGARDING CONTAMINANTS AND ASBESTOS ON THE PROJECT SITE/BUILDING.

ARCHITECT:



ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

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<input type="checkbox"/>	BID	
<input type="checkbox"/>	PERMIT	
<input type="checkbox"/>	CONSTRUCTION	
<input type="checkbox"/>	EXISTING CONDITIONS	

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REVISION DATE	

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SCALE:	AS NOTED
PROJECT:	- -
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RESIDENTIAL BUILDING
342 WEST BOYLSTON STREET
WORCESTER, MA 01606

SHEET TITLE:
GENERAL NOTES & DETAILS

SHEET NUMBER:

T-1.1

ARCHITECTS STAMP:

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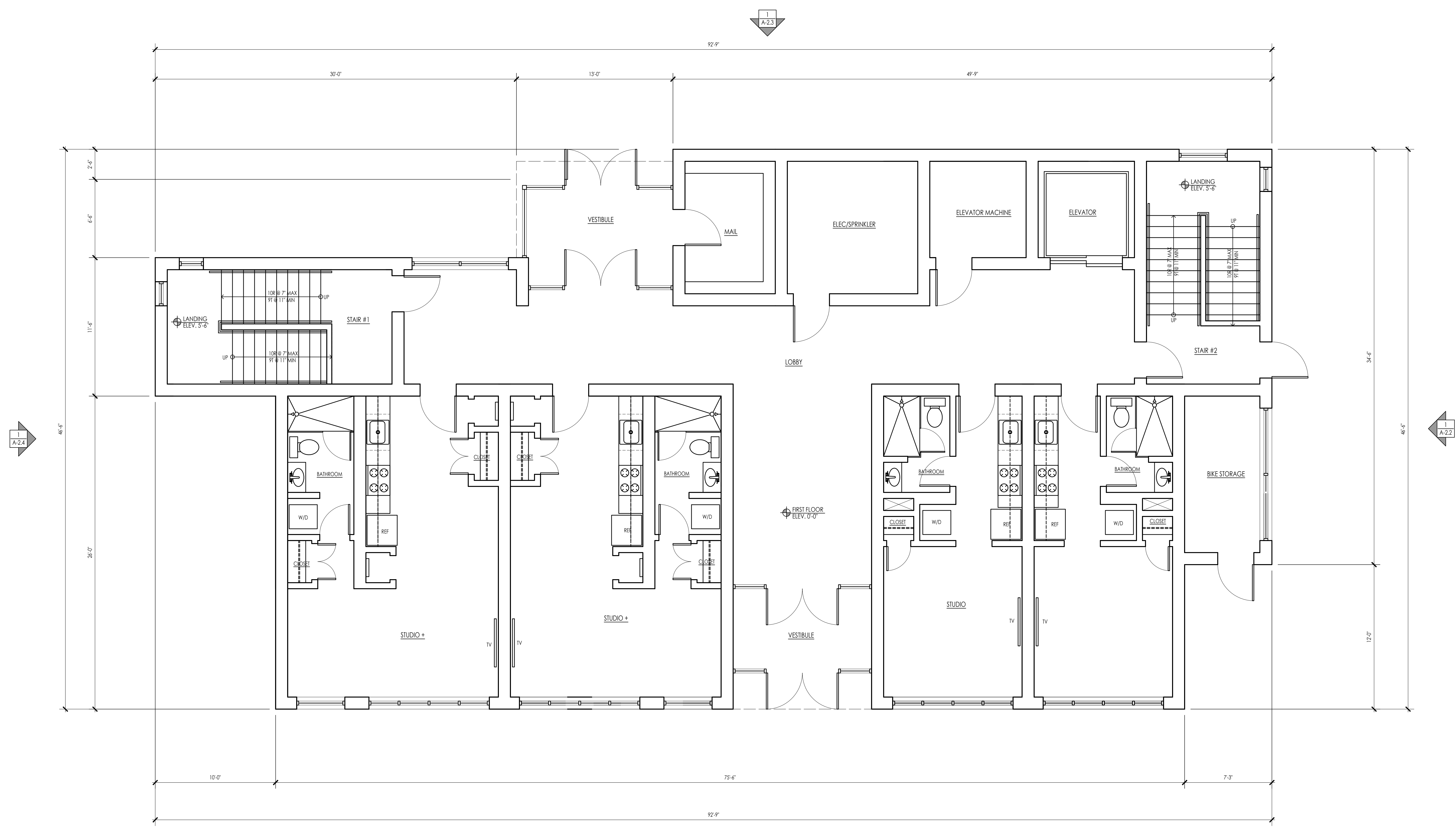
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SHEET TITLE:
 PROPOSED FIRST FLOOR PLAN

SHEET NUMBER:
A-1.1









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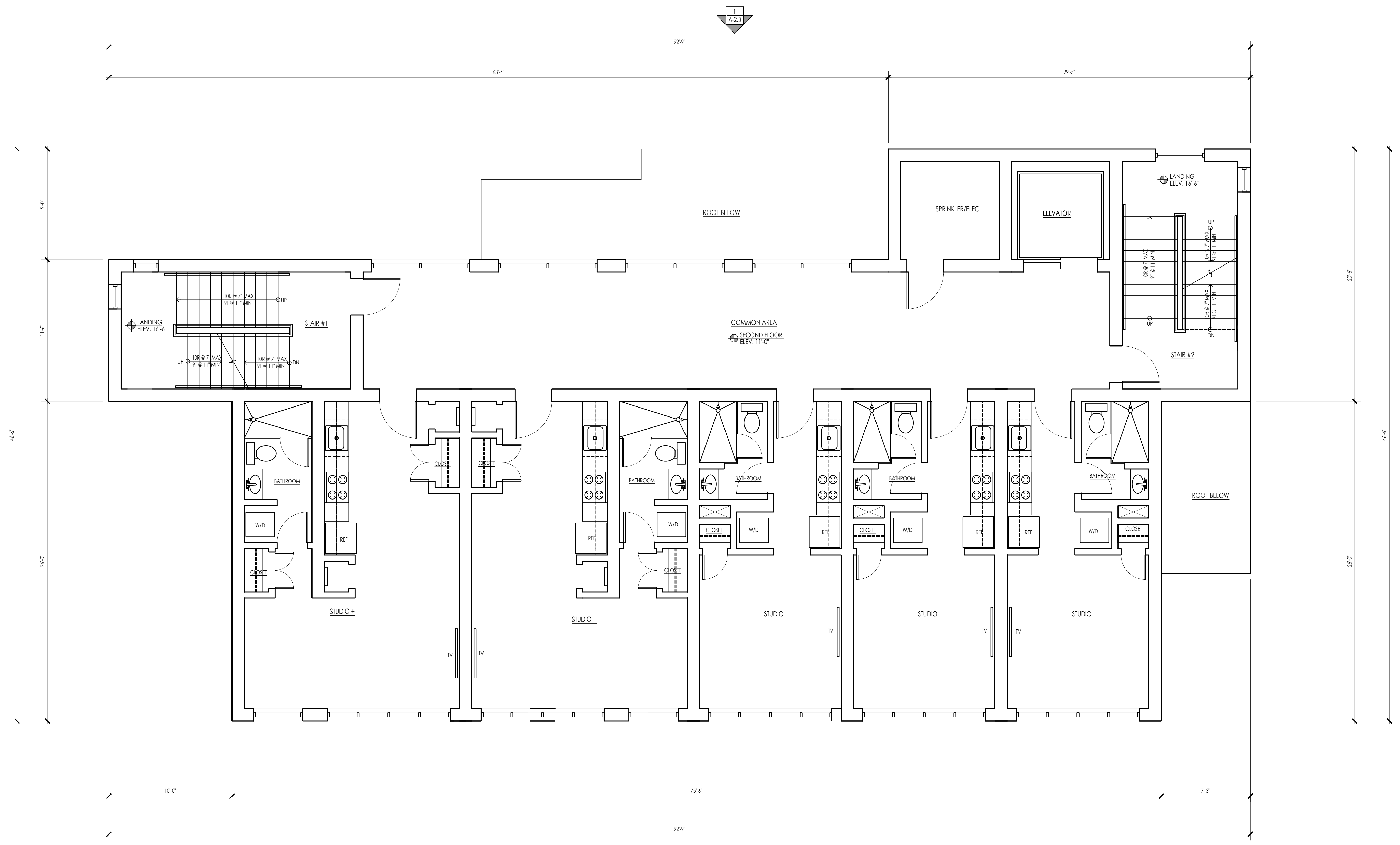
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 WORCESTER, MA 01606

SHEET TITLE:
 PROPOSED SECOND FLOOR PLAN

SHEET NUMBER:
A-1.2



PROPOSED SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0" 

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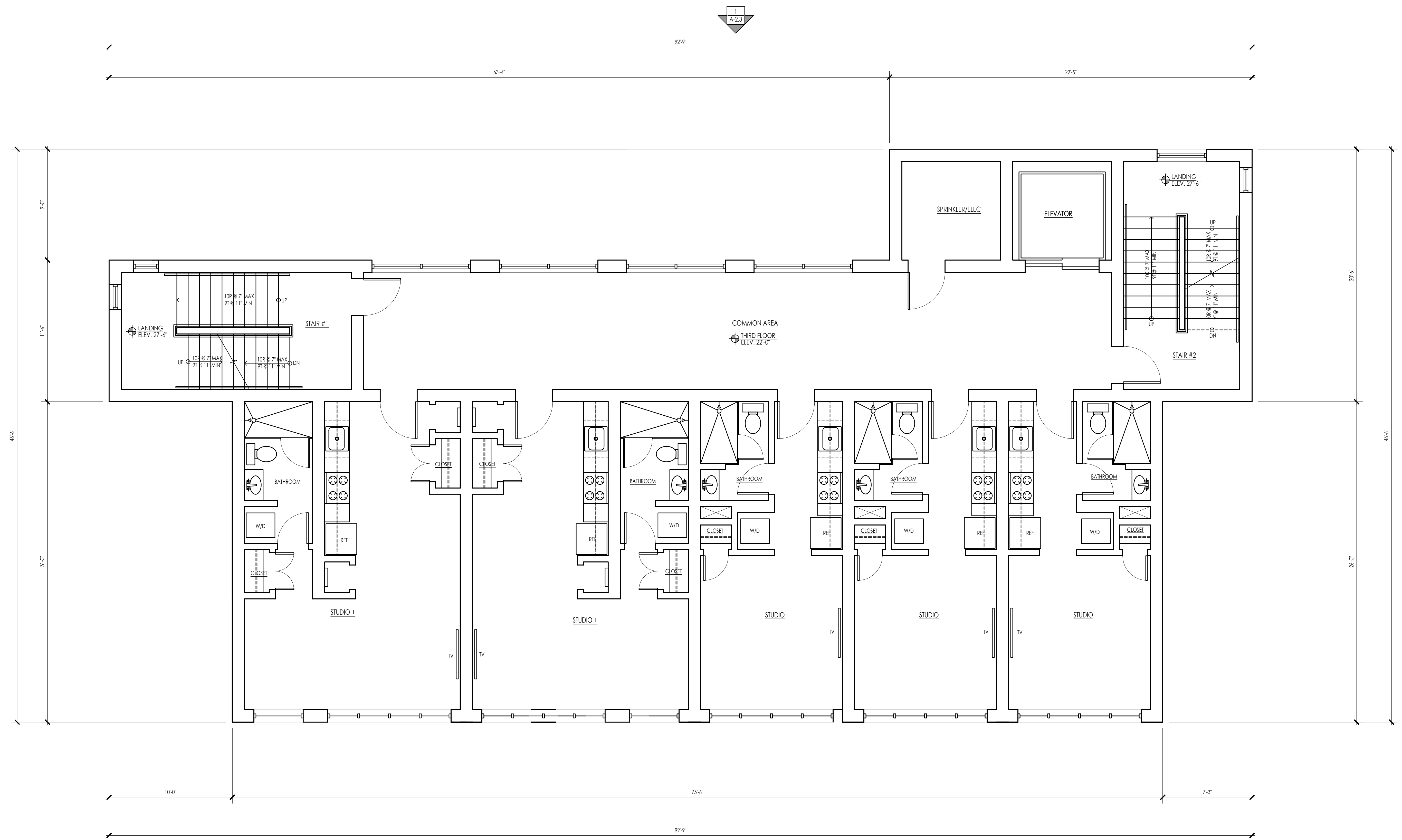
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SHEET TITLE:
 PROPOSED THIRD FLOOR PLAN

SHEET NUMBER:
A-1.3



PROPOSED THIRD FLOOR PLAN 1
R-1.3
 SCALE: 1/4" = 1'-0"

ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

■	SCHEMATIC	12.16.2024
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■	CONSTRUCTION	
■	EXISTING CONDITIONS	

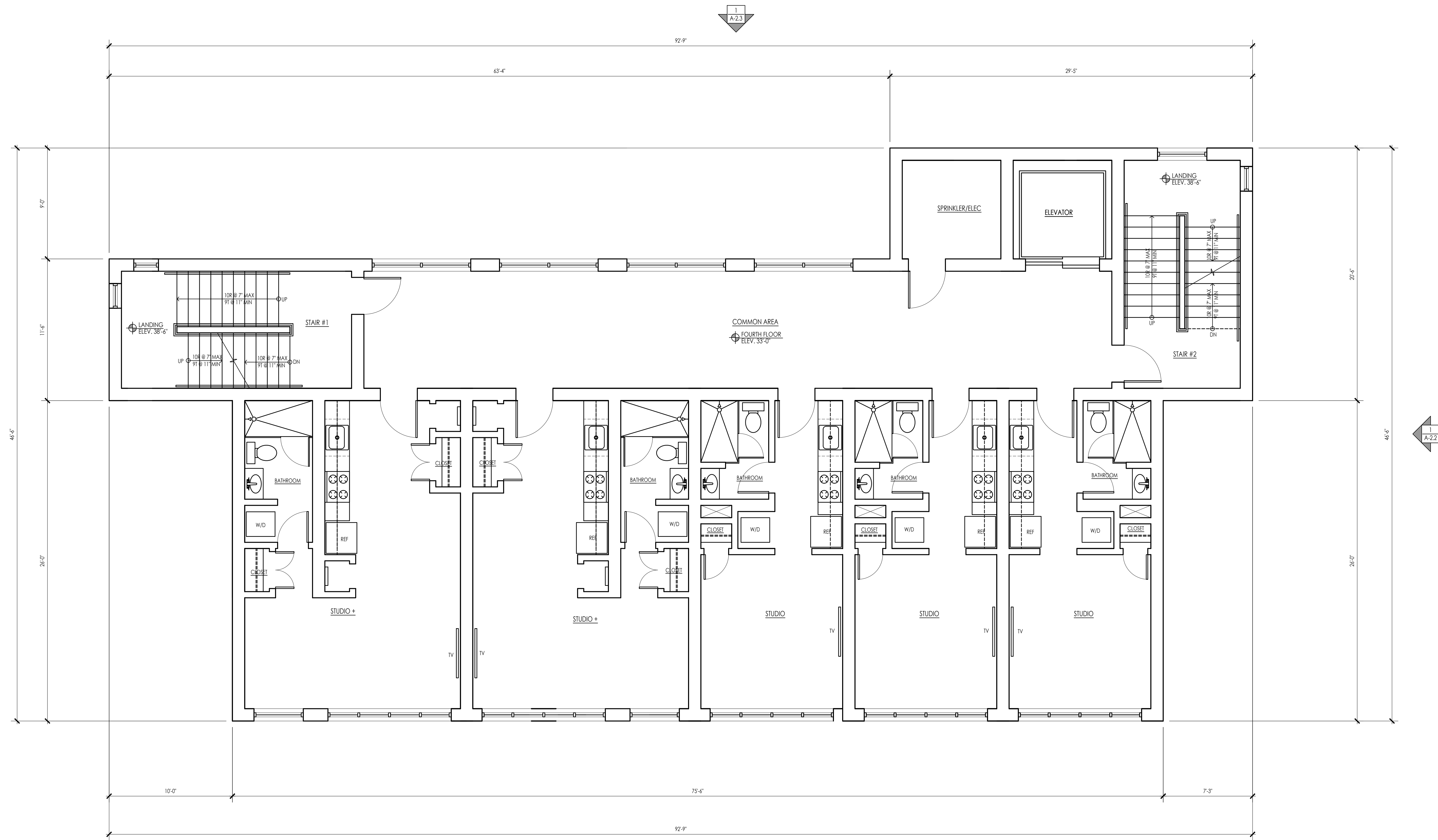
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SHEET TITLE:
 PROPOSED FOURTH FLOOR PLAN

SHEET NUMBER:
A-1.4



ARCHITECT'S STAMP:

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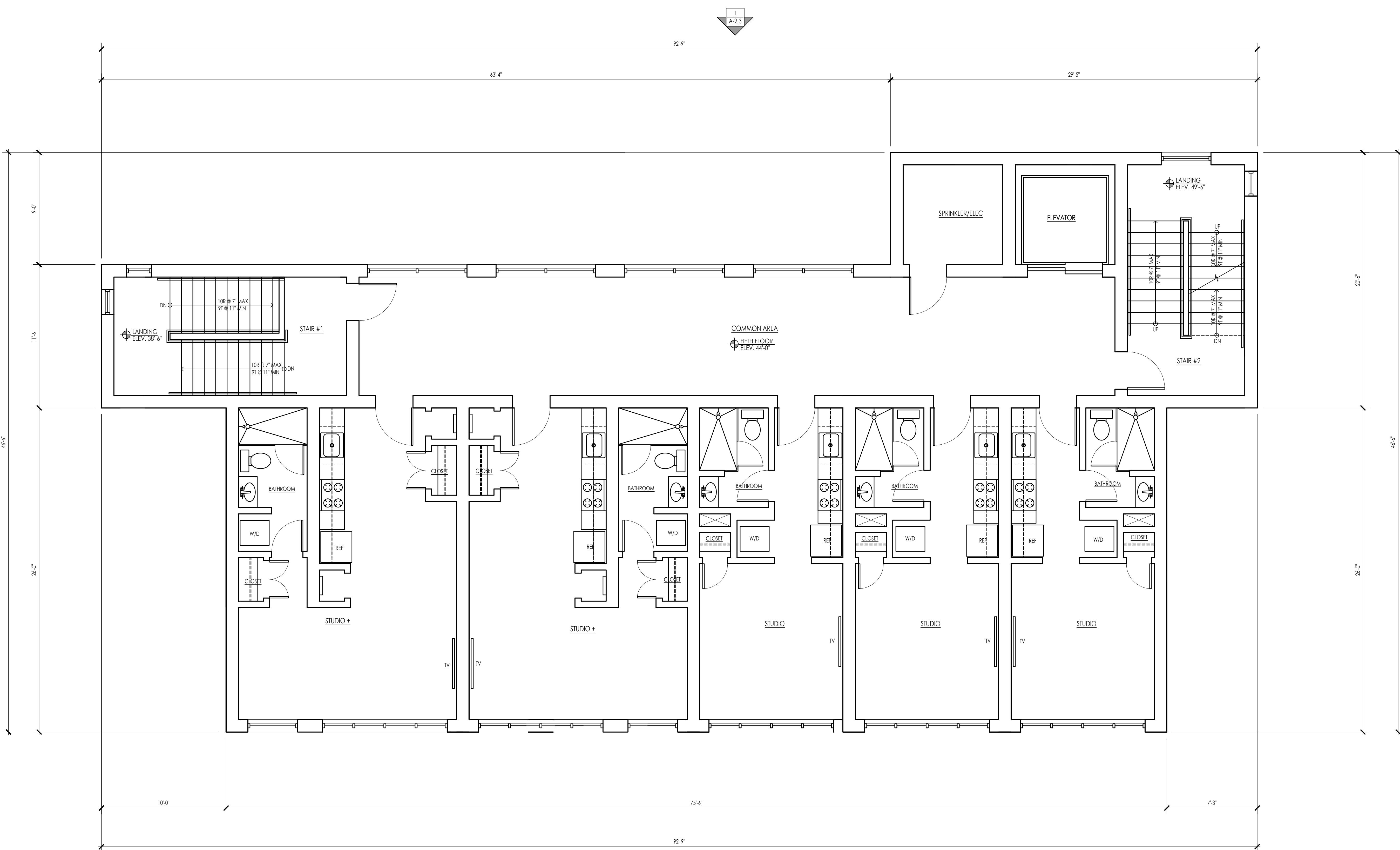
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 RESIDENTIAL BUILDING
 342 WEST BOYLSTON STREET
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SHEET TITLE:
 PROPOSED FIFTH FLOOR PLAN

SHEET NUMBER:

A-1.5



ARCHITECT'S STAMP:

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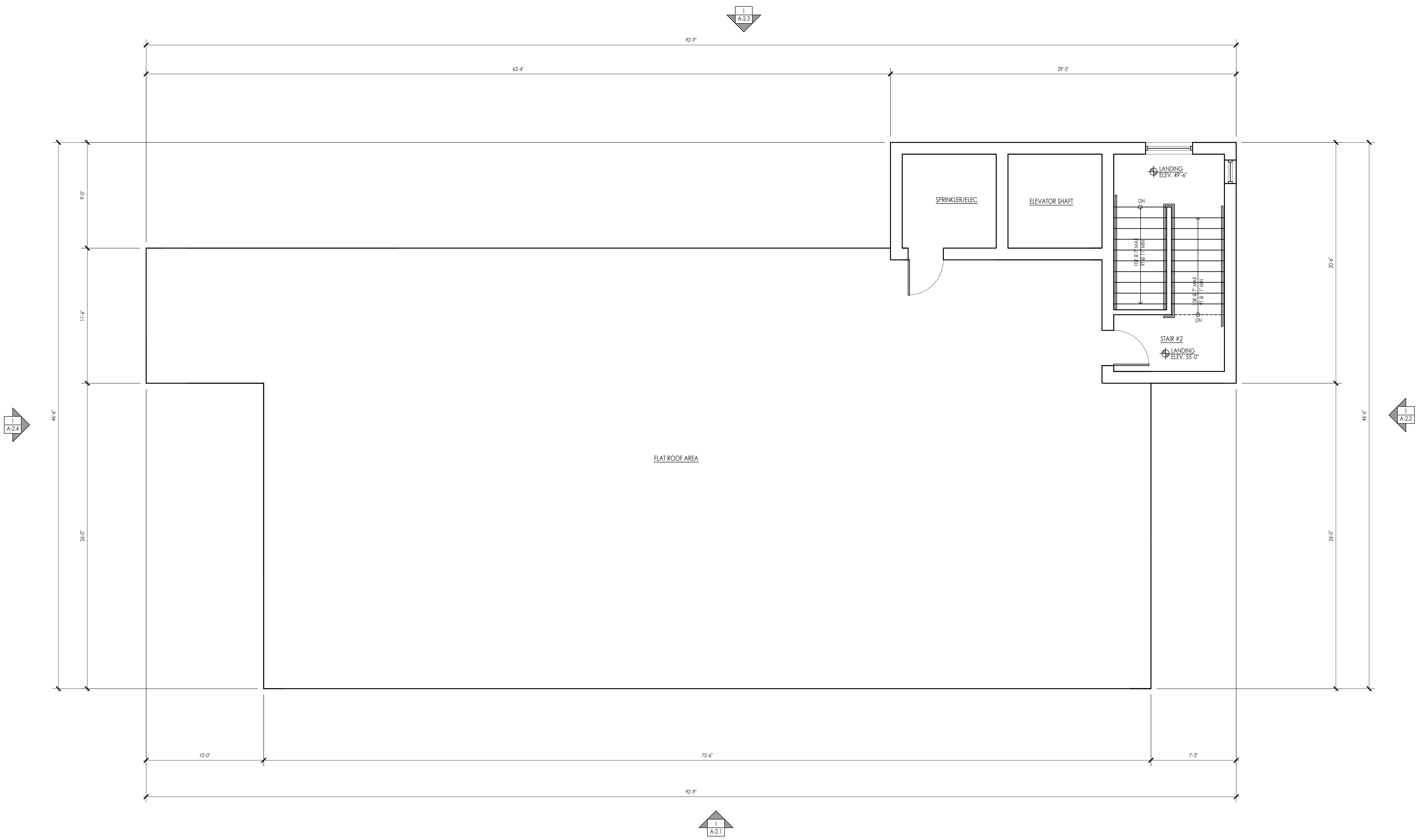
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SHEET TITLE:
 PROPOSED ROOF PLAN

SHEET NUMBER:

A-1.6



PROPOSED ROOF PLAN
 SCALE: 1/4" = 1'-0"



ARCHITECTS STAMP:

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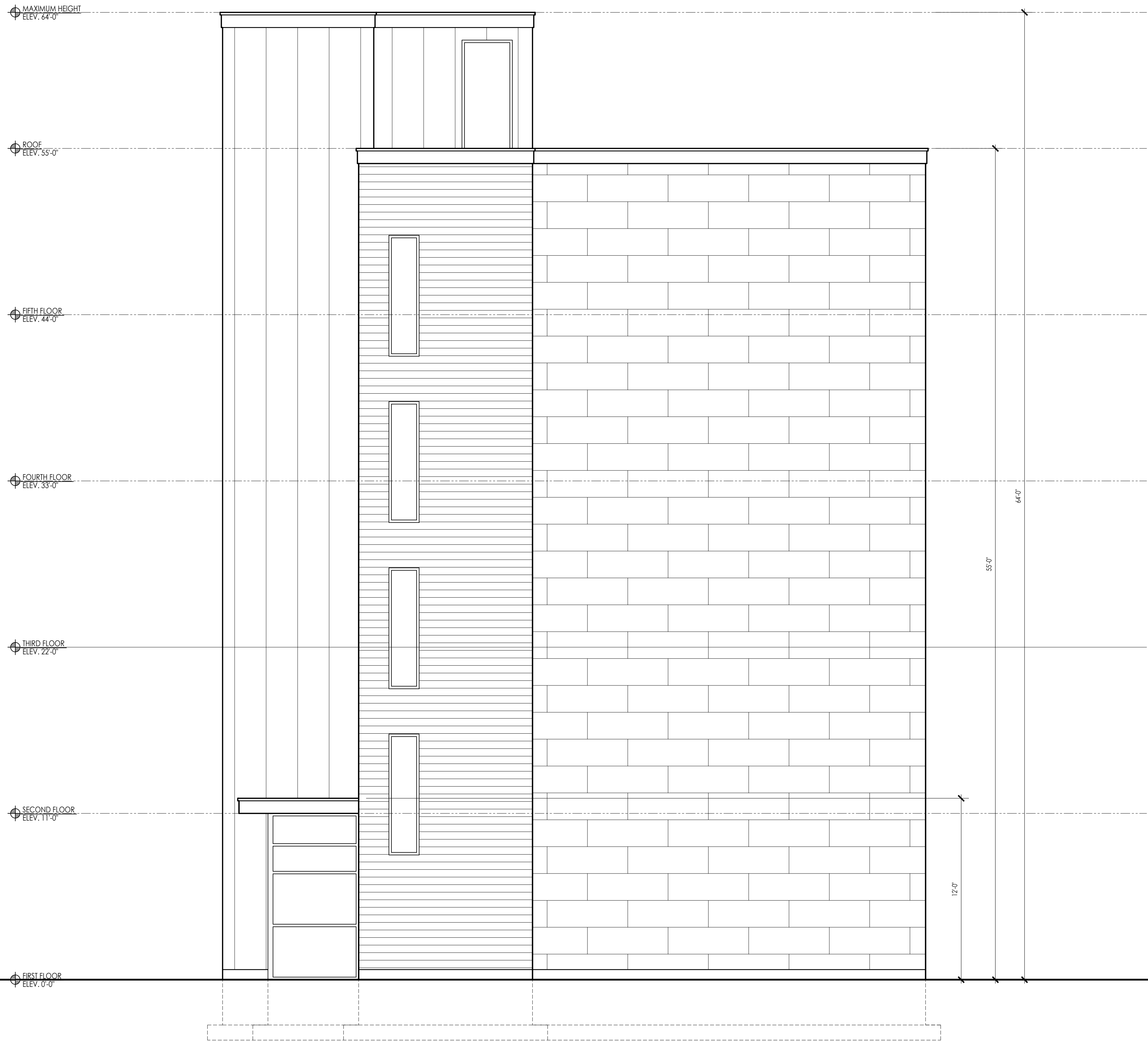
PROJECT TITLE:
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SHEET TITLE:
 PROPOSED FRONT ELEVATION

SHEET NUMBER:

A-2.1

PROPOSED FRONT ELEVATION 1
SCALE: 1/4" = 1'-0" A-2.1



ARCHITECT:

DIXON SALO ARCHITECTS
 INCORPORATED
300 MAIN STREET, FIRST FLOOR
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 ADMIN@DIXONSALOARCHITECTS.COM

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SHEET TITLE:
 PROPOSED RIGHT SIDE ELEVATION

SHEET NUMBER:

A-2.2

PROPOSED RIGHT SIDE ELEVATION 
 SCALE: 1/4" = 1'-0"

MAXIMUM HEIGHT
ELEV. 64'-0"

ROOF
ELEV. 55'-0"

FIFTH FLOOR
ELEV. 44'-0"

FOURTH FLOOR
ELEV. 33'-0"

THIRD FLOOR
ELEV. 22'-0"

SECOND FLOOR
ELEV. 11'-0"

FIRST FLOOR
ELEV. 0'-0"



PROPOSED REAR ELEVATION
 SCALE: 1/4" = 1'-0" 1
A-2.3

ARCHITECT'S STAMP:

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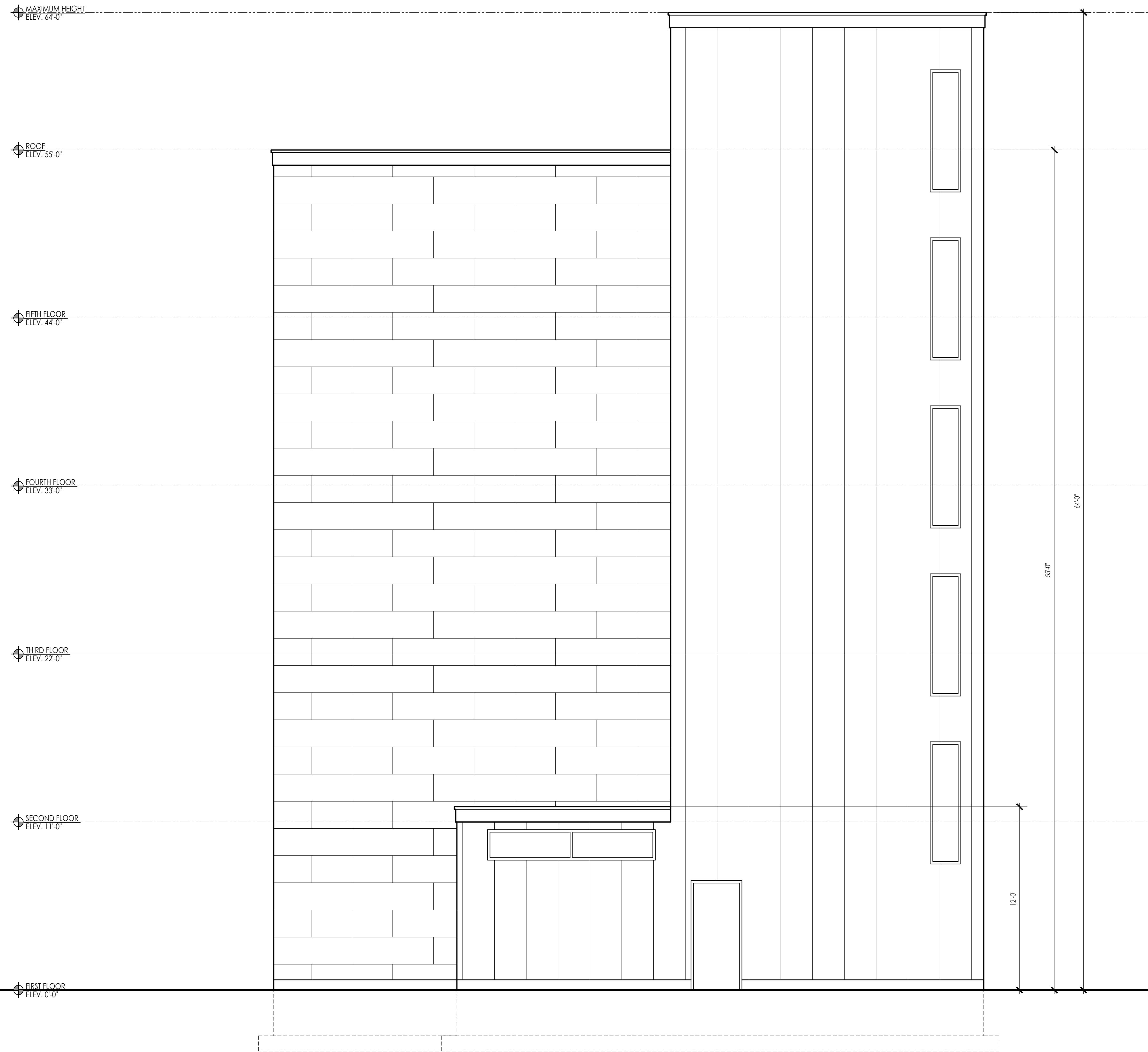
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 PROPOSED REAR ELEVATION

SHEET NUMBER:
A-2.3



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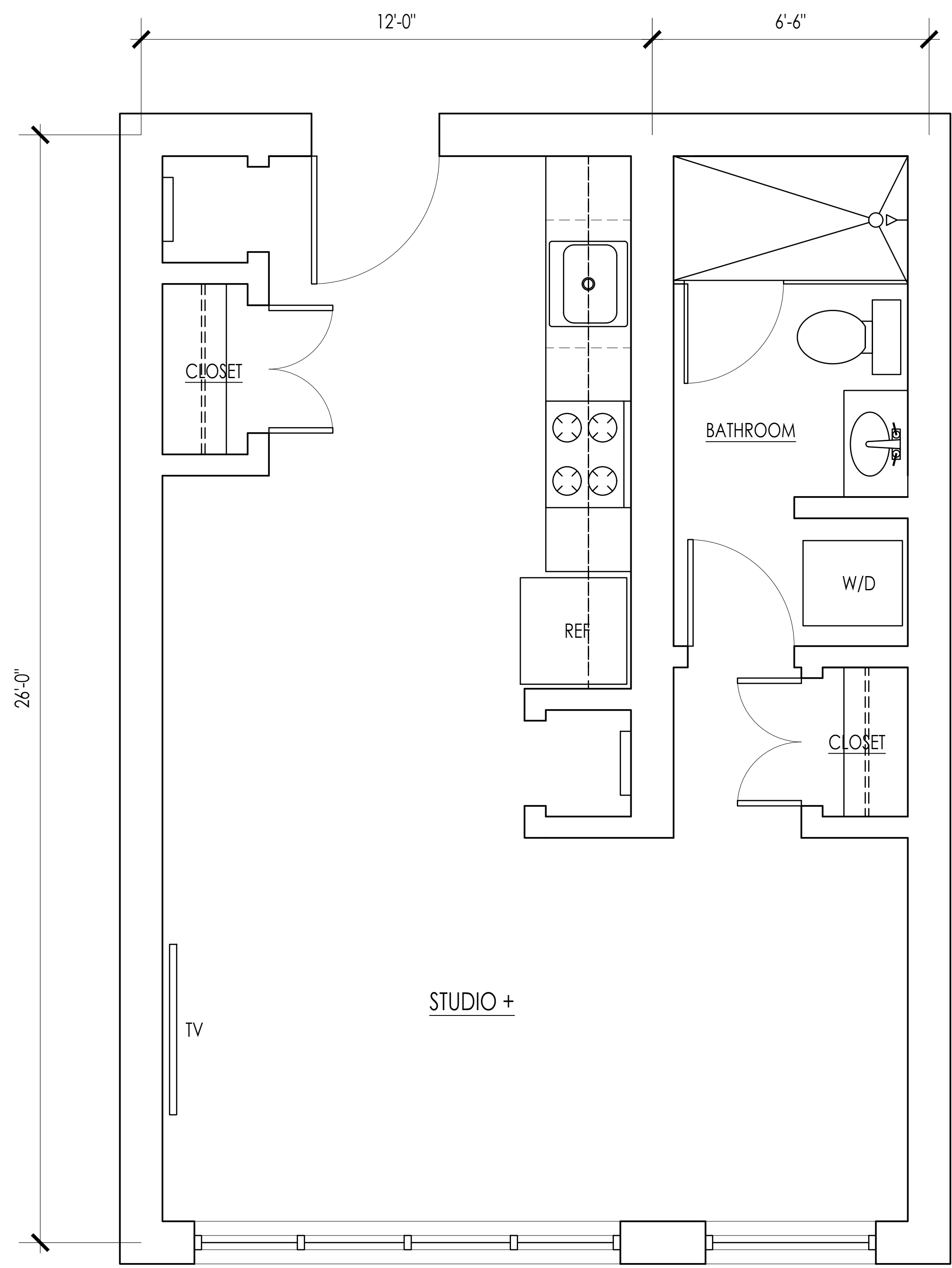
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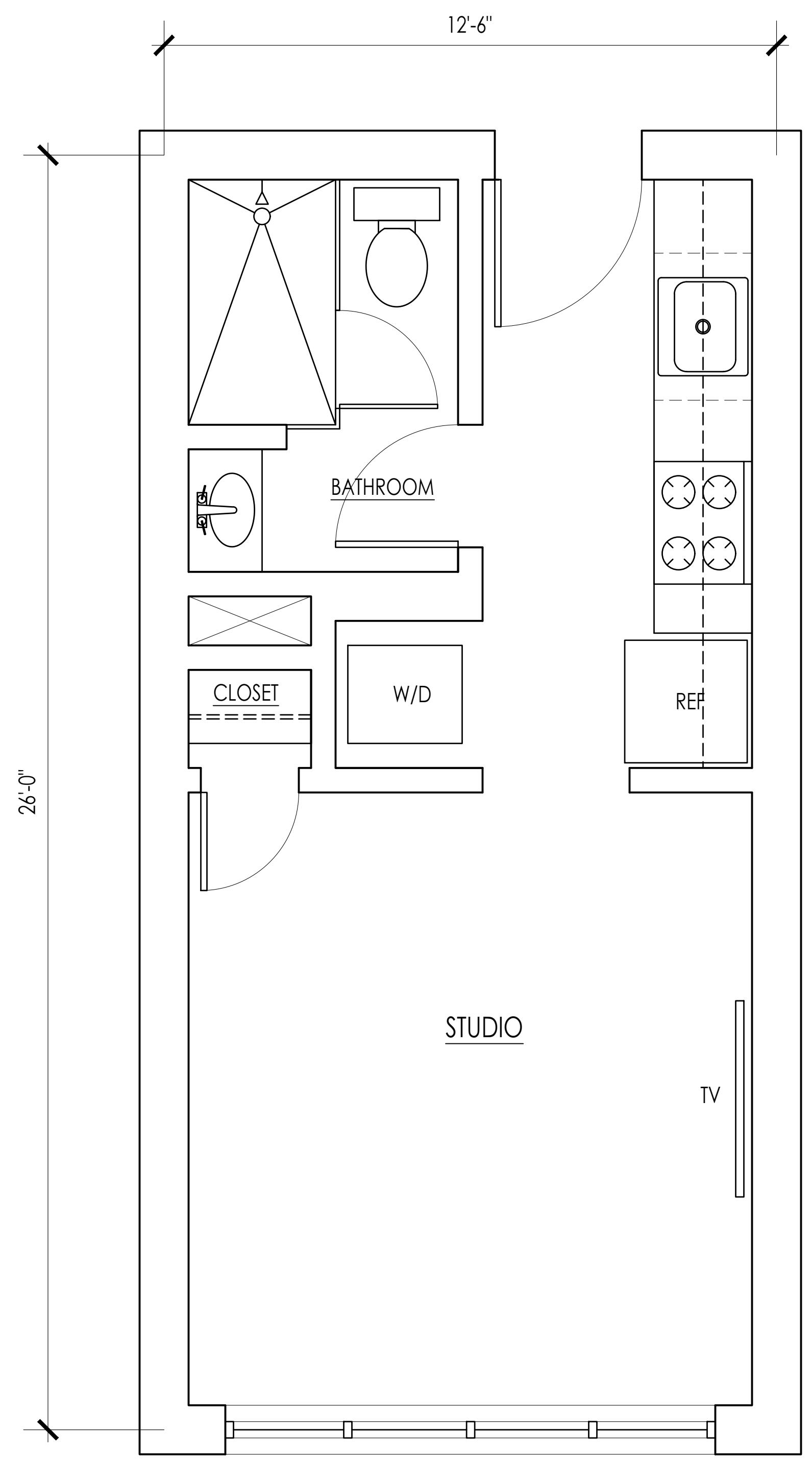
SHEET TITLE:
 PROPOSED LEFT SIDE ELEVATION

SHEET NUMBER:

PROPOSED LEFT SIDE ELEVATION 
 SCALE: 1/4" = 1'-0"



STUDIO PLUS PLAN 1
SCALE: 1/2" = 1'-0" A-3.1



STUDIO PLAN 2
SCALE: 1/2" = 1'-0" A-3.1

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHMATIC	12.16.2024
	DESIGN DEVELOPMENT	
	BID	
	PERMIT	
	CONSTRUCTION	
	EXISTING CONDITIONS	

REVISION	DATE
4	
3	
2	
1	

DATE: 12.16.2024
 SCALE: AS NOTED
 PROJECT: - -
 DRAWN: JGH
 CHECKED: JGH

PROJECT TITLE:
 RESIDENTIAL BUILDING
 342 WEST BOYLSTON STREET
 WORCESTER, MA 01606

SHEET TITLE:
 TYPICAL UNIT PLANS

SHEET NUMBER:

A-3.1