

- NOTES:**
1. THIS PLAN WAS PREPARED BY H. S. & T. GROUP, INC. OF WORCESTER, MASSACHUSETTS AND IS BASED ON AN ON THE GROUND BOUNDARY SURVEY PERFORMED BY H. S. & T. GROUP, INC. ON JUNE 18, 2018.
 2. THE DEEDS FOR THESE PARCELS ARE RECORDED IN BOOK 58780 PAGES 304 AND 317, AND BOOK 60955 PAGE 50 AT THE WORCESTER REGISTRY OF DEEDS.
 3. THE WORCESTER ASSESSOR'S GRID INDEX MAPS SHOW THESE PROPERTIES AS MAP-BLOCK-LOT 09-011-00034, 09-011-00041 AND 09-011-00004.
 4. THIS PROPERTY IS PART OF THE RESIDENCE GENERAL (RG-5) ZONING DISTRICT IN THE CITY OF WORCESTER, MASSACHUSETTS.
 5. ALL SNOW TO BE TRUCKED OFF-SITE.

LOT ZONING SUMMARY

TOTAL LOT AREA:	21,942 SF
ZONING DISTRICT:	RG-5
EXISTING USE:	1 EXISTING 3 FAMILY DWELLING (TO BE CONVERTED TO A 4 UNIT DWELLING) 1 TO REMAIN AS A 3 FAMILY
PROPOSED USE:	PROPOSED 12 UNIT DWELLING

ZONING TABLE-#51 & 55 WINDSOR (EXISTING 3 FAMILY DWELLINGS)

ZONING REGULATION-TWO FAMILY	REQUIRED/ALLOWED	EXISTING #51	EXISTING #55
MINIMUM LOT AREA	7,000 SF	7,564 SF	7,098 SF
MINIMUM LOT FRONTAGE	60 FT	54.00 FT	52 FT
MINIMUM FRONT YARD SETBACK	15 FT	14.3 FT	14.7 FT
MINIMUM SIDE YARD SETBACK	8 FT	7.0 FT	3.9 FT
MINIMUM REAR YARD SETBACK	15 FT	67.9 FT	60.9 FT

ZONING TABLE-MULTI-FAMILY

ZONING REGULATION-SINGLE FAMILY	REQUIRED/ALLOWED	4 UNIT DWELLING #1	3 UNIT DWELLING #2	12 UNIT DWELLING
MINIMUM LOT AREA	23,000 SF*	21,942 SF***	21,942 SF***	21,942 SF***
MINIMUM LOT FRONTAGE	125 FT**	158.00 FT	158.00 FT	158.00 FT
MINIMUM FRONT YARD SETBACK	15 FT	14.3 FT**	14.7 FT**	99.3 FT
MINIMUM SIDE YARD SETBACK	10 FT	16.0 FT	3.9 FT***	10.0 FT
MINIMUM REAR YARD SETBACK	15 FT	67.9 FT	60.9 FT	10.0 FT***

* MINIMUM LOT AREA: MULTI-FAMILY DWELLING LOW-RISE - FIRST UNIT = 5,000 SF + 1,000 SF PER ADDITIONAL DWELLING UNITS -> 5,000 SF + (19 UNITS X 1,000 SF) = 23,000 SF REQUIRED

** MINIMUM LOT FRONTAGE: MULTI-FAMILY DWELLING LOW-RISE - FIRST UNIT = 50 FT + 5 FT PER DWELLING UNIT TO A TOTAL OF 125 FT -> 50 FT + (5 FT X 19 UNITS) = 145 FT -> 125 FT REQUIRED

*** RELIEF GRANTED FROM THE WORCESTER ZONING BOARD OF APPEALS

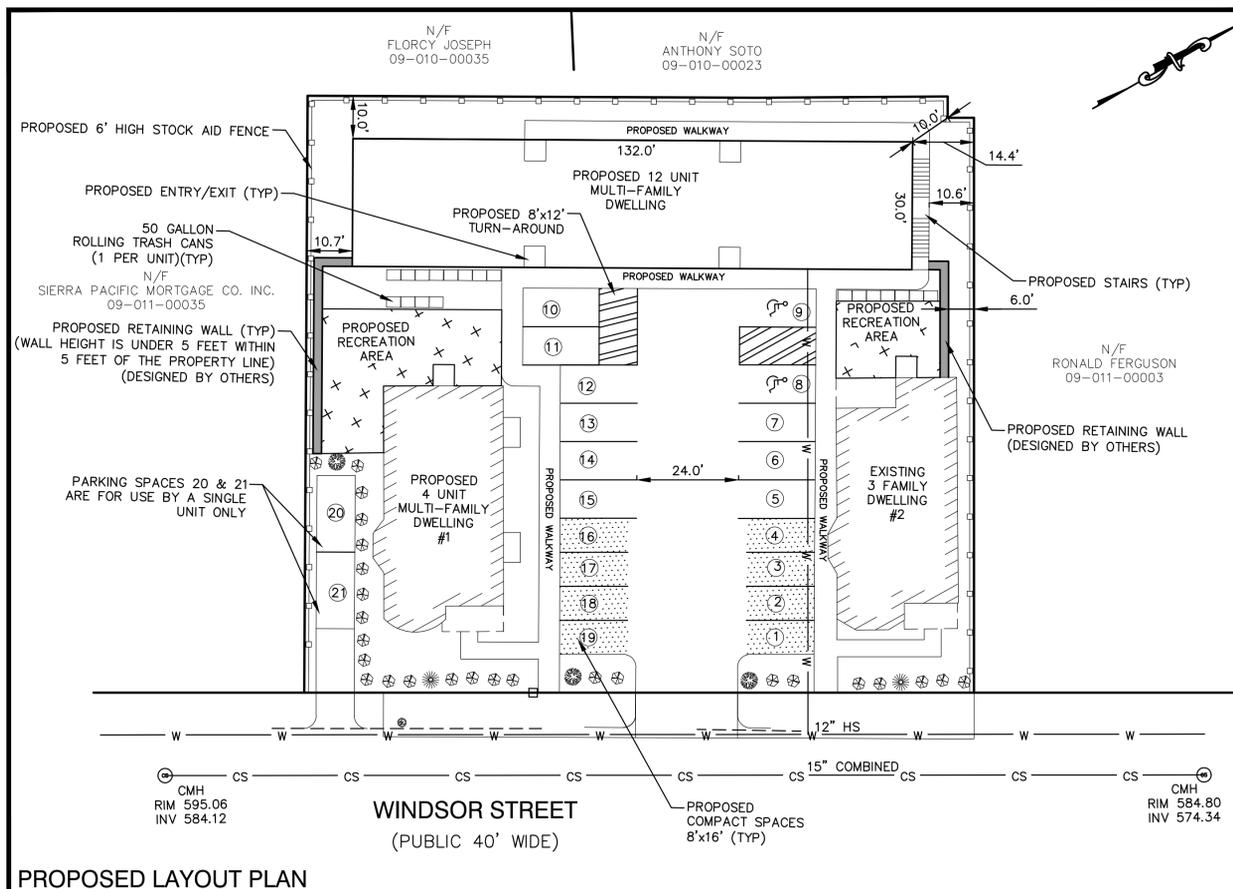
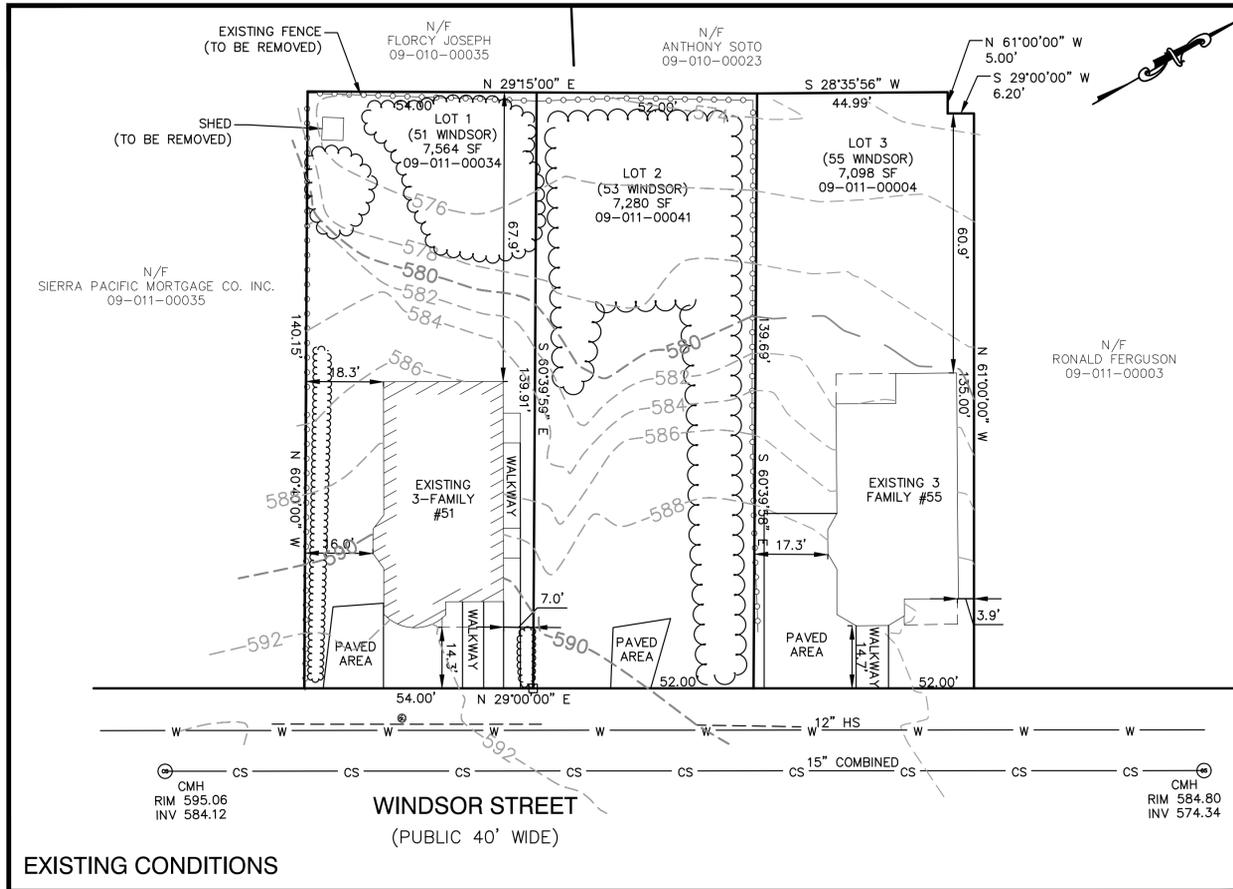
RELIEF GRANTED ON FEBRUARY 3, 2020:

- VARIANCE 1: FOR RELIEF OF 1,058 SF FROM THE 23,000 SF MINIMUM LOT AREA DIMENSIONAL REQUIREMENT (ARTICLE IV, SECTION 4, TABLE 4.2)
- VARIANCE 2: FOR RELIEF OF 6 FEET FROM THE 15 FOOT MINIMUM FRONT-YARD SETBACK DIMENSIONAL REQUIREMENT (ARTICLE IV, SECTION 4, TABLE 4.2)
- VARIANCE 3: FOR RELIEF OF 5 FEET FROM THE 15 FOOT MINIMUM REAR-YARD SETBACK DIMENSIONAL REQUIREMENT (ARTICLE IV, SECTION 4, TABLE 4.2)
- VARIANCE 4: FOR RELIEF OF 17 SPACES FROM THE MINIMUM PARKING REQUIREMENTS (ARTICLE IV, SECTION 7, TABLE 4.4)
- SPECIAL PERMIT 1: TO MODIFY DIMENSIONAL STANDARDS FOR A RESIDENTIAL CONVERSION (ARTICLE IV, SECTION 9)
- SPECIAL PERMIT 2: TO MODIFY PARKING, LOADING REQUIREMENTS, DIMENSIONAL REQUIREMENTS, LAYOUT, AND/OR THE NUMBER OF REQUIRED SPACES AND LANDSCAPING REQUIREMENTS (ARTICLE IV, SECTION 7)

SITE LANDSCAPING TABLE:

PLANTING TABLE				
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
	3	CORNUS KOUSA	KOUSA DOGWOOD	3" CALIPER
	2	CLADRASTIS KENTUKEA	AMERICAN YELLOWWOOD	3" CALIPER
	26	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	4' HEIGHT

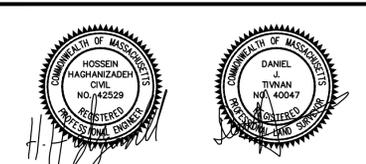
NOTE: ALL LANDSCAPING MATERIALS TO BE PLANTED ON SITE SHALL BE ASIAN LONGHORNED BEETLE RESISTANT SPECIES.



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PLAN REVISIONS:

NO.	DATE	DESCRIPTION	BY



H. S. & T. GROUP, INC.
PROFESSIONAL CIVIL ENGINEERS & LAND SURVEYORS
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DEFINITIVE SITE PLAN

51, 53 & 55 WINDSOR STREET, WORCESTER, MA

APPLICANT/OWNER:
KENSINGTON MANAGEMENT LLC
330 HIGHLAND STREET, WORCESTER, MA

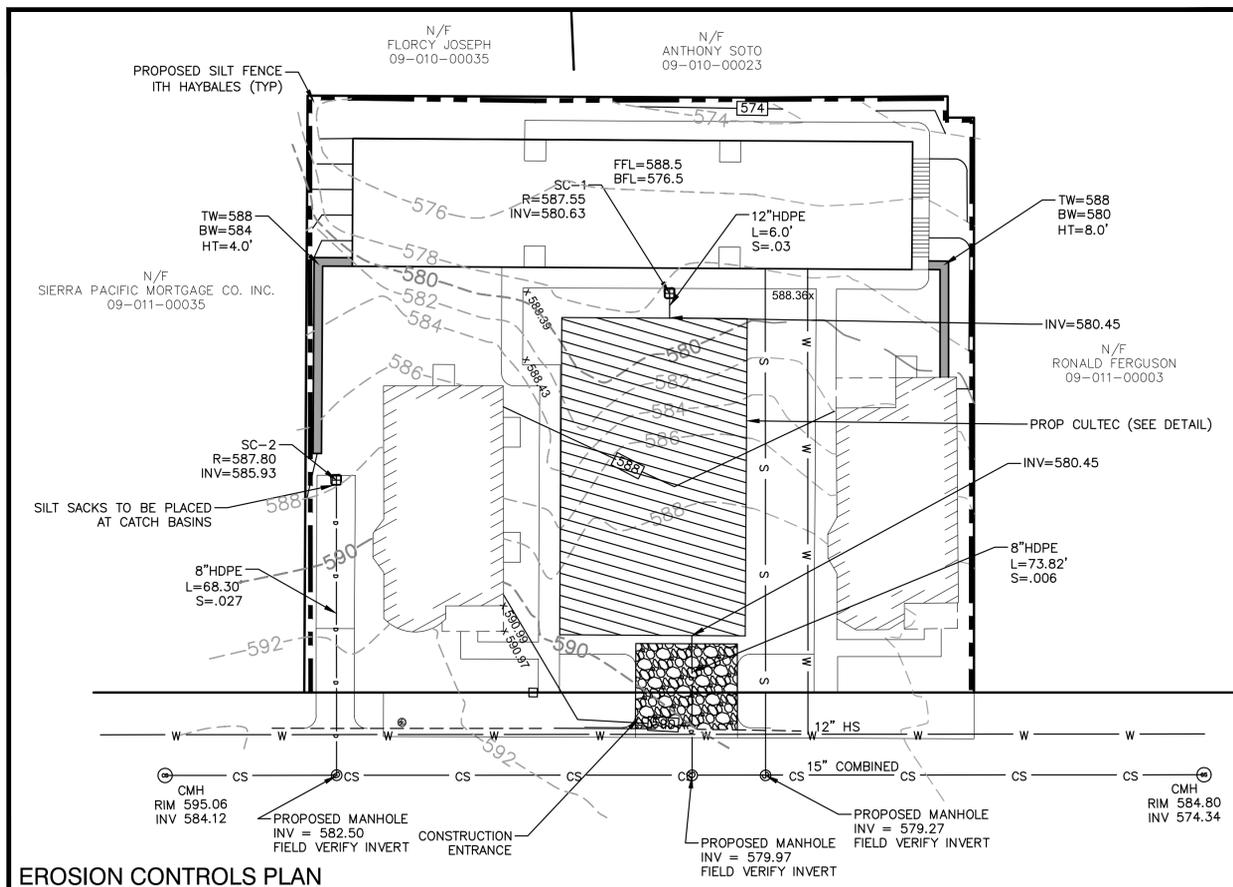
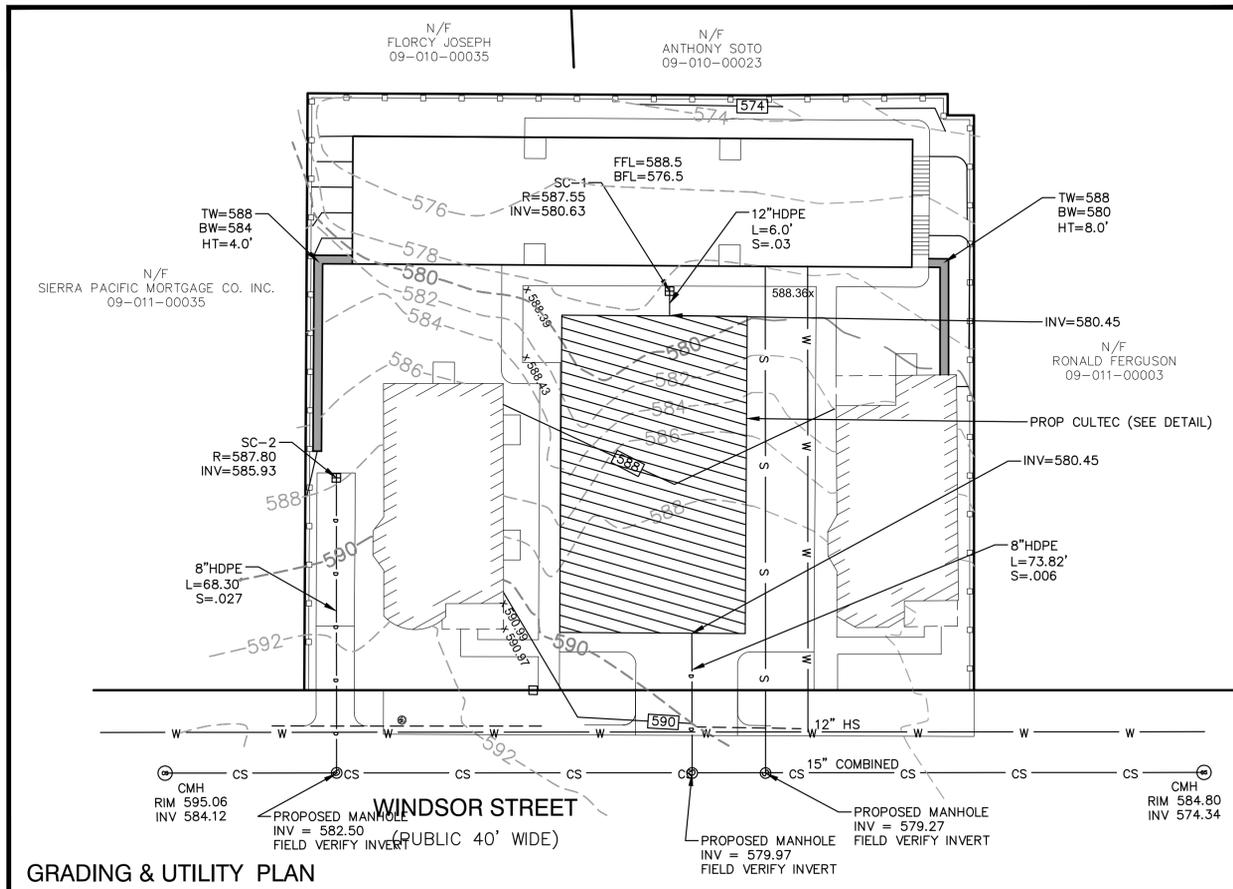
DATE: 05/20/2020	COMP'D: DJT	FIELD:	PS
SCALE: 1"=20'	CAD: STF	FLD. BK:	651-94
ZONE: RG-5	REV'D: HH	DWG:	WINDSOR-SITE
JOB NUMBER: 5933	SHEET NUMBER 1 OF 4		
DWG NUMBER: 5219			

GRADING, UTILITY & EROSION CONTROL NOTES:

- ELEVATIONS AND BENCHMARKS SHOWN HEREON ARE REFERENCED TO WORCESTER SEWER DATUM.
- ALL UTILITY GRATES, COVERS OR OTHER SURFACE ELEMENTS INTENDED TO BE EXPOSED AT GRADE SHALL BE FLUSH WITH THE ADJACENT FINISHED GRADE AND ADJUSTED TO PROVIDE A SMOOTH TRANSITION AT ALL EDGES.
- ALL PROPOSED PAVEMENT AREAS SHALL BE PITCHED AS SHOWN ON THE DRAWINGS. IF NOT OTHERWISE SHOWN, PROPOSED PAVEMENT AREAS SHALL BE PITCHED A MINIMUM OF 1% (1/8" PER FOOT) TO PROVIDE POSITIVE DRAINAGE.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER.
- ALL GRADING IS TO BE SMOOTH AND CONTINUOUS WHERE PROPOSED PAVEMENT MEETS EXISTING PAVEMENTS. EDGES ARE TO BE SAW CUT. THE PAVEMENT JOINTS ARE TO BE EMULSION OILED AND SANDED.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY AND "DIG SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION IS TO BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
- A MINIMUM OF 18 INCHES OF VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES. WATER SERVICES SHALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN LINES. ENCASEMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
- PROPOSED RETAINING WALLS IN EXCESS OF 4' IN HEIGHT SHALL BE DESIGNED BY A STRUCTURAL ENGINEER.
- PROPOSED RETAINING WALLS SHALL TIE INTO THE EXISTING GROUND SURFACE ALONG THE OUTSIDE PERIMETER OF THE WALL.
- ALL WATER SERVICES SHALL BE INSTALLED WITH A MINIMUM OF 5 FEET OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE. WATER LINES SHALL BE INSULATED IN AREAS WHERE THERE IS LESS THAN 4 FEET OF COVER.
- ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL CONFORM TO THE CITY OF WORCESTER REQUIREMENTS.
- PRESSURE AND LEAKAGE TESTING, DISINFECTION AND FLUSHING SHALL BE IN ACCORDANCE WITH ALL LOCAL MUNICIPAL STANDARDS AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH UTILITY TESTS, FLUSHING AND INSPECTION AS REQUIRED BY THE LOCAL MUNICIPALITY.
- THE PRIMARY WATER METER (AND BACKFLOW PREVENTER, IF REQUIRED) SHALL BE LOCATED AT THE POINT WHERE THE WATER LINE ENTERS THE BUILDING UNLESS OTHERWISE NOTED OR DETAILED ON THE DRAWINGS.
- WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IF MECHANICAL JOINT PIPE IS NOT USED, THEN BOTH THE WATER MAIN AND SANITARY SEWER SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE PIPES AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
- EXACT LOCATION OF UTILITY STUBS FOR BUILDINGS CONNECTIONS SHALL BE VERIFIED WITH THE BUILDING DRAWINGS. SERVICE STUBS TO THE BUILDINGS SHALL BE INSTALLED TO A POINT 10 FEET FROM THE BUILDING WALL UNLESS OTHERWISE NOTED OR DETAILED.
- ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF WORCESTER BEFORE BEING BACKFILLED. THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTION.
- ANY WORK WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF WORCESTER REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY.
- THE HAYBALES AND SILT FENCE SHALL BE INSTALLED PRIOR TO ANY CUTTING OF VEGETATION OR EARTHWORK. THE HAYBALES AND SILT FENCE SHALL SERVE AS THE LIMIT OF WORK. THE HAYBALES AND SILT FENCE SHALL BE KEPT IN GOOD WORKING ORDER DURING THE DEVELOPMENT OF THIS LOT.

LEGEND

	PROPERTY LINE
	EOP
	EDGE OF PAVEMENT
	768
	EXISTING 2' CONTOUR
	770
	EXISTING 10' CONTOUR
	772
	PROPOSED CONTOUR
	EXISTING SURFACE DRAIN MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING CATCH BASIN
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING DRAIN LINE
	PROPOSED SANITARY LINE
	PROPOSED WATER LINE
	PROPOSED DRAIN LINE
	PROPOSED SILT FENCE WITH HAYBALES
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION
	HEIGHT OF WALL
	TOP OF CONCRETE
	BASEMENT FLOOR ELEVATION
	GARAGE FLOOR ELEVATION
	EXISTING WORCESTER HIGHWAY BOUND
	EXISTING STREET LIGHT



HORIZONTAL SCALE 1"=20'

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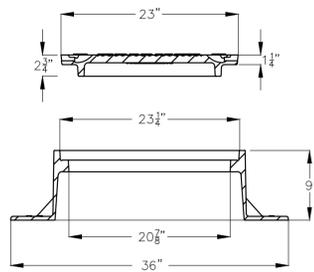


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GRADING AND UTILITIES & EROSION CONTROL PLAN
 51, 53 & 55 WINDSOR STREET, WORCESTER, MA

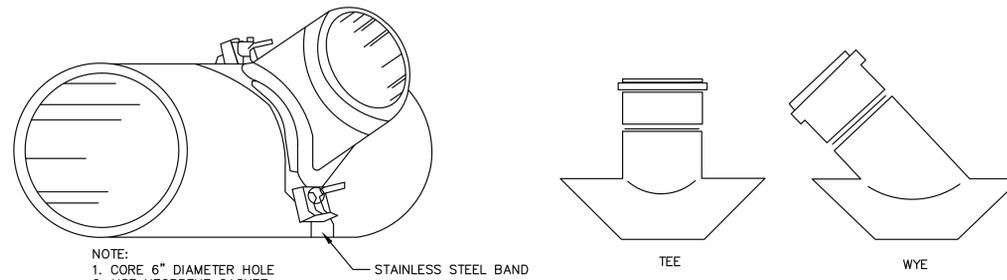
APPLICANT/OWNER:
 KENSINGTON MANAGEMENT LLC
 330 HIGHLAND STREET, WORCESTER, MA

DATE: 5/20/2020	COMP'D: DJT	FIELD: PS
SCALE: 1"=20'	CAD: STF	FLD. BK: 651-94
ZONE: RG-5	REV'D: HH	DWG: WINDSOR-SITE
JOB NUMBER: 5933	SHEET NUMBER 2 OF 4	
DWG NUMBER: 5219		

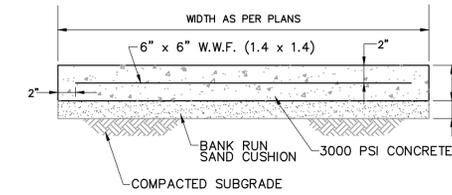


- NOTES:
1. USE LEBARON LK 110 CAST IRON FRAME AND COVER (OR APPROVED EQUAL) WITH ON-PENETRATING PICK HOLES.
 2. SET FRAME ON A FULL BED OF MORTAR.
 3. MANHOLE COVER SHALL HAVE DIAMOND PATTERN WITH THE WORD "DRAIN" CAST IN 3" LETTERS.

STANDARD MANHOLE FRAME & COVER
NTS

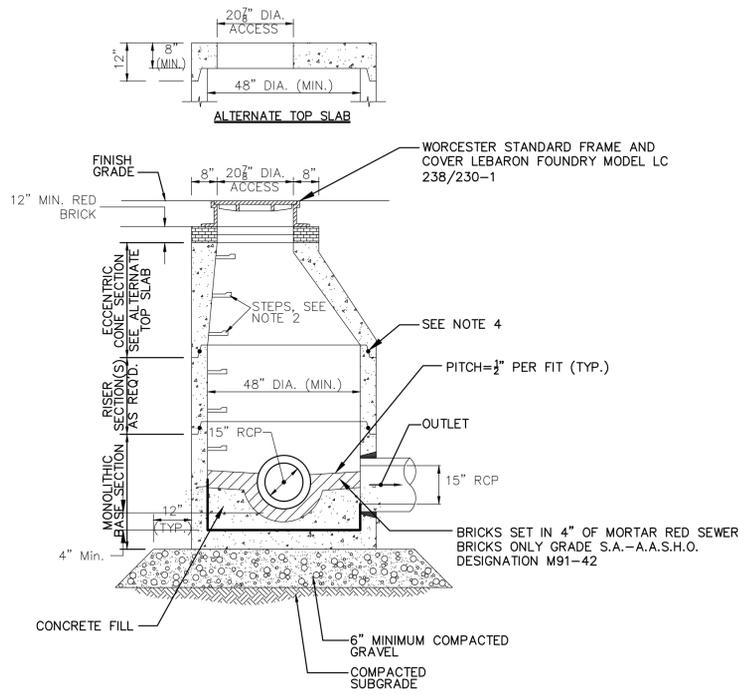


WYE & TEE SADDLES FOR 6" LATERAL SEWER CONNECTIONS DETAIL
NTS



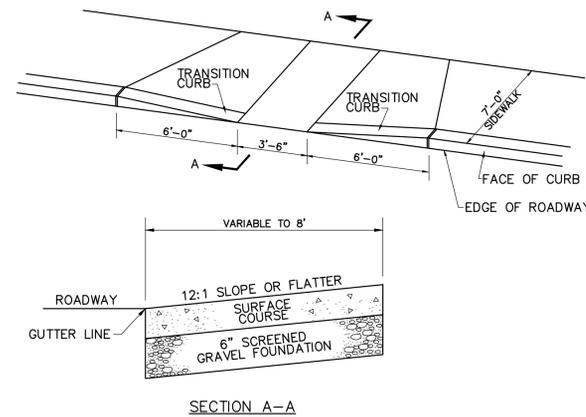
NOTE:
CONSTRUCTION JOINTS ARE TO BE AT 6' INTERVALS

CONCRETE SIDEWALK DETAIL
NTS



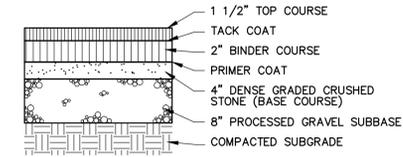
- NOTES:
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
 2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
 3. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 4. "D" RING JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.

DRAIN MANHOLE
NTS



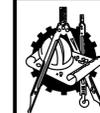
- NOTES:
1. THE DIMENSIONS SHOWN AT ROADWAY EDGE ARE FIXED DISTANCES.
 2. AN UNOBSTRUCTED PATH OF TRAVEL WITH A MINIMUM WIDTH OF 36 INCHES SHALL BE MAINTAINED THROUGHOUT THE PROJECT.
 3. PORTLAND CEMENT CONCRETE RAMPS SHALL HAVE A COARSE BROOM TEXTURE. THE RAMP TEXTURE SHALL BE PARALLEL TO THE LINE OF SLOPE. THE SIDE SLOPE TEXTURE SHALL BE PERPENDICULAR TO THE DIAGONAL SCORE LINE.
 4. IN NO CASE ARE THE RAMPS TO BE PLACED BEHIND THE STOP LINE.
 5. THE ENTRANCE OF THE HANDICAP RAMP SHALL BE FLUSH WITH THE ROADWAY.
 6. WHEN A UTILITY POLE OR OTHER FIXED OBJECTS FALL WITHIN THE CROSSWALK AREA OF A SIDE WALK, THE HANDICAP RAMP WILL BE LOCATED SUCH THAT THE OBSTRUCTIONS FALL OUTSIDE OF THE RAMP.
 7. THESE DIMENSIONS ARE SUBJECT TO CHANGE IN THE FIELD IF EXISTING APPURTENANCES OR CONDITIONS WILL MAKE THE RAMP LOCATIONS IMPRACTICAL OR UNSAFE.

HANDICAP RAMP DETAIL
NTS



BIT. CONC. PAVEMENT
NTS

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DETAIL SHEET

51, 53 & 55 WINDSOR STREET, WORCESTER, MA

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JOB NUMBER: 5933	SHEET NUMBER: 4 OF 4
DWG NUMBER: 5219	