

City of Worcester Planning Board



**DEFINITIVE SITE PLAN APPLICATION**

Division of Planning & Regulatory Services  
455 Main Street, Room 404; Worcester, MA 01608  
Office 508-799-1400 Ext. 31440 – Fax 508-799-1406

1. Name of Applicant: Kensington Management LLC

2. Address of Applicant: 330 Highland Street, Worcester, Ma

3. Telephone: 617-528-8216

4. Interest in Property:  
A. Owner  B. Developer  C. Other

5. Owner of Record: Same  
(If \_\_\_\_\_ different from Applicant)

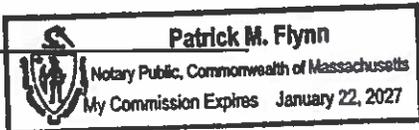
6. Address of Owner of Record: \_\_\_\_\_

7. Josh Gavel of Kensington Management  
**AUTHORIZATION:** I, ~~H.S.&T Group, Inc~~ H.S.&T Group, Inc, Owner of Record of the property listed with the Assessing Division of the City of Worcester, Massachusetts as Map \_\_\_\_\_ Block \_\_\_\_\_ Lot(s) \_\_\_\_\_, do hereby authorize H.S.&T. Group, Inc. to file this application with the Division of Planning & Regulatory Services of the City of Worcester on this the 28<sup>th</sup> day of May, 2020.

On this 27<sup>th</sup> day of May, 2020, before me personally appeared Joshua J babay, to me known to be the person described in and who executed the foregoing instrument and acknowledged that he/she executed the same as his/her free act and deed.

\_\_\_\_\_  
**NOTARY PUBLIC**

My Commission Expires: \_\_\_\_\_



(If there is more than one owner of the land to be considered in this application, a notarized authorization is required for each owner.)

8. **Approval Thresholds** (Check applicable threshold.)

<u>CATEGORY</u>	<u>SCALE</u>	<u>LOT</u>
New Residential <input checked="" type="checkbox"/>	5 or more DU <input checked="" type="checkbox"/>	15% slope <input type="checkbox"/>
Manufacturing <input type="checkbox"/>	20,000 sq. ft. <input type="checkbox"/>	15% slope <input type="checkbox"/>
Business <input type="checkbox"/>	10,000 sq. ft. <input type="checkbox"/>	15% slope <input type="checkbox"/>
General <input type="checkbox"/>	15,000 sq. ft. <input type="checkbox"/>	15% slope <input type="checkbox"/>
Subdivision <input type="checkbox"/>		
Lodging House <input type="checkbox"/>		
Airport Environs <input type="checkbox"/>		
Floodplain <input type="checkbox"/>		
Special Permit <input type="checkbox"/>		
Billboard <input type="checkbox"/>		
Historic Property <input type="checkbox"/>		
Abutting Historic Property <input type="checkbox"/>		

9. Street Address of the Property in this Application:

51, 53 & 55 Windsor Street

10. Legal Description of Property:

Book 58780 Page 304 & 317

11. Zoning Classification(s):

RG-5

Present Use:

Currently on 51 and 55 Windsor are three family dwellings. 53 Windsor Street is a vacant lot.

Zoning Relief Previously Granted (Variances, Special Permits with dates approved):

Several Special Permits & Variances (in the process of being recorded) approved February 3rd, 2020

12. **We petition for approval of the plan herewith submitted that illustrates proposed construction, which we would make available through:**

New Construction <input checked="" type="checkbox"/>	<input type="checkbox"/>
Conversion <input type="checkbox"/>	<input type="checkbox"/>
Expansion <input type="checkbox"/>	<input type="checkbox"/>
Rehabilitation <input checked="" type="checkbox"/>	<input type="checkbox"/>

13. **Development Contains the Following:**

<u>Residential</u>	
Number of Dwelling Units	<u>19</u>
Number of Buildings	<u>3</u>
Number of Parking Spaces	<u>21</u>

<u>Non-Residential</u>	
Building Square Footage	<u>          </u>
Number of Buildings	<u>          </u>
Number of Parking Spaces	<u>          </u>

14. **Describe Proposed Use/General Description of Proposed Development of Property:**

The applicant seeks to combine three lots in order to convert the existing 3 family dwelling into a 4 family dwelling and construct a separate 12 unit dwelling in the rear of the lot. The existing three family at 55 Windsor will remain a three family. All units are designated to be for low income housing. A 21 car parking lot with associated driveway is proposed to service the three buildings.

15. **Project Impact Statement:** Check all areas that, in the proponent's judgment, an impact of this project may occur. Positive impacts as well as adverse impacts should be indicated.

	<u>None</u>	<u>Positive</u>	<u>Adverse</u>
<b>A. <u>Land Development</u></b>			
Conformance with Comprehensive Plans and Zoning	_____	_____✓_____	_____
Compatibility and Urban Impact	_____	_____✓_____	_____
Slope	_____	_____✓_____	_____
Erosion	_____	_____✓_____	_____
Soil Suitability	_____	_____✓_____	_____
Hazards and Site Safety	_____✓_____	_____	_____
Historic, Cultural and Archaeological Resources	_____✓_____	_____	_____
<b>B. <u>Community Facilities/Services</u></b>			
Education	_____✓_____	_____	_____
Health Care	_____✓_____	_____	_____
Social Services	_____✓_____	_____	_____
Solid Waste	_____✓_____	_____	_____
Water Supply	_____✓_____	_____	_____
Stormwater	_____	_____✓_____	_____
Public Safety	_____✓_____	_____	_____
Parks & Recreation	_____✓_____	_____	_____
Open Space	_____✓_____	_____	_____
Transportation	_____✓_____	_____	_____
Vehicular	_____✓_____	_____	_____
Pedestrian	_____✓_____	_____	_____
Parking	_____	_____✓_____	_____
<b>C. <u>Environmental Issues</u></b>			
Noise	_____✓_____	_____	_____
Air Quality	_____✓_____	_____	_____
Wetlands	_____✓_____	_____	_____
Flood Hazards	_____✓_____	_____	_____
Hazardous Materials	_____✓_____	_____	_____
Vegetation/Wildlife	_____✓_____	_____	_____
<b>Does this project require approval under MEPA?</b>		No _____✓_____	Yes _____

**worcester Planning Board**  
**Environmental Impact Summary**

1. **Project Description:**

**State total area of project:**

a. Developed	<u>0.5</u>	acres
b. Open Space/Woodlands/Recreation	<u>.04</u>	acres
c. Wetlands	<u>NA</u>	acres
d. Floodplain	<u>NA</u>	acres
e. Other	<u>NA</u>	acres

**Provide the following dimensions, if applicable:**

	<u>Existing</u>	<u>Increase</u>	<u>Total</u>
Length of roadways in miles	<u>        </u>	<u>        </u>	<u>        </u>
Number of housing units	<u>6</u>	<u>13</u>	<u>19</u>
Number Of stories	<u>3</u>	<u>0</u>	<u>0</u>
Gross floor area in square feet	<u>3076</u>	<u>3960</u>	<u>7036</u>

2. **Permits Required-** List any Federal, State or City of Worcester agencies from which permits or other actions have been or will be sought.

<u>AGENCY NAME</u>	<u>PERMIT TYPE</u>	<u>DATE FILED</u>	<u>FILE #</u>
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3. **Project Impacts** - Check all areas in which an impact from this project may occur. Positive impacts as well as adverse impacts may be indicated.

Construction Impacts      Long Term Impacts

Wetlands/Water Pollution	_____	_____
Traffic/Parking	_____	_____ ✓
Open Space/Recreation	_____	_____ ✓
Historical/Archeological	_____	_____
Fisheries/Wildlife	_____	_____
Vegetation/Trees	_____	_____ ✓
Sanitary Sewerage	_____	_____ ✓
Water Supply/Use	_____	_____ ✓
Solid Waste	_____	_____ ✓
Hazardous Materials	_____	_____
Air Pollution	_____	_____
Noise	_____ ✓	_____
Other (Specify)	_____	_____

4. **Assessment of Potential Adverse Environmental Impacts**

a. **Wetlands/Water Pollution**

Conservation Commission File #, if any \_\_\_\_\_  
 Existing and Proposed Slopes \_\_\_\_\_  
 Soil Types \_\_\_\_\_

If applicable, have hydraulic/hydrologic calculations been completed? (Attach if completed.)      Yes  No

Are erosion controls provided? (Attach plans if completed.)      Yes  No

Is the project located within a 100 Year Floodplain?      Yes  No

If so, list cubic feet of flood storage taken. \_\_\_\_\_

List cubic feet of flood storage replaced. \_\_\_\_\_

b. **Traffic/Parking**- Attach traffic and parking plan, if applicable:

	<u>Existing</u>	<u>Increase</u>	<u>Total</u>
Number of parking spaces	2	19	21
Total # daily vehicle trips to and from site (total trip ends)	_____	_____	_____

**Traffic/Parking (cont.)**

Estimated average daily traffic on road(s) serving site:      Existing Increase Total

1.	_____	_____	_____	_____
2.	_____	_____	_____	_____
3.	_____	_____	_____	_____

c. **Open Space/Recreation**- Is the project in an area listed in the most recent City of Worcester Open Space Plan: Yes \_\_\_ No

Is the project within 500 feet of any public open space, recreation or conservation land: Yes \_\_\_ No

Indicate any open space/recreational plans that are part of this project, if applicable:  
Applicant is proposing a 1,500 SF +/- recreation area for residence.

d. **Historical/Archaeological**- Might any structure or site of historical or archaeological significance be affected by this project: Yes \_\_\_ No   
(Prior consultation with the Worcester Historical Commission is advised.)

e. **Fisheries/Wildlife**- Might the project significantly affect fisheries or wildlife, especially any rare or endangered species: Yes \_\_\_ No   
(Prior consultation with the Massachusetts Natural Heritage Program is advised.)

f. **Vegetation/Trees**

Estimate the acreage required to be cleared. .25 Acres  
Estimate the number of trees to be taken. \_\_\_\_\_ Trees

g. **Sanitary Sewerage**- Using State Title V requirements (Attached A), estimate the quantity of sanitary sewerage to be conveyed by this project: \_\_\_\_\_ gallons per day (GPD).

h. **Water Supply**- Check the Water Resources Protection Overlay District that applies, if applicable: GP-2 \_\_\_\_\_ GP-3 \_\_\_\_\_

If applicable, describe measures to mitigate impacts to the aquifer.

i. **Solid Waste**- Estimate the solid waste to be generated by this project:

j. **Hazardous Materials**- Is the project located on a site that has a history of industrial or commercial uses, which may have contaminated the soils: Yes \_\_\_ No

If so, indicate DEP file number \_\_\_\_\_ and indicate current status under the Massachusetts Contingency Plan:

Will the project manufacture, generate or store hazardous materials: Yes \_\_\_ No

If so, indicate any Fire Department or Public Health certifications received:

k. **Air Pollution**- Will the project generate significant air pollution levels: Yes \_\_\_ No   
If so, describe any mitigation measures:

l. **Noise**- Will the project generate significant noise levels: Yes \_\_\_ No

Is the project located near sensitive receptors to noise such as schools, residences, nursing homes, etc.: Yes \_\_\_ No

If so, is the project in conformance with Worcester Airport Noise Compatibility Program: Yes \_\_\_ No \_\_\_

m. **Other**- Describe any other potential impacts or comments that you feel are applicable to this project.

**ALL APPLICANTS COMPLETE THE FOLLOWING:**

I hereby certify that I am requesting the Worcester Planning Board grant the above indicated Site Plan:

Printed Applicant's Name:  
Kensington Management, LLC

Signature: 

Date: 05-20-2020

Address: 330 Highland Street

Home Telephone: \_\_\_\_\_

Work Telephone: 617-528-8216

Email address: mrgaval2000@yahoo.com

Printed Owner or Authorized Representative's Name (if different from applicant):

Joshua J Gaval of Kensington Management LLC  
Signature: 

Date: 05-20-2020

Address: 75 Hammond Street, Worcester, MA 01610

Home Telephone: \_\_\_\_\_

Work Telephone: (508) 757-4944

Email address: zcouture@hstgroup.net

City of Worcester Planning Board



**DEFINITIVE PLAN-MORE THAN ONE BUILDING ON A LOT**

Division of Planning & Regulatory Services  
455 Main Street, Room 404, Worcester, MA 01608  
Office 508-799-1400 Ext. 31440 – Fax 508-799-1406

- 1. Applicant's Name: Kensington Management LLC
- 2. Applicant's Address: 330 Highland Street, Worcester, Ma
- 3. Owner's Name: Same
- 4. Option Holder: NA
- 5. Address: \_\_\_\_\_
- 6. Engineer/Architect: Hossein Haghanizadeh, P.E.
- 7. Address: 75 Hammond Street, Worcester, MA 01610

We petition for approval of the plan herewith submitted which illustrates proposed construction which would make available for residential use through (new construction ) (placement ) (conversion ) of more than one structure on a single parcel of land located at:  
51, 53 & 55 Windsor Street, Worcester, MA

Submitted plan will be identical in all respects to those submitted under Subdivision Regulations, Section VIII (II).

Applicant's Signature:  Title: Manager / Member

Accepted this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ as duly submitted under the Rules and Regulations of the Planning Board.

For WORCESTER PLANNING BOARD

By: \_\_\_\_\_  
Division of Planning & Regulatory Services

CITY OF WORCESTER, MASSACHUSETTS

Edward M. Augustus, Jr.  
City Manager



John H. Valade, MAA  
Acting City Assessor

Administration and Finance  
Division of Assessing

Certified Abutters List

A list of 'parties in interest' shall be attached to the application form and shall include the names and addresses. All such names and addresses shall be obtained from the most recent applicable tax list maintained by the City's Assessing Department. The Assessing Department certifies the list of names and addresses.

Total Count: 76 X Abutters

Owner: \_\_\_\_\_  
Owner Mailing: \_\_\_\_\_  
\_\_\_\_\_

Petitioner (if other than owner): Zac Couture  
Petitioner Mailing Address: 75 Hammond Street  
Worcester, MA 01610

Petitioner Phone: (508) 757-4944

Parcel Address: 51, 53 & 55 Windsor Street  
Assessor's Map-Block-Lot(s): 09-011-00034, 09-011-00041 & 09-011-0004

Variance: \_\_\_\_\_ Special Permit: \_\_\_\_\_ Planning: X Definitive Plan: \_\_\_\_\_  
Liquor; \_\_\_\_\_ ConComm: \_\_\_\_\_ Hist: \_\_\_\_\_ Other (Specify): \_\_\_\_\_

09-006-00004	IQBAL PERVAIZ	0008 STURGIS ST APT 1	WORCESTER MA 01605
09-006-00005	KTMA INVESTMENTS LLC	PO BOX 550115	NORTH WALTHAM MA 02455
09-006-00006	HOOSIER TERPS REALTY LLC	0009 SOUTH MILL ST	HOPKINTON MA 01748
09-006-00034	HUNG TY HUYNH + LE GIANG	0006 STURGIS ST	WORCESTER MA 01605
09-006-00036	BERMEJO EDGAR E +	004 1/2 STURGIS ST	WORCESTER MA 01605
09-010-00006	HERR + SONS LLC	0004 VALLEY VIEW DR	NORTH GRAFTON MA 01536
09-010-00007	SKYE PEAK LLC	PO BOX 92	WESTBOROUGH MA 01581
09-010-00008	PARKER ELIZABETH JANE	5 MARLBORO GLADE	TOLLAND CT 06084
09-010-00009	FORTUNE DOUGLAS	0205 LINCOLN ST	WORCESTER MA 01605
09-010-00012	CUENCA HUGO R	0006 MCKINLEY RD	WORCESTER MA 01605
09-010-00013	HERNANDEZ ENTERPRISES LLC	0515 MALDEN ST	HOLDEN MA 01520
09-010-00014	SAMPSON MICHAEL J	0011 WENTWORTH DR	AUBURN MA 01501
09-010-00015	PHAN JUNE + TRUNG	0005 CANAAN ST	SHREWSBURY MA 01545
09-010-00016	BURKE KILBY-JAMES +	0003 STURGIS ST	WORCESTER MA 01605
09-010-00017	EMERY-LE PATRICK	0269 WACHUSETT ST	HOLDEN MA 01520

09-010-00018	YAHÓ PROPERTIES LLC	0214 CALIFORNIA ST	NEWTON MA 02458
09-010-00019	RODRIGUEZ ANGEL M	0014 MCKINLEY RD	WORCESTER MA 01605
09-010-00020	VALDEZ SABA +	0016 MCKINLEY RD	WORCESTER MA 01605
09-010-00021	GARCIA REINALDO A	0001 SPRING ST	SPENCER MA 01562
09-010-00022	TRAN VIEN H + HANG T	0064 RIDGEWOOD RD	WORCESTER MA 01606
09-010-00023	SOTO ANTHONY	0006 ASHTON ST	WORCESTER MA 01605
09-010-00024	HENRY BARRINGTON	0009 ELNORA DR	WORCESTER MA 01609
09-010-00025	FABO ALAIN + ANATASIE KWEUDJEU	12 STONECREST DRIVE	SAUGUS MA 01906
09-010-00026	NOVIKOVA PAVEL + EUGENIA	0056 ALBERT RD	AUBURNDALE MA 02466
09-010-00027	ALVAREZ-HERNANDEZ DENISE	0001 ASHTON ST	WORCESTER MA 01605
09-010-00029	PASTYRNAK MICHAEL P	P O BOX 346	BOYLSTON MA 01505
09-010-00030	CONSTANT MARYSE	0020 DARRELL DR	RANDOLPH MA 02368
09-010-00032	NGUYEN JIMMY	0017 ASHTON ST	WORCESTER MA 01605
09-010-00033	SEMRIN MAHMOUD	0018 KINGSBURY ST APT 2	WORCESTER MA 01610
09-010-00034	CALDERON WILSON	0008 ASHTON ST	WORCESTER MA 01605
09-010-00035	JOSEPH FLORCY	0004 ASHTON ST	WORCESTER MA 01605
09-010-00036	CHAREST MARIE E	0003 ASHTON ST	WORCESTER MA 01605
09-010-00037	CARROLL JOHN	5 LILLIAN DRIVE	NORTH READING MA 01864
09-011-00001	VELEZ CHAYAN + YARELIS	0065 WINDSOR ST	WORCESTER MA 01605
09-011-00002	HOPKINS RUSSELL J + RAFAELIA S	0061 WINDSOR ST	WORCESTER MA 01605
09-011-00003	FERGUSON RONALD P +	0059 WINDSOR ST	WORCESTER MA 01605
09-011-00004	GAVAL STEVE NADER +	0330 HIGHLAND ST	WORCESTER MA 01602
09-011-00006	SHARON PAUL A JR + BARBARA TRUSTEE	0052 BRIGHAM HILL RD	GRAFTON MA 01519
09-011-00007	VIEIRA-MARTINS GABRIEL	0067 HIDDEN RD	DRACUT MA 01826
09-011-00008	CARROLL JOHN	5 LILLIAN DRIVE	NORTH READING MA 01864
09-011-00009	FRANCIA NORMA G + DIAZ	0060 WINDSOR ST	WORCESTER MA 01605
09-011-00010	STOYCHOFF LEE C	0058 WINDSOR ST	WORCESTER MA 01605
09-011-00011	ROMAN SULGEIH	0003 MT VERNON ST #2	WORCESTER MA 01605
09-011-00012	FRAZIER MARY	0056 WINDSOR ST	WORCESTER MA 01605
09-011-00013	ARSENAULT KATHRYN P	54 WINDSOR STREET	WORCESTER MA 01605
09-011-00014	CARON ROBERT J	0052 WINDSOR ST	WORCESTER MA 01605
09-011-00015	JORDAN ROSE M	0044 BURNAP RD	HOLLISTON MA 01746
09-011-00016	NSOAH FOSTER A	0050 WINDSOR ST	WORCESTER MA 01605
09-011-00021	FORD DENNIS J	0089 GREEN HILL PRKWY	WORCESTER MA 01605
09-011-00022	GAVAL STEVE NADER +	0330 HIGHLAND ST	WORCESTER MA 01602
09-011-00023	WAVE PROPERTY LLC	0050 POTTER VILLAGE RD	CHARLTON MA 01570
09-011-00025	HIGGINS GARRELL J	0091 GREEN HILL PRKWY	WORCESTER MA 01605
09-011-00030	COAKLEY MAUREEN D	21 UXBRIDGE ST	WORCESTER MA 01605
09-011-00031	WANG JENNIFER	63 WINDSOR ST	WORCESTER MA 01605

09-011-00032	SANCHEZ AIXA D	0013 UXBRIDGE ST	WORCESTER MA 01605
09-011-00033	TURNER KENNETH +RANAY L	0017 UXBRIDGE ST	WORCESTER MA 01605
09-011-00034	KENSINGTON MANAGEMENT LLC +	0330 HIGHLAND ST	WORCESTER MA 01602
09-011-00035	COX REAL ESTATE LLC	0069 EAST MAIN ST	WESTBOROUGH MA 01581
09-011-00038	SPYROPOULOS SPIRIDON D	0010 CLIFTON ST	WORCESTER MA 01610
09-011-00039	LUSSIER JOSEPH P + TARA C	0484 MAIN ST STE 420	WORCESTER MA 01608
09-011-00041	KENSINGTON MANAGEMENT LLC +	0330 HIGHLAND ST	WORCESTER MA 01602
09-011-00042	HAVILAND DONALD P + BETTY S	0007 WING BLVD	E SANDWICH MA 02537
09-011-0019A	DE ALVAREZ KAREN SANCHEZ +	0016 STURGIS ST	WORCESTER MA 01605
09-011-0019B	JEWELL NANCY L	14 STURGIS ST	WORCESTER MA 01605
09-011-05+40	AMARAL HELIO + LUCINEIDE	0028 SMART ST	WALTHAM MA 02451
09-011-17+36	SOUTH MIDDLESEX NON PROFIT HOUSING	0300 HOWARD ST	FRAMINGHAM MA 01701
09-011-24+29	FEDERAL NATIONAL MORTGAGE	PO BOX 650043	DALLAS TX 75265
09-011-24-1A	MENGUE VERONIQUE	0005 UXBRIDGE ST	WORCESTER MA 01605
09-013-00029	DONE-JIMENEZ JESUS G +	0018 MCKINLEY RD	WORCESTER MA 01605
09-013-00030	SERVIDEO DARRYL P + CAROL M	20 MC KINLEY RD	WORCESTER MA 01605
09-013-00031	BLASH ALVIN J JR + AMY P	216B E MOUNTAIN ST APT 31	WORCESTER MA 01606
09-014-00001	TRUONG PHUONG THOA THI	0024 MCKINLEY RD	WORCESTER MA 01605
09-014-00002	GUERRIERI DAVID G	5222 ARBOR DR	SHREWSBURY MA 01545
09-014-00026	COMER MICHAEL	0027 UXBRIDGE ST	WORCESTER MA 01605
09-014-0002A	KLA HOLDINGS LLC	0000 MCKINLEY RD	WORCESTER MA 01605
09-014-0002B	KLA HOLDINGS LLC	0000 MCKINLEY RD	WORCESTER MA 01605

This is to certify that the above is a list of abutters to Assessor's Map-Block-Lot(s) 09-011-00034, 09-011-00041 & 09-011-0004 as cited above.

Certified by:



Signature

2/28/2020

Date