

DEFINITIVE SITE PLAN OF LAND
OF COUNTRY CLUB ACRES
IN
WORCESTER, MASSACHUSETTS

OWNER/APPLICANT:
WORCESTER COUNTRY CLUB ACRES, LLC
6 EDGEWOOD ROAD
WESTBOROUGH, MASSACHUSETTS 01581

CLIENT NUMBER: 2065
JOB NUMBER: 348-1266
DRAWING : WCCACURRENT.dwg

PREPARED BY
THOMPSON-LISTON ASSOCIATES, INC.

CIVIL ENGINEERS & LAND SURVEYORS
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TELEPHONE (508) 869-6151
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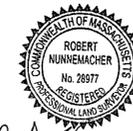
DATE:
JULY 27, 2020
REVISED AUGUST 26, 2020

SHEET DIRECTORY

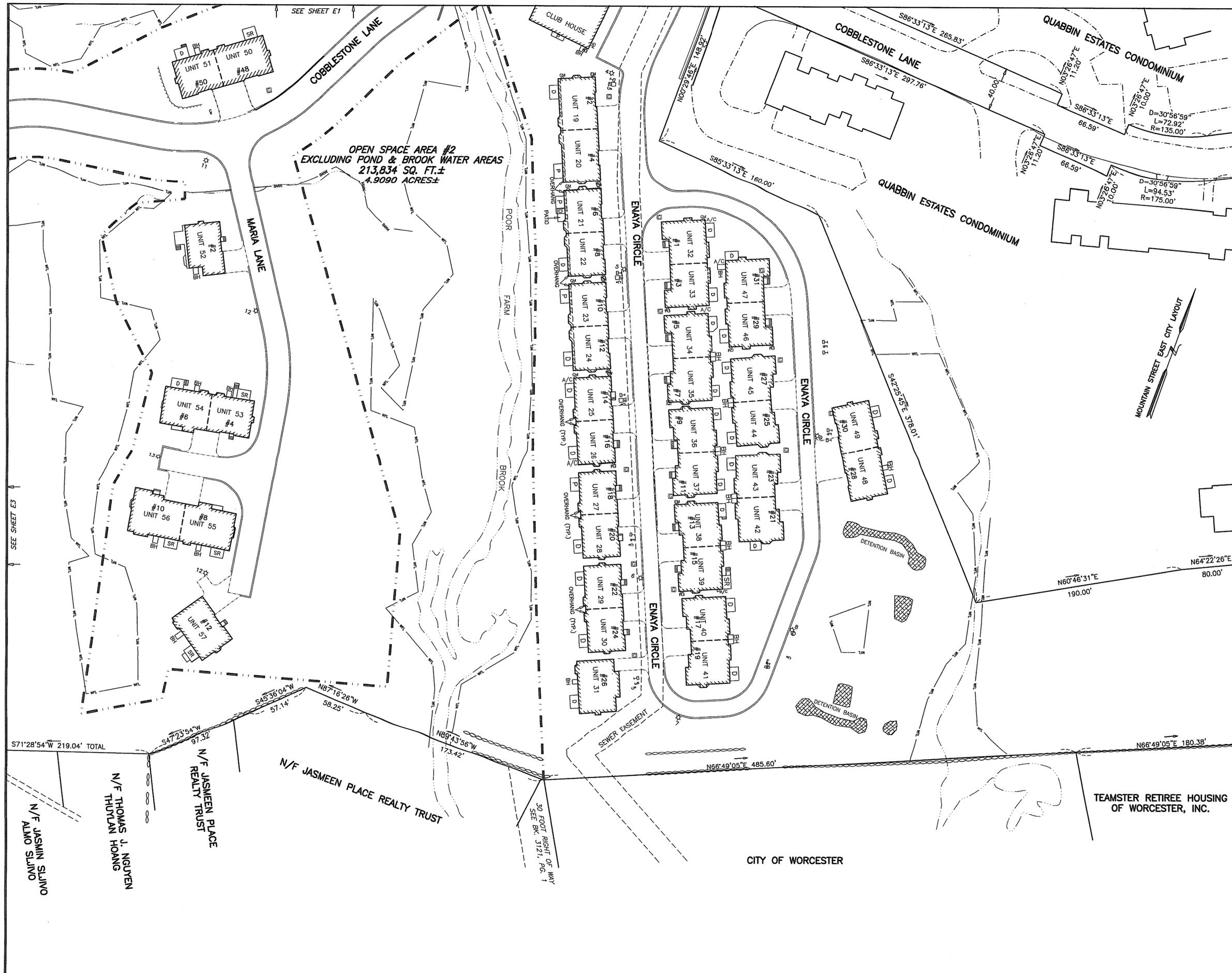
TITLE SHEET	(THIS SHEET)
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LOCUS MAP
1"=800'



James L. Terregally *Robert Munnebacher*
8/26/2020



OPEN SPACE AREA #2
EXCLUDING POND & BROOK WATER AREAS
213,834 SQ. FT.±
4.9090 ACRES±

--- KEY ---

	WETLAND EDGE
	EXISTING UNDERGROUND DRAIN OR SEWER PIPE
	SUBDRAIN
	FORCED SEWER PIPE
	SEWER MANHOLE
	SEWER CLEANOUT
	DRAIN MANHOLE
	CATCHBASIN WITH HEADER
	CATCHBASIN
	FLARED END SECTION
	RIPRAP
	GAS LINE
	GAS VALVE
	GAS METER
	WATER LINE
	WATER GATE
	HYDRANT
	POST INDICATOR VALVE
	FIRE DEPT. CONNECTION
	EDGE OF PAVEMENT
	BITUMINOUS BERM
	GUARD RAIL
	UNDERGROUND UTILITY LINE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND TELEPHONE LINE
	OVERHEAD WIRES
	UTILITY POLE
	UTILITY POLE WITH GUY WIRE
	POST LIGHT
	POST WITH LIGHT ARM
	AREA LIGHT
	ELECTRIC MANHOLE
	TELEPHONE MANHOLE
	ELECTRIC TRANSFORMER
	ELECTRIC BOX
	TELEPHONE BOX
	CABLE BOX
	CHAIN LINK FENCE
	STOCKADE FENCE
	STONE WALL
	EDGE OF OPEN SPACE
	RESTRICTION AREA
	STREAM



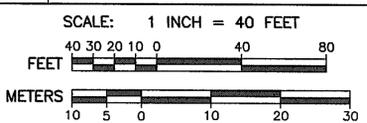
Robert Nunnemacher

- NOTE:
- TOTAL AREA: 1,625,446 SQ. FT., 37.3151 ACRES.
 - ALL THE EDGE OF PAVEMENT AND BERM LINES ARE THE PROPOSED LOCATIONS THEREOF.
 - COBBLESTONE LANE, MYRA LANE, ENAYA CIRCLE, MARIA LANE & SARAH CIRCLE ARE ALL PRIVATE WAYS.

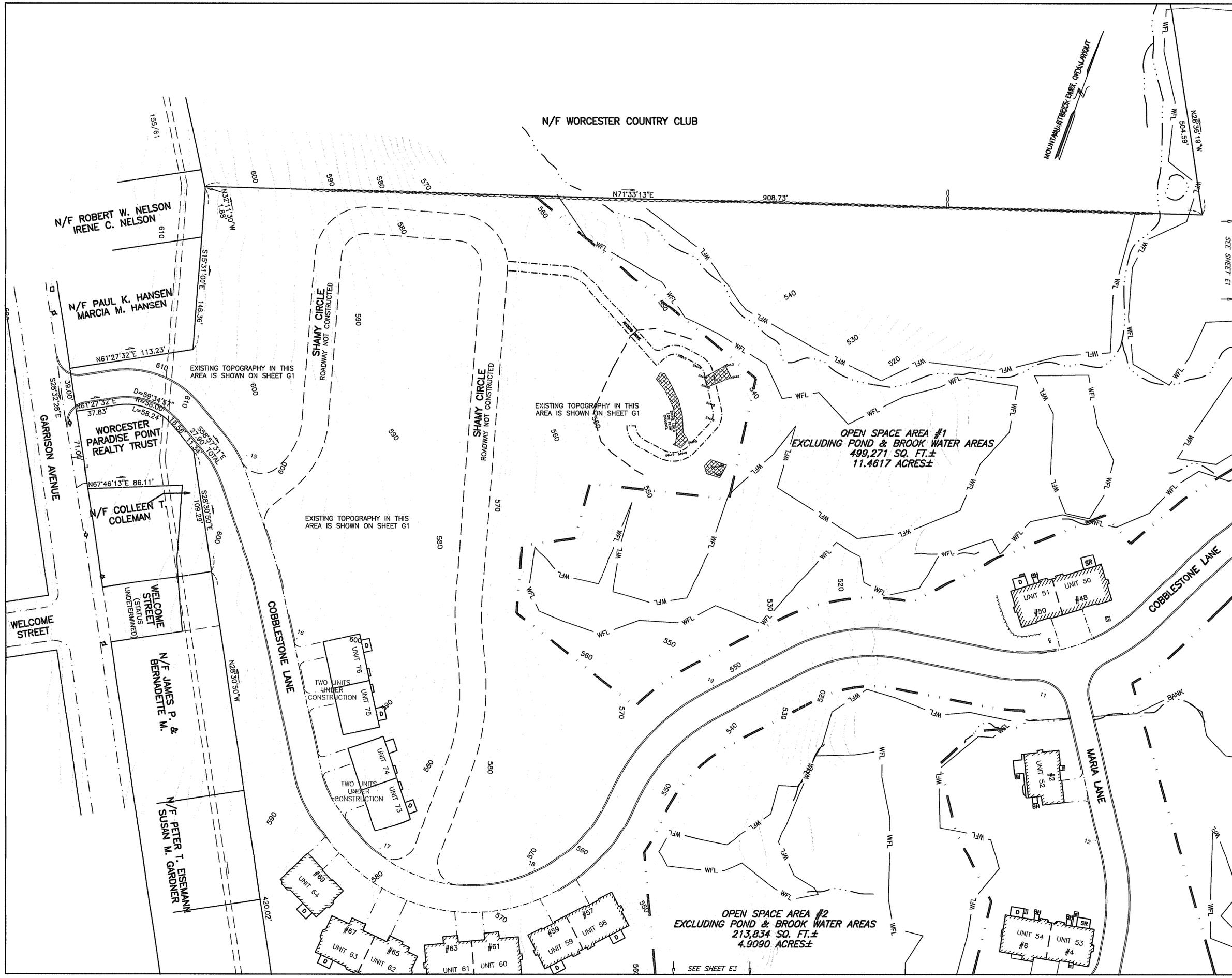
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08-26-20	CITY REVIEW COMMENTS



EXISTING CONDITIONS PLAN OF LAND IN
WORCESTER, MASSACHUSETTS
OWNER AND APPLICANT:
WORCESTER COUNTRY CLUB ACRES, LLC
6 EDGEWOOD ROAD
WESTBOROUGH, MASS. 01581



--- KEY ---

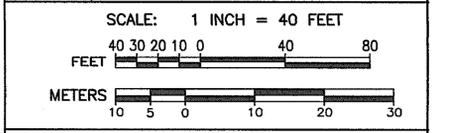
WFL	WETLAND EDGE
---	EXISTING UNDERGROUND DRAIN OR SEWER PIPE
SD	SUBDRAIN
FS	FORCED SEWER PIPE
⊙	SEWER MANHOLE
⊙	SEWER CLEANOUT
⊙	DRAIN MANHOLE
⊙	CATCHBASIN WITH HEADER
⊙	CATCHBASIN
⊙	FLARED END SECTION
⊙	RIPRAP
⊙	GAS LINE
⊙	GAS VALVE
⊙	GAS METER
⊙	WATER LINE
⊙	WATER GATE
⊙	WATER SHUT OFF
⊙	HYDRANT
⊙	POST INDICATOR VALVE
⊙	FIRE DEPT. CONNECTION
---	EDGE OF PAVEMENT
---	BITUMINOUS BERM
---	GUARD RAIL
---	UNDERGROUND UTILITY LINE
---	UNDERGROUND ELECTRIC LINE
---	UNDERGROUND TELEPHONE LINE
---	OVERHEAD WIRES
---	UTILITY POLE
---	UTILITY POLE WITH GUY WIRE
---	POST LIGHT
---	POST WITH LIGHT ARM
---	AREA LIGHT
---	ELECTRIC MANHOLE
---	TELEPHONE MANHOLE
---	ELECTRIC TRANSFORMER
---	ELECTRIC BOX
---	TELEPHONE BOX
---	CABLE BOX
---	CHAIN LINK FENCE
---	STOCKADE FENCE
---	STONE WALL
---	EDGE OF OPEN SPACE
---	RESTRICTION AREA
---	STREAM
---	2' ELEVATION CONTOUR
---	10' ELEVATION CONTOUR

NOTES:

- TOTAL AREA: 1,625,446 SQ. FT., 37.3151 ACRES.
- ALL THE EDGE OF PAVEMENT AND BERM LINES ARE THE PROPOSED LOCATIONS THEREOF.
- COBBLESTONE LANE, MYRA LANE, ENAYA CIRCLE, MARIA LANE & SHAMY CIRCLE ARE ALL PRIVATE WAYS.
- SHAMY CIRCLE HAS NOT BEEN GRADED TO SUBGRADE. COBBLESTONE LANE HAS ONLY BASE COURSE PAVEMENT FROM STATION 2+00, JUST DOWNHILL OF THE POOR FARM BROOK CULVERT, TO GARRISON AVENUE. MARIA LANE ALSO HAS ONLY BASE COURSE PAVEMENT. MYRA LANE AND ENAYA CIRCLE HAVE FINISH COURSE PAVEMENT.

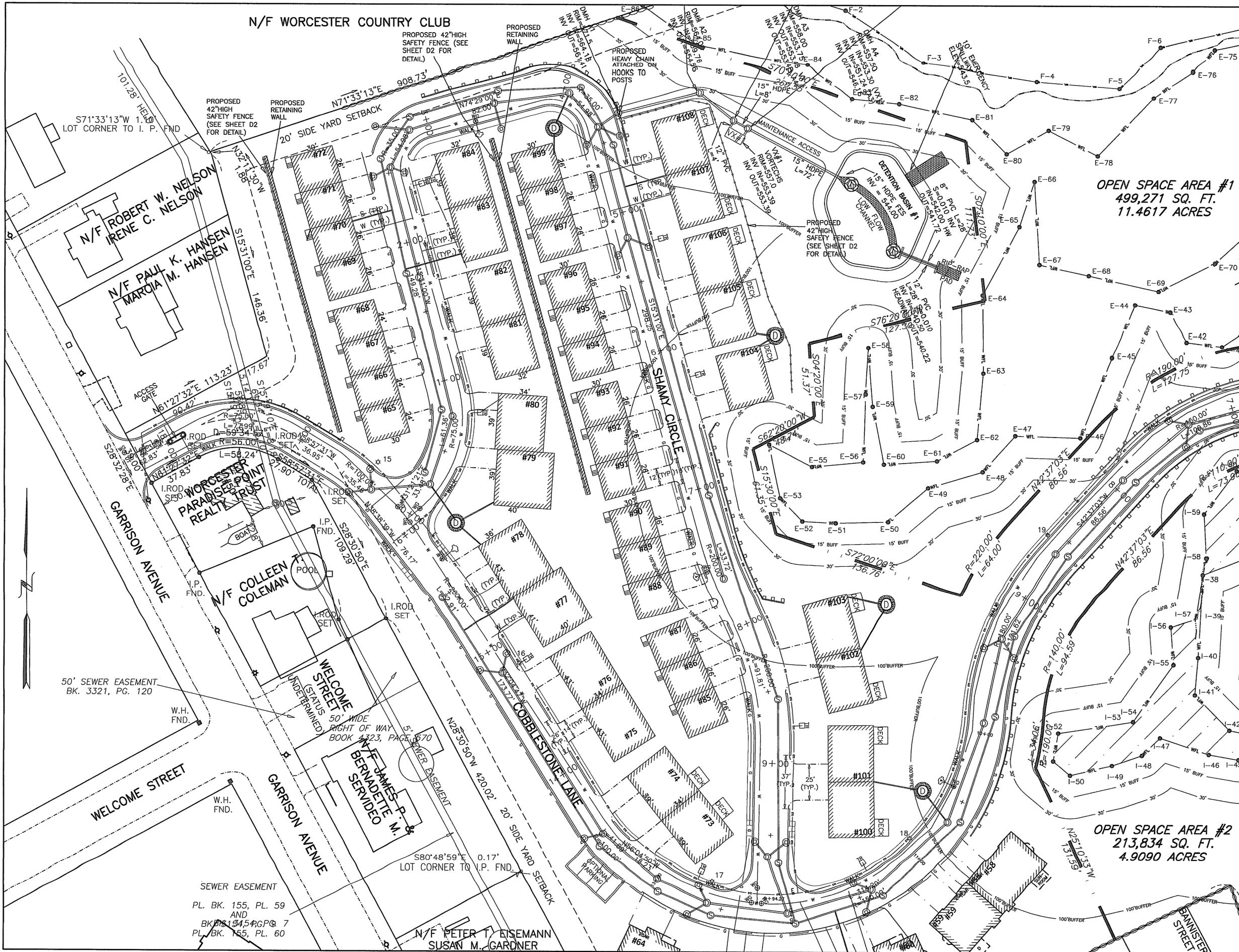
THOMPSON-LISTON ASSOCIATES, INC.
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 6 EDGEWOOD ROAD
 WESTBOROUGH, MASS. 01581

N/F WORCESTER COUNTRY CLUB



OPEN SPACE AREA #1
499,271 SQ. FT.
11.4617 ACRES

OPEN SPACE AREA #2
213,834 SQ. FT.
4.9090 ACRES

KEY

	WETLAND BOUNDARY
	CITY NO WORK 15' BUFFER
	CITY NO STRUCTURES 30' BUFFER
	100' BUFFER ZONE LIMIT
	PROPOSED DRIVEWAY EDGE
	PROPOSED BERM
	EXISTING UTILITY POLE
	EXISTING POLE WITH LIGHT
	PROPOSED ETC CONDUIT
	2' CONTOUR
	10' CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT GRADE
	EXISTING SPOT GRADE
	RETAINING WALL
	STONE WALL
	PROPOSED DRYWELL TO RECEIVE ROOF RUNOFF
	PROPOSED GUARD RAIL
	PROPOSED WATER SERVICE
	PROPOSED CATCH BASIN
	PROPOSED DRAIN MANHOLE
	PROPOSED VORTECHNICS STORM-WATER FILTRATION UNIT

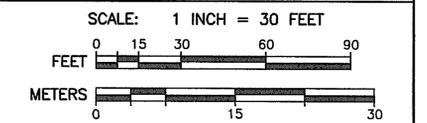
NOTES:

- 1) THE ROAD LAYOUT SHOWN ON THESE SITE PLANS IS UNCHANGED FROM THE LAYOUT SHOWN ON THE SITE PLANS ORIGINALLY GRANTED A SPECIAL PERMIT BY THE WORCESTER PLANNING BOARD ON JUNE 19, 2002 AND AMENDED BY THE WORCESTER PLANNING BOARD ON JANUARY 2, 2019. THAT AMENDED SPECIAL PERMIT IS RECORDED AT THE WORCESTER DISTRICT REGISTRY OF DEEDS AT BOOK 59977 PAGE 389.
- 2) ALL ROADS WITHIN THE PROJECT WILL REMAIN PRIVATE. OF THOSE ROADS, ONLY SHAMY CIRCLE REMAINS TO BE CONSTRUCTED. PROPOSED SHAMY CIRCLE FINISHED GRADES ARE UNCHANGED FROM THE SITE PLANS GRANTED A SPECIAL PERMIT ON JUNE 19, 2002 AND THEN AN AMENDED SPECIAL PERMIT ON JANUARY 2, 2019.
- 3) THE PROPOSED DRAINAGE AND SANITARY SEWER STRUCTURES AND INVERTS ON THESE SITE PLANS ARE UNCHANGED FROM THE SITE PLANS GRANTED A SPECIAL PERMIT ON JUNE 19, 2002 AND THEN AN AMENDED SPECIAL PERMIT ON JANUARY 2, 2019. THERE HAVE BEEN NO SIGNIFICANT DEVIATION IN THE LOCATION OF THEIR INSTALLATION FROM THOSE PLANS.
- 4) THERE ARE 19 LIGHT POLES 14 FEET HIGH THAT HAVE BEEN INSTALLED ON-SITE AT THE DATE OF THIS FILING.



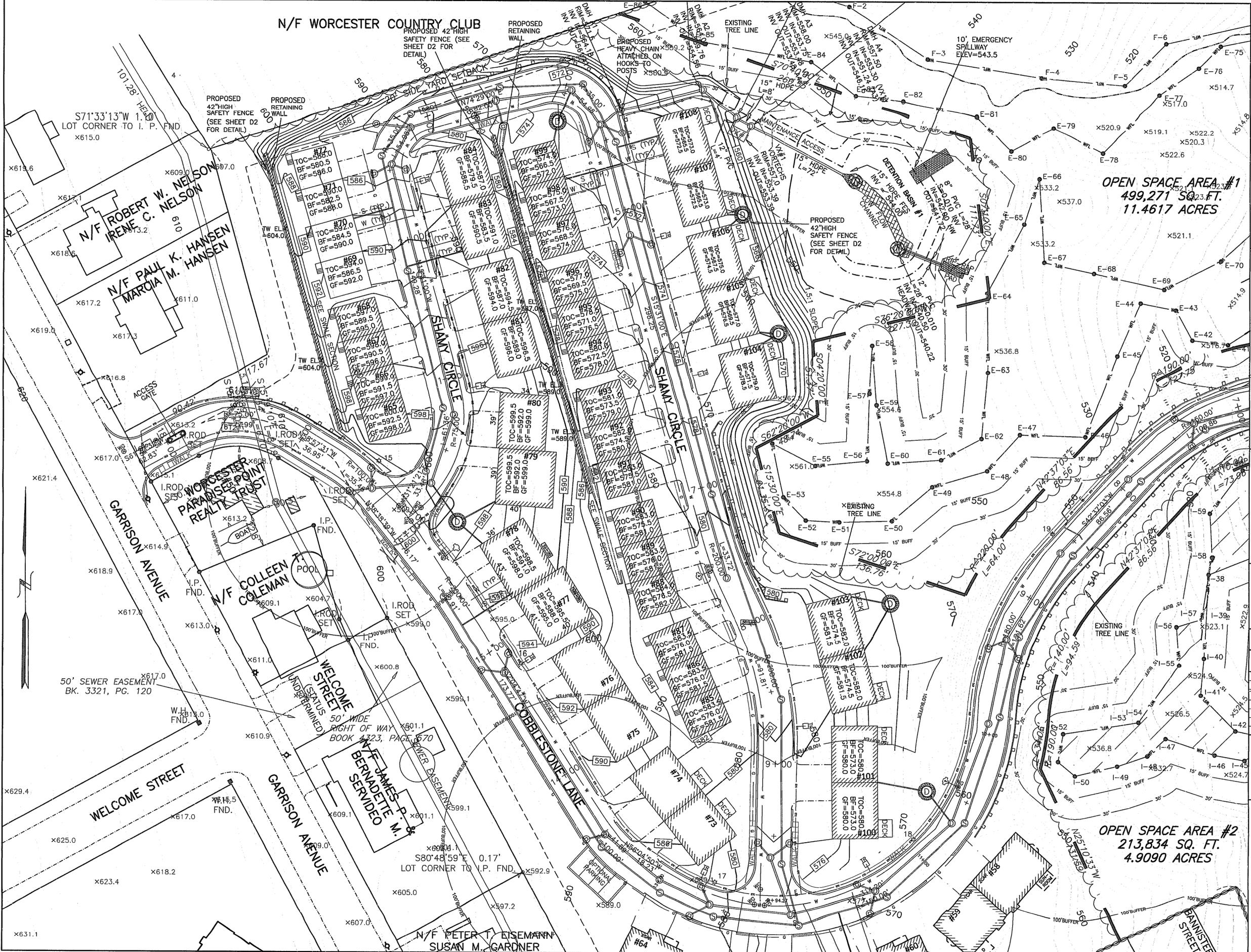
THOMPSON-LISTON ASSOCIATES, INC.
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Boylston, Massachusetts 01505-0570
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SITE LAYOUT PLAN OF LAND IN
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OWNER AND APPLICANT:
WORCESTER COUNTRY CLUB ACRES, LLC
6 EDGEWOOD ROAD
WESTBOROUGH, MASSACHUSETTS 01581

N/F WORCESTER COUNTRY CLUB



KEY

- WFL WETLAND BOUNDARY
- 15' BUFF CITY NO WORK 15' BUFFER
- 30' CITY NO STRUCTURES 30' BUFFER
- 100' BUFFER 100' BUFFER ZONE LIMIT
- PROPOSED DRIVEWAY EDGE
- PROPOSED BERM
- UTILITY POLE POLE WITH LIGHT
- PROPOSED ETC CONDUIT
- 2' CONTOUR
- 10' CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE
- EXISTING SPOT GRADE
- RETAINING WALL
- STONE WALL
- PROPOSED DRYWELL TO RECEIVE ROOF RUNOFF
- PROPOSED GUARD RAIL
- PROPOSED WATER SERVICE
- PROPOSED CATCH BASIN
- PROPOSED DRAIN MANHOLE
- PROPOSED VORTECHNICS STORM-WATER FILTRATION UNIT

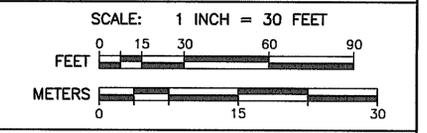
NOTE:
 1) PROPOSED TOP OF WALL ELEVATIONS FOR THE TWO RETAINING WALLS ARE SHOWN ON SHEETS EC4, EC5 AND EC6.



8/26/2020

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GRADING PLAN OF LAND IN WORCESTER, MASSACHUSETTS
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WORCESTER COUNTRY CLUB ACRES, LLC
 6 EDGEWOOD ROAD
 WESTBOROUGH, MASSACHUSETTS 01581

N/F WORCESTER COUNTRY CLUB

EXISTING TEMPORARY SETTLING BASIN

TEMPORARY SETTLING BASIN TO BE INSTALLED FOR PHASE D

TEMPORARY SETTLING BASIN TO BE INSTALLED FOR PHASE D

OPEN SPACE AREA #1
199,271 SQ. FT.
111.4617 ACRES

OPEN SPACE AREA #2
213,834 SQ. FT.
4.9090 ACRES

DRAINAGE AREA TO THIS TSB IS 79,460 S.F. SO DEP. REQUIRED CAPACITY IS AT LEAST 6,622 CU.FT. THIS 1,910 S.F. TSB NEEDS TO HAVE AN AVG DEPTH OF 3.5' SO MAKE IT 7' DEEP AT CENTER. PUMP THIS BASIN OUT TO DET. BASIN #1.

DRAINAGE AREA TO THIS TSB IS 12,650 S.F. SO DEP. REQUIRED CAPACITY IS AT LEAST 1,054 CU.FT. THIS 400 S.F. TSB NEEDS TO HAVE AN AVG DEPTH OF 2.1' SO MAKE IT 4.2' DEEP AT CENTER. PUMP THIS TSB OUT TO THE TSB ABOVE DET. BASIN #1.

DRAINAGE AREA TO THIS TSB IS 17,600 S.F. SO DEP. REQUIRED CAPACITY IS AT LEAST 1,482 CU.FT. THIS 450 S.F. TSB NEEDS TO HAVE AN AVG DEPTH OF 3.3' SO MAKE IT 6.6' DEEP AT CENTER. PUMP THIS TSB OUT TO THE CB AT 11+50 RIGHT SIDE!

KEY

WFL	WETLAND BOUNDARY
15' BUFF	CITY NO WORK 15' BUFFER
30'	CITY NO STRUCTURES 30' BUFFER
100' BUFFER	100' BUFFER ZONE LIMIT
---	PROPOSED DRIVEWAY EDGE
---	PROPOSED BERM
○	UTILITY POLE
☆	POLE WITH LIGHT
---	PROPOSED ETC CONDUIT
---	2' CONTOUR
---	10' CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED SPOT GRADE
---	EXISTING SPOT GRADE
---	RETAINING WALL
---	STONE WALL
○	PROPOSED DRYWELL TO RECEIVE ROOF RUNOFF
---	PROPOSED GUARD RAIL
---	PROPOSED WATER SERVICE
○	PROPOSED CATCH BASIN
○	PROPOSED DRAIN MANHOLE
⊗	PROPOSED VORTEXICUS STORM-WATER FILTRATION UNIT
---	PROPOSED SEDIMENTATION CONTROL BARRIER

NOTES:

- 1) WOOD CHIPS OR STUMP GRINDINGS ARE THE ONLY ACCEPTABLE FORM OF TEMPORARY STABILIZATION OF EXPOSED SURFACES AS UNITS ARE BEING CONSTRUCTED IN THIS PHASE.
- 2) FLOCCULANTS AND JUTE MESH MATTING SHALL BE MAINTAINED WITHIN DETENTION BASIN #1 AND ALSO AT ITS OUTLET AND SIMILARLY AT DETENTION BASIN #2 BELOW MARIA CIRCLE UNTIL ALL EXPOSED AREAS ARE PERMANENTLY STABILIZED.
- 3) IT IS EXPECTED THAT THIS PHASE OF CONSTRUCTION WILL TAKE 4 MONTHS TO COMPLETE.
- 4) THIS PHASE OF CONSTRUCTION SHALL NOT COMMENCE UNTIL SEDIMENTATION CONTROL BARRIERS ARE INSTALLED AND APPROVAL FOR THE END OF THE PREVIOUS PHASE IS RECEIVED FROM THE WORCESTER CONSERVATION COMMISSION.
- 5) THE THREE TEMPORARY SETTLING BASINS ACTIVE IN THIS PHASE MUST BE PUMPED OUT, OVER FLOCCULANT BLOCKS AND JUTE MESH, WHEN THEY ARE 1/2 FULL OR GREATER.



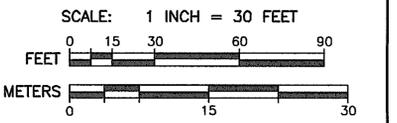
James L. Tetreault
2/26/2020

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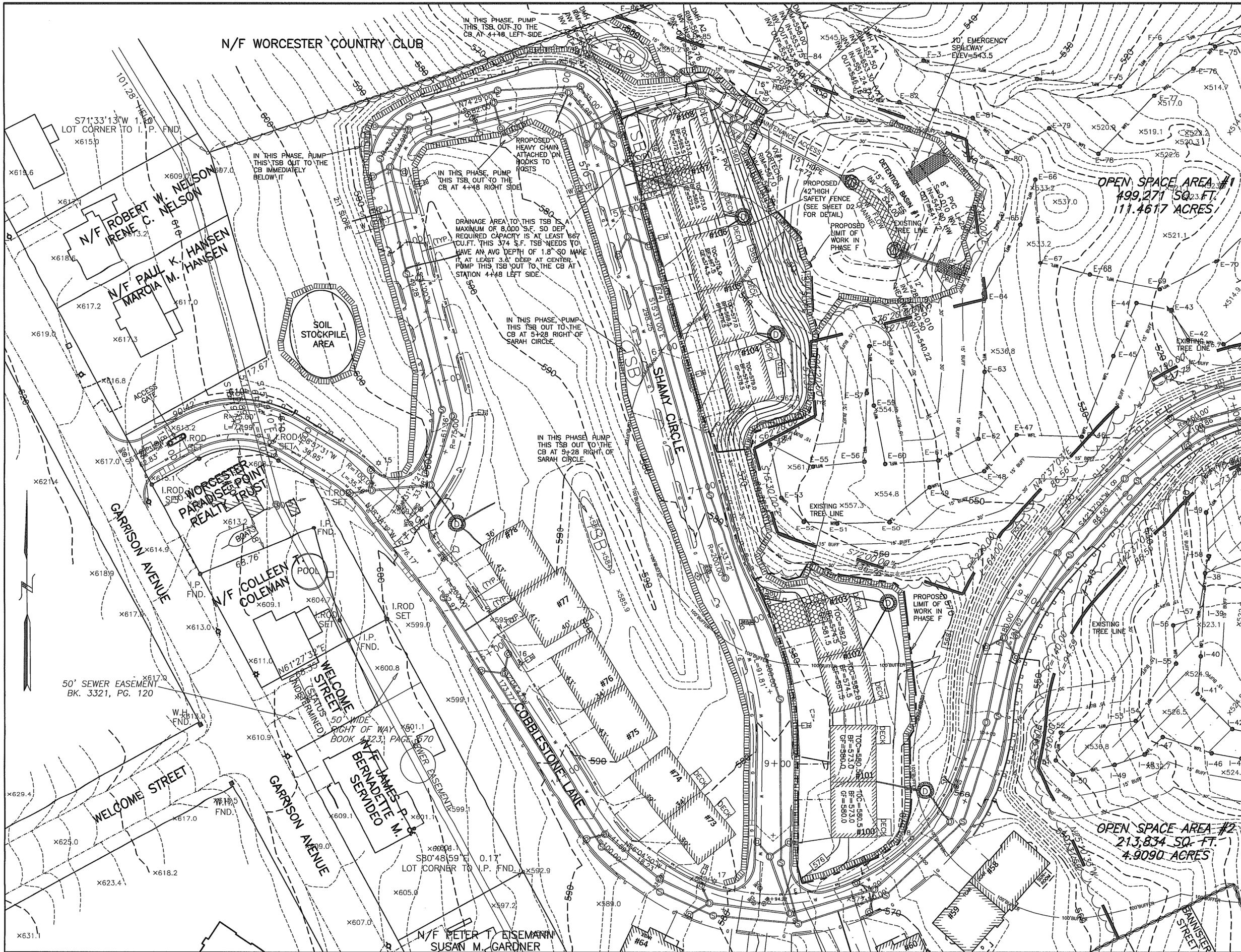
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EROSION CONTROL PLAN OF LAND IN WORCESTER, MASSACHUSETTS
OWNER AND APPLICANT:
WORCESTER COUNTRY CLUB ACRES, LLC
6 EDGEWOOD ROAD
WESTBOROUGH, MASSACHUSETTS 01581



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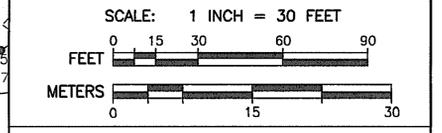
WFL	WETLAND BOUNDARY
15' BUFF	CITY NO WORK 15' BUFFER
30'	CITY NO STRUCTURES 30' BUFFER
100' BUFFER	100' BUFFER ZONE LIMIT
---	PROPOSED DRIVEWAY EDGE
---	PROPOSED BERM
U	UTILITY POLE
*	POLE WITH LIGHT
---	PROPOSED ETC CONDUIT
---	2' CONTOUR
---	10' CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED SPOT GRADE
X 123.1	EXISTING SPOT GRADE
---	RETAINING WALL
---	STONE WALL
○	PROPOSED DRYWELL TO RECEIVE ROOF RUNOFF
---	PROPOSED GUARD RAIL
W	PROPOSED WATER SERVICE
○	PROPOSED CATCH BASIN
○	PROPOSED DRAIN MANHOLE
VX	PROPOSED VORTICES STORM-WATER FILTRATION UNIT
---	PROPOSED SEDIMENTATION CONTROL BARRIER

- NOTES:**
- 1) WOOD CHIPS OR STUMP GRINDINGS ARE THE ONLY ACCEPTABLE FORM OF TEMPORARY STABILIZATION OF EXPOSED SURFACES AS UNITS ARE BEING CONSTRUCTED IN THIS PHASE.
 - 2) FLOCCULANTS AND JUTE MESH MATTING SHALL BE MAINTAINED WITHIN DETENTION BASIN #1 AND ALSO AT ITS OUTLET AND SIMILARLY AT DETENTION BASIN #2 BELOW MARIA CIRCLE UNTIL ALL EXPOSED AREAS ARE PERMANENTLY STABILIZED.
 - 3) IT IS EXPECTED THAT THIS PHASE OF CONSTRUCTION WILL TAKE 5 MONTHS.
 - 4) UNITS 107 AND 108 SHALL BE THE LAST ONES CONSTRUCTED IN THIS PHASE TO ALLOW THE INSTALLATION OF A TEMPORARY SETTLING BASIN IN THIS AREA, IF NECESSARY.
 - 5) THIS PHASE OF CONSTRUCTION SHALL NOT COMMENCE UNTIL SEDIMENTATION CONTROL BARRIERS ARE INSTALLED AND APPROVAL FOR THE END OF THE PREVIOUS PHASE IS RECEIVED FROM THE WORCESTER CONSERVATION COMMISSION.
 - 6) THE SIX TEMPORARY SETTLING BASINS ACTIVE IN THIS PHASE MUST BE PUMPED OUT OVER FLOCCULANT BLOCKS AND JUTE MESH WHEN THEY ARE 1/2 FULL OR GREATER.



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 6 EDGEWOOD ROAD
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SHEET EC3

N/F WORCESTER COUNTRY CLUB



KEY

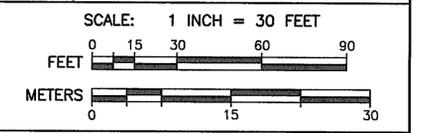
WFL	WETLAND BOUNDARY
15' BUFF	CITY NO WORK 15' BUFFER
30'	CITY NO STRUCTURES 30' BUFFER
100' BUFFER	100' BUFFER ZONE LIMIT
---	PROPOSED DRIVEWAY EDGE
---	PROPOSED BERM
○	UTILITY POLE
☆	POLE WITH LIGHT
---	PROPOSED ETC CONDUIT
---	2' CONTOUR
---	10' CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED SPOT GRADE
X 123.1	EXISTING SPOT GRADE
---	RETAINING WALL
---	STONE WALL
○	PROPOSED DRYWELL TO RECEIVE ROOF RUNOFF
---	PROPOSED GUARD RAIL
---	PROPOSED WATER SERVICE
○	PROPOSED CATCH BASIN
○	PROPOSED DRAIN MANHOLE
⊗	PROPOSED VORTECHNICS STORM-WATER FILTRATION UNIT
⊗	PROPOSED SEDIMENTATION CONTROL BARRIER

- NOTES:**
- WOOD CHIPS OR STUMP GRINDINGS ARE THE ONLY ACCEPTABLE FORM OF TEMPORARY STABILIZATION OF EXPOSED SURFACES AS UNITS ARE BEING CONSTRUCTED IN THIS PHASE.
 - FLOCCULANTS AND JUTE MESH MATTING SHALL BE MAINTAINED WITHIN DETENTION BASIN #1 AND ALSO AT ITS OUTLET AND SIMILARLY AT DETENTION BASIN #2 BELOW MARIA CIRCLE UNTIL ALL EXPOSED AREAS ARE PERMANENTLY STABILIZED.
 - IT IS EXPECTED THAT THIS PHASE OF CONSTRUCTION WILL TAKE 6 MONTHS.
 - UNITS 97-99 SHALL BE THE LAST ONES CONSTRUCTED IN THIS PHASE TO ALLOW THE INSTALLATION OF A TEMPORARY SETTLING BASIN IN THIS AREA, IF NECESSARY.
 - THIS PHASE OF CONSTRUCTION SHALL NOT COMMENCE UNTIL SEDIMENTATION CONTROL BARRIERS ARE INSTALLED AND APPROVAL FOR THE END OF THE PREVIOUS PHASE IS RECEIVED FROM THE WORCESTER CONSERVATION COMMISSION.
 - THE ONE TEMPORARY SETTLING BASIN STILL ACTIVE IN THIS PHASE MUST BE PUMPED OUT OVER FLOCCULANT BLOCKS AND JUTE MESH WHEN IT IS 1/2 FULL OR GREATER.



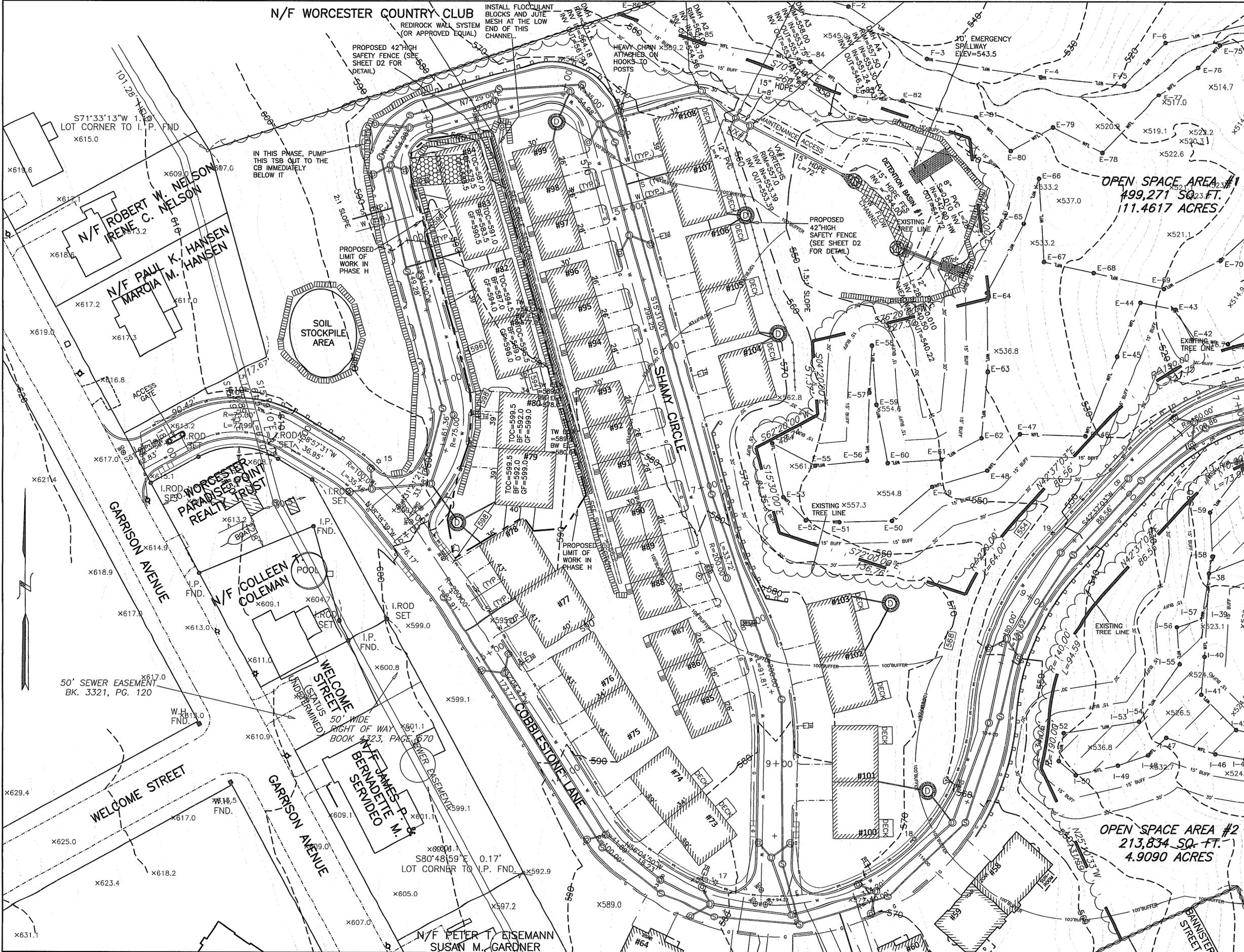
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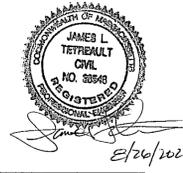
SHEET EC4



KEY

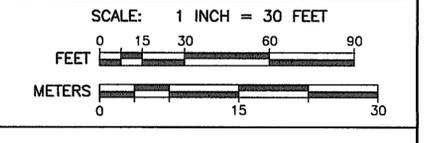
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100' BUFFER	100' BUFFER ZONE LIMIT
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---	PROPOSED BERM
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---	10' CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED SPOT GRADE
---	EXISTING SPOT GRADE
---	RETAINING WALL
---	STONE WALL
○	PROPOSED DRYWELL TO RECEIVE ROOF RUNOFF
---	PROPOSED GUARD RAIL
---	PROPOSED WATER SERVICE
○	PROPOSED CATCH BASIN
○	PROPOSED DRAIN MANHOLE
○	PROPOSED VORTECHNICS STORM-WATER FILTRATION UNIT
---	PROPOSED SEDIMENTATION CONTROL BARRIER

- NOTES:**
- 1) WOOD CHIPS OR STUMP GRINDINGS ARE THE ONLY ACCEPTABLE FORM OF TEMPORARY STABILIZATION OF EXPOSED SURFACES AS UNITS ARE BEING CONSTRUCTED IN THIS PHASE.
 - 2) FLOCCULANTS AND JUTE MESH MATTING SHALL BE MAINTAINED WITHIN DETENTION BASIN #1 AND ALSO AT ITS OUTLET AND SIMILARLY AT DETENTION BASIN #2 BELOW MARIA CIRCLE UNTIL ALL EXPOSED AREAS ARE PERMANENTLY STABILIZED.
 - 3) IT IS EXPECTED THAT THIS PHASE OF CONSTRUCTION WILL TAKE FOUR MONTHS.
 - 4) UNITS 83 AND 84 SHALL BE THE LAST ONES CONSTRUCTED IN THIS PHASE TO ALLOW THE INSTALLATION OF A TEMPORARY SETTLING BASIN IN THIS AREA, IF NECESSARY.
 - 5) THIS PHASE OF CONSTRUCTION SHALL NOT COMMENCE UNTIL SEDIMENTATION CONTROL BARRIERS ARE INSTALLED AND APPROVAL FOR THE END OF THE PREVIOUS PHASE IS RECEIVED FROM THE WORCESTER CONSERVATION COMMISSION.
 - 6) THE ONE TEMPORARY SETTLING BASIN STILL ACTIVE IN THIS PHASE MUST BE PUMPED OUT OVER FLOCCULANT BLOCKS AND JUTE MESH WHEN IT IS 1/2 FULL OR GREATER.



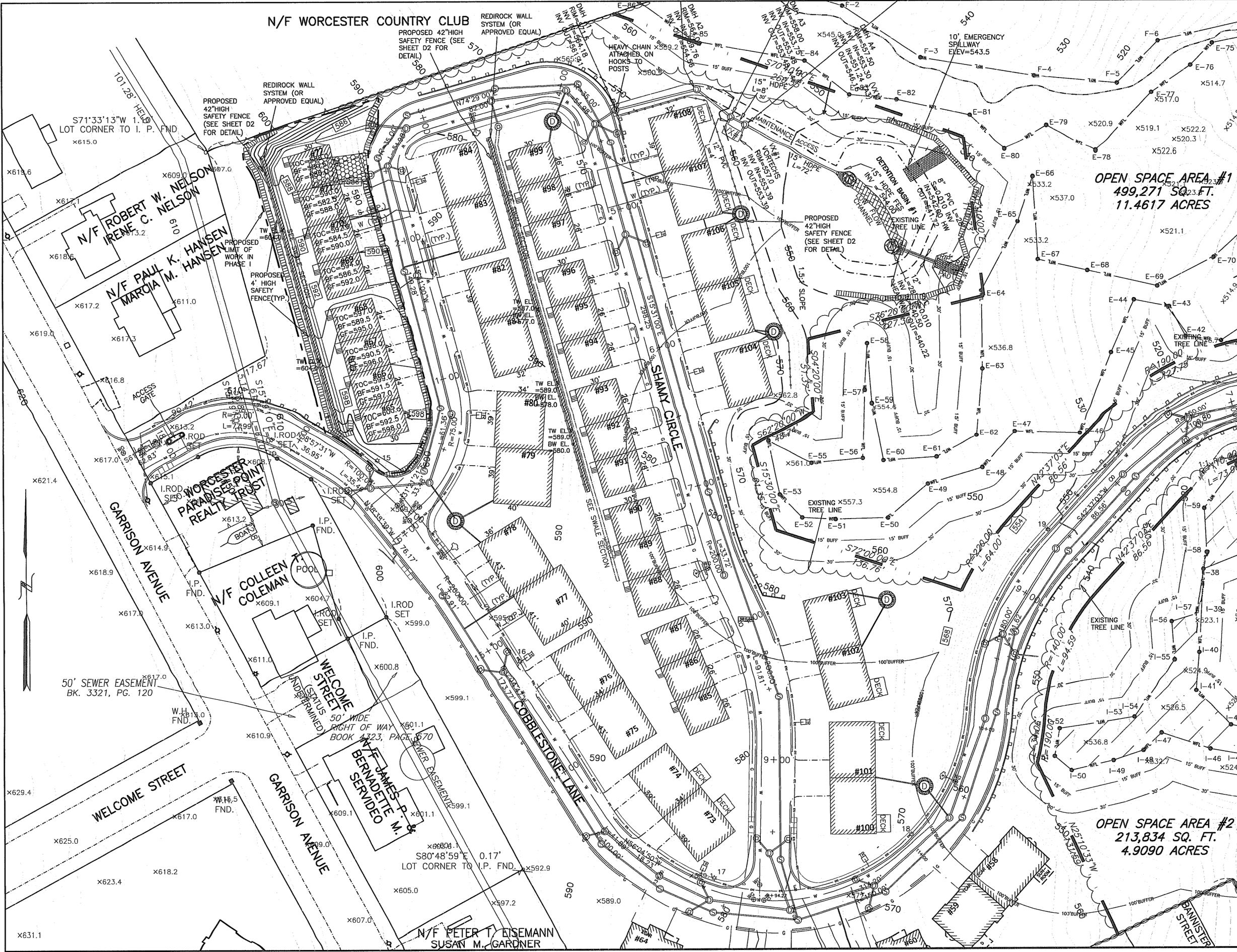
THOMPSON-LISTON ASSOCIATES, INC.
 Professional Engineers Professional Land Surveyors
 51 Main Street, Post Office Box 570
 Boylston, Massachusetts 01505-0570
 Telephone (508) 869-6151 FAX (508) 869-6842

CLT. NO.	2065	JOB NO.	348-1266
DATE:	JULY 27, 2020	DWG NO.	WCCACURRENT
REVISIONS			
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EROSION CONTROL PLAN OF LAND IN WORCESTER, MASSACHUSETTS

OWNER AND APPLICANT:
WORCESTER COUNTRY CLUB ACRES, LLC
 6 EDGEWOOD ROAD
 WESTBOROUGH, MASSACHUSETTS 01581



N/F WORCESTER COUNTRY CLUB

OPEN SPACE AREA #1
 499,271 SQ. FT.
 11.4617 ACRES

OPEN SPACE AREA #2
 213,834 SQ. FT.
 4.9090 ACRES

KEY

WFL	WETLAND BOUNDARY
15' BUFF	CITY NO WORK 15' BUFFER
30'	CITY NO STRUCTURES 30' BUFFER
100' BUFFER	100' BUFFER ZONE LIMIT
---	PROPOSED DRIVEWAY EDGE
---	PROPOSED BERM
U	UTILITY POLE
*	POLE WITH LIGHT
---	PROPOSED ETC CONDUIT
---	10' CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED SPOT GRADE
---	EXISTING SPOT GRADE
---	RETAINING WALL
---	STONE WALL
D	PROPOSED DRYWELL TO RECEIVE ROOF RUNOFF
---	PROPOSED GUARD RAIL
W	PROPOSED WATER SERVICE
C	PROPOSED CATCH BASIN
M	PROPOSED DRAIN MANHOLE
VX	PROPOSED VORTECHNICS STORM-WATER FILTRATION UNIT
---	PROPOSED SEDIMENTATION CONTROL BARRIER

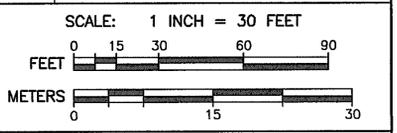
NOTES:

- WOOD CHIPS OR STUMP GRINDINGS ARE THE ONLY ACCEPTABLE FORM OF TEMPORARY STABILIZATION OF EXPOSED SURFACES AS UNITS ARE BEING CONSTRUCTED IN THIS PHASE.
- FLOCCULANTS AND JUTE MESH MATTING SHALL BE MAINTAINED WITHIN DETENTION BASIN #1 AND ALSO AT ITS OUTLET AND SIMILARLY AT DETENTION BASIN #2 BELOW MARIA CIRCLE UNTIL ALL EXPOSED AREAS ARE PERMANENTLY STABILIZED.
- IT IS EXPECTED THAT THIS PHASE OF CONSTRUCTION WILL TAKE 5 MONTHS.
- UNITS 69-72 SHALL BE THE LAST ONES CONSTRUCTED IN THIS PHASE TO ALLOW THE INSTALLATION OF A TEMPORARY SETTLING BASIN IN THIS AREA, IF NECESSARY.
- THIS PHASE OF CONSTRUCTION SHALL NOT COMMENCE UNTIL SEDIMENTATION CONTROL BARRIERS ARE INSTALLED AND APPROVAL FOR THE END OF THE PREVIOUS PHASE IS RECEIVED FROM THE WORCESTER CONSERVATION COMMISSION.



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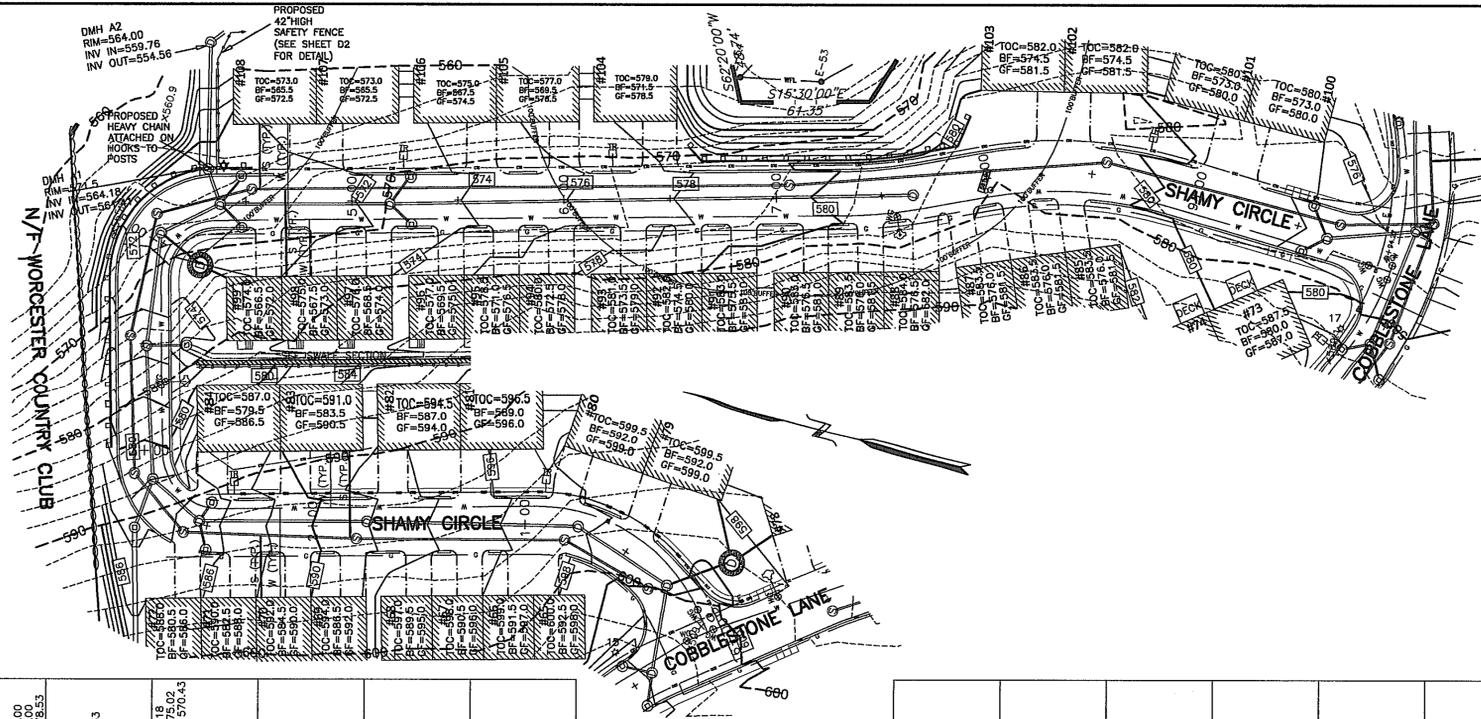
CLT. NO.	2065	JOB NO.	348-1266
DATE:	JULY 27, 2020	DWG NO.	WCCCURRENT
REVISIONS			
DATE:	8/26/20	DESCRIPTION:	CITY REVIEW



EROSION CONTROL PLAN OF LAND IN WORCESTER, MASSACHUSETTS

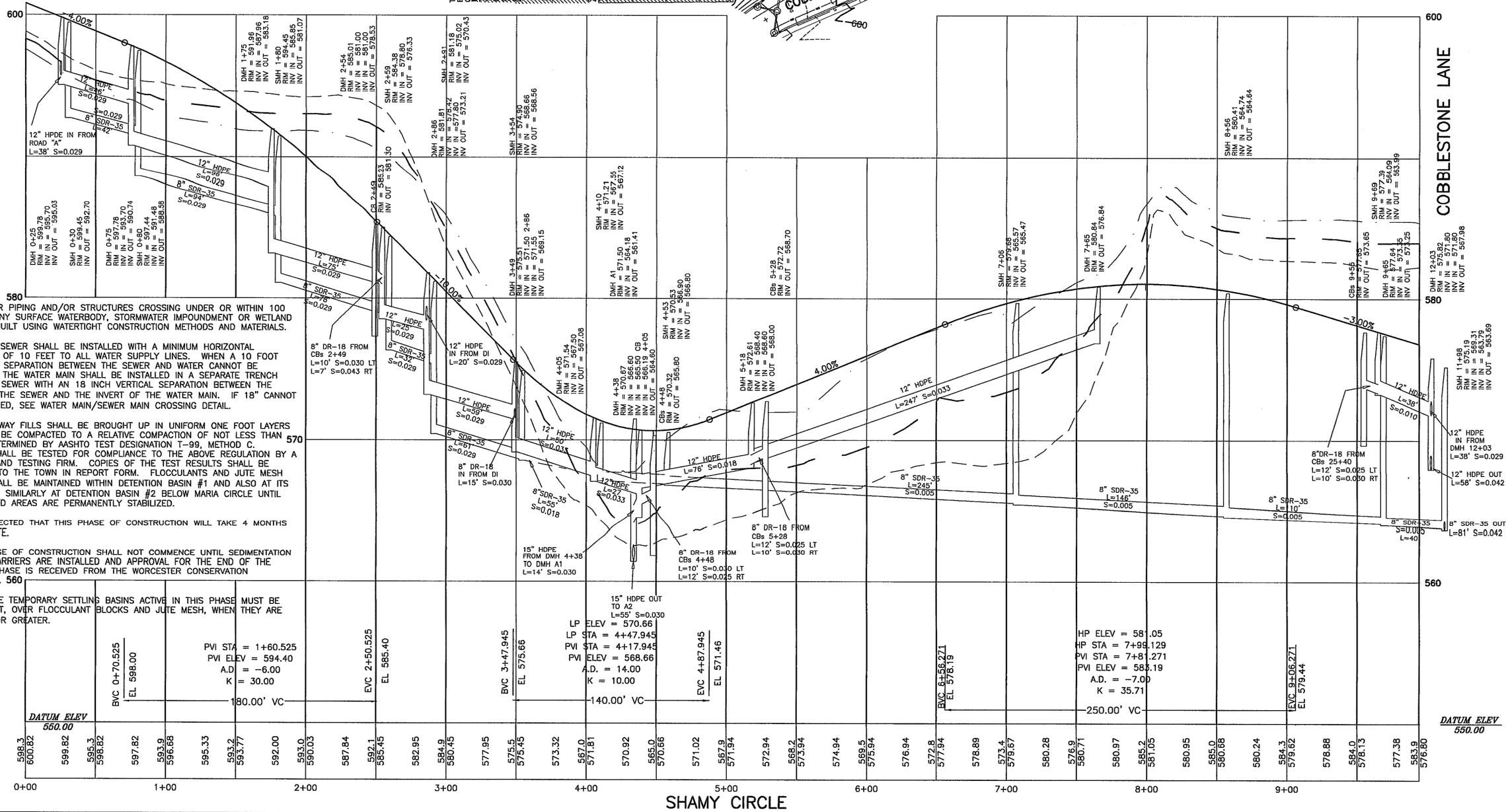
OWNER AND APPLICANT:
WORCESTER COUNTRY CLUB ACRES, LLC
 6 EDGEWOOD ROAD
 WESTBOROUGH, MASSACHUSETTS 01581

COBBLESTONE LANE

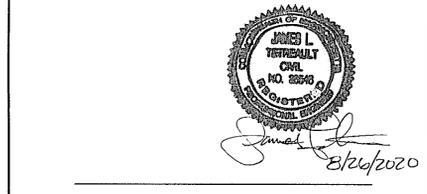


KEY

- WETLAND BOUNDARY
- CITY NO WORK 15' BUFFER
- CITY NO STRUCTURES 30' BUFFER
- 100' BUFFER ZONE LIMIT
- PROPOSED DRIVEWAY EDGE
- PROPOSED BERM
- UTILITY POLE
- EXISTING POLE WITH LIGHT
- PROPOSED POLE WITH LIGHT
- PROPOSED ETC CONDUIT 2' CONTOUR
- 10' CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE
- EXISTING SPOT GRADE
- RETAINING WALL STONE WALL
- PROPOSED DRYWELL TO RECEIVE ROOF RUNOFF
- PROPOSED GUARD RAIL
- PROPOSED WATER SERVICE
- PROPOSED CATCH BASIN
- PROPOSED DRAIN MANHOLE
- PROPOSED VORTCHNICS STORM-WATER FILTRATION UNIT

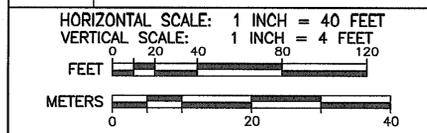


- NOTES:**
- 1) ALL SEWER PIPING AND/OR STRUCTURES CROSSING UNDER OR WITHIN 100 FEET OF ANY SURFACE WATERBODY, STORMWATER IMPOUNDMENT OR WETLAND SHALL BE BUILT USING WATERTIGHT CONSTRUCTION METHODS AND MATERIALS.
 - 2) SANITARY SEWER SHALL BE INSTALLED WITH A MINIMUM HORIZONTAL SEPARATION OF 10 FEET TO ALL WATER SUPPLY LINES. WHEN A 10 FOOT HORIZONTAL SEPARATION BETWEEN THE SEWER AND WATER CANNOT BE MAINTAINED, THE WATER MAIN SHALL BE INSTALLED IN A SEPARATE TRENCH ABOVE THE SEWER WITH AN 18 INCH VERTICAL SEPARATION BETWEEN THE CROWN OF THE SEWER AND THE INVERT OF THE WATER MAIN. IF 18" CANNOT BE MAINTAINED, SEE WATER MAIN/SEWER MAIN CROSSING DETAIL.
 - 3) ALL ROADWAY FILLS SHALL BE BROUGHT UP IN UNIFORM ONE FOOT LAYERS AND SHALL BE COMPACTED TO A RELATIVE COMPACTION OF NOT LESS THAN 95% AS DETERMINED BY AASHTO TEST DESIGNATION T-99, METHOD C. MATERIAL SHALL BE TESTED FOR COMPLIANCE TO THE ABOVE REGULATION BY A MATERIALS AND TESTING FIRM. COPIES OF THE TEST RESULTS SHALL BE SUBMITTED TO THE TOWN IN REPORT FORM. FLOCCULANTS AND JUTE MESH MATTING SHALL BE MAINTAINED WITHIN DETENTION BASIN #1 AND ALSO AT ITS OUTLET AND SIMILARLY AT DETENTION BASIN #2 BELOW MARIA CIRCLE UNTIL ALL EXPOSED AREAS ARE PERMANENTLY STABILIZED.
 - 4) IT IS EXPECTED THAT THIS PHASE OF CONSTRUCTION WILL TAKE 4 MONTHS TO COMPLETE.
 - 5) THIS PHASE OF CONSTRUCTION SHALL NOT COMMENCE UNTIL SEDIMENTATION CONTROL BARRIERS ARE INSTALLED AND APPROVAL FOR THE END OF THE PREVIOUS PHASE IS RECEIVED FROM THE WORCESTER CONSERVATION COMMISSION.
 - 6) THE THREE TEMPORARY SETTLING BASINS ACTIVE IN THIS PHASE MUST BE PUMPED OUT, OVER FLOCCULANT BLOCKS AND JUTE MESH, WHEN THEY ARE 1/2 FULL OR GREATER.



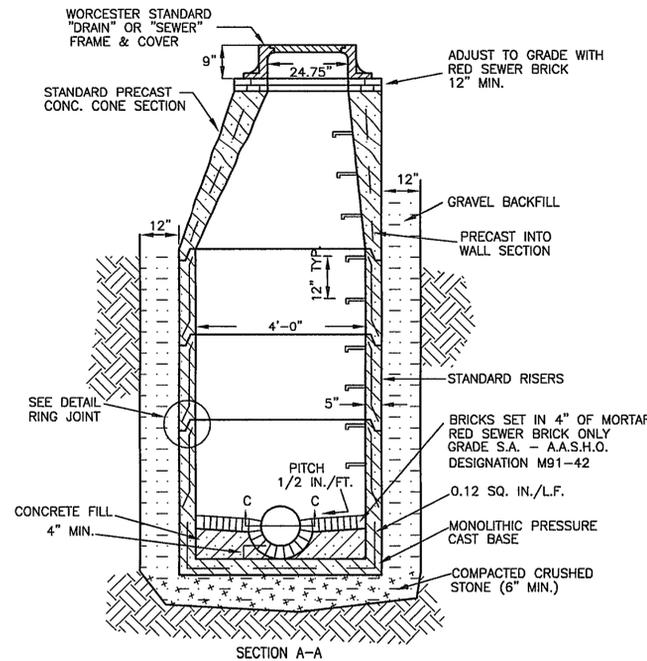
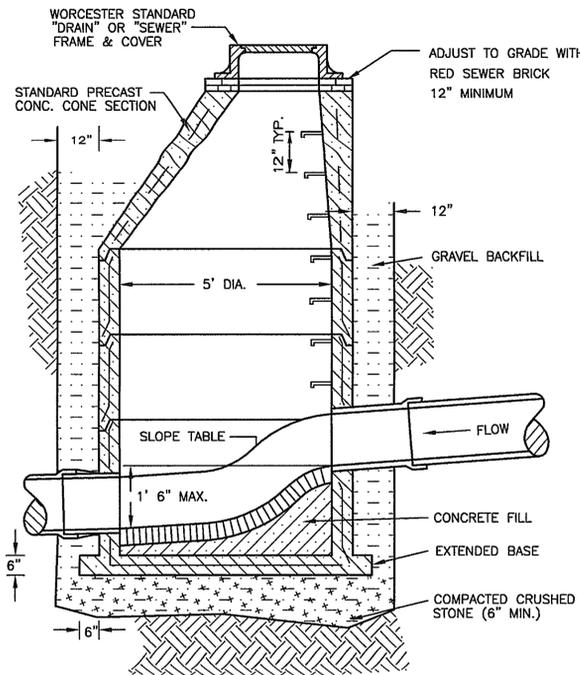
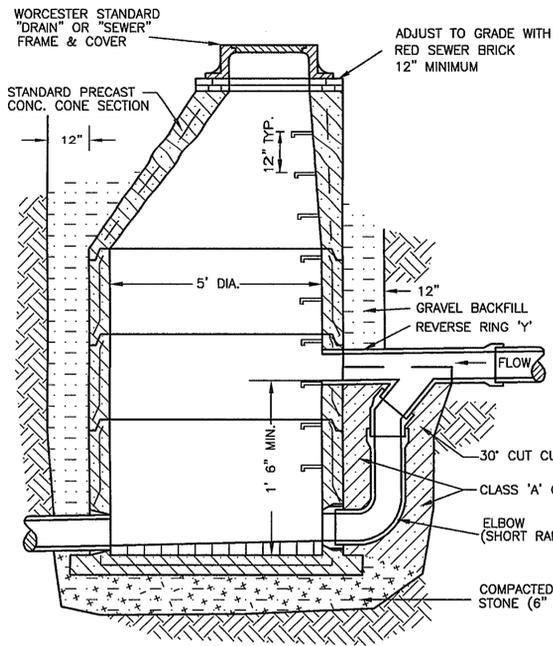
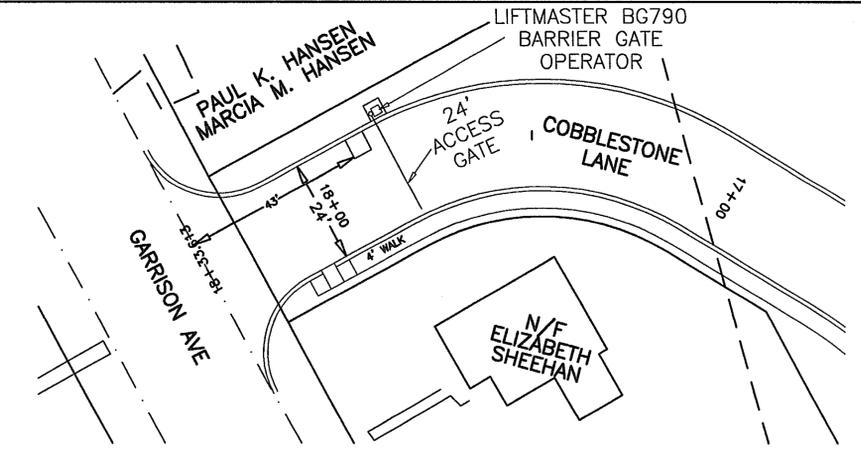
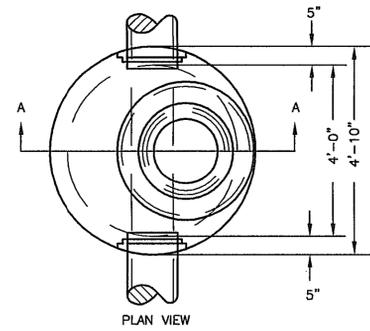
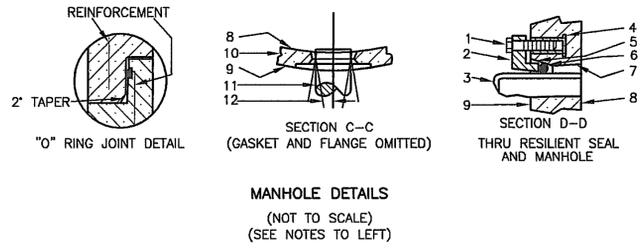
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PLAN AND PROFILE SHEET
 OF SHAMMY CIRCLE
 IN
 WORCESTER, MASS.
 OWNER AND APPLICANT:
WORCESTER COUNTRY CLUB ACRES, LLC
 6 EDGEWOOD ROAD
 WESTBOROUGH, MASSACHUSETTS 01581

- 1/2" COR-TEN BOLTS OR APPROVED EQUAL WITH WASHER
- CAST IRON COMPRESSION FLANGE (A.S.T.M. A48 CLASS 20) SIZE OF FLANGE TO MEET CLASS AND TYPE OF PIPE
- PIPE SECTION
- CAST IRON INSERT - 1/2" TAP (A.S.T.M. A48)
- SMOOTH BEVELED SURFACE TO RECEIVE RUBBER GASKET
- RUBBER GASKET (A.S.T.M. C443-65)
- BEVEL TO ALLOW FOR MISALIGNMENT
- INNER SURFACE OF PRECAST CONCRETE MANHOLE
- OUTER SURFACE OF PRECAST CONCRETE MANHOLE
- PRECAST CONCRETE MANHOLE (A.S.T.M. C478-68)
- PVC, CLAY, CAST IRON OR CONCRETE PIPE
- 9" ALLOWABLE MISALIGNMENT OFF CENTER IN ANY DIRECTION



NOTES ON CONSTRUCTION STATUS:

- 1) ALL DRAIN AND SANITARY SEWER STRUCTURES HAVE, SO FAR, BEEN INSTALLED IN APPROXIMATELY THE LOCATIONS PROPOSED ON THE PREVIOUSLY APPROVED SITE PLANS. NO ADDITIONAL STRUCTURES HAVE BEEN INSTALLED.
- 2) THE 19 EXISTING LIGHTS ARE ALL APPROXIMATELY 14 FEET HIGH.
- 3) WITH THE EXCEPTION OF GUARD RAILS TO BE INSTALLED ALONG SHAMY CIRCLE, ALL OF THE GUARD RAILS PROPOSED FOR THIS PROJECT HAVE BEEN INSTALLED.
- 4) ENAYA CIRCLE AND MYRA LANE RECEIVED FINISH COURSE PAVEMENT. MARIA CIRCLE AND COBBLESTONE LANE FROM THE ENTRANCE AT EAST MOUNTAIN STREET TO STATION 7+00 ARE ABOUT TO GET A FINISH COURSE OF PAVEMENT.
- 5) EXISTING RIPRAP SLOPE STABILIZATION IS IN PLACE ON COBBLESTONE LANE FROM STATION 3+00 TO THE INTERSECTION WITH MARIA LANE ON THE LEFT SIDE AND ALL ALONG THE LEFT SIDE OF MARIA LANE. THEN THERE IS MORE RIPRAP SLOPE STABILIZATION ALONG THE LEFT SIDE OF COBBLESTONE LANE FROM STATION 5+50 TO STATION 10+50. ALONG THE RIGHT SIDE OF COBBLESTONE LANE, RIPRAP SLOPE STABILIZATION IS IN PLACE FROM STATION 3+00 TO STATION 4+25 AND FROM STATION 6+25 TO STATION 7+00. ALL OF THIS INSTALLATION WAS PROPOSED ON THE PREVIOUSLY APPROVED SITE PLANS.

Minimum Standards for Watertight Construction For Sewer Piping

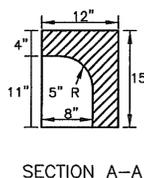
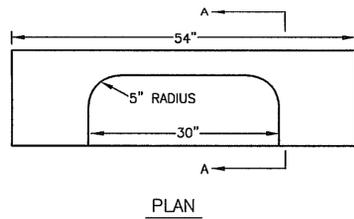
Allowable infiltration or exfiltration should not exceed 200 gpd/inch-diam/mile of sewer. Leakage test shall be specified in the specifications and may include water or low pressure air testing.

Watertight Construction consists of the use of ductile iron, mechanical joint pipe, prestressed concrete cylinder pipe, and solvent welded joint PVC pipe and any combination of the above. Pressure testing should be performed by the owner after completion of construction, prior to startup and after one year of natural settling in order to ensure the watertightness of the affected collection systems, manholes and pump station wet wells.

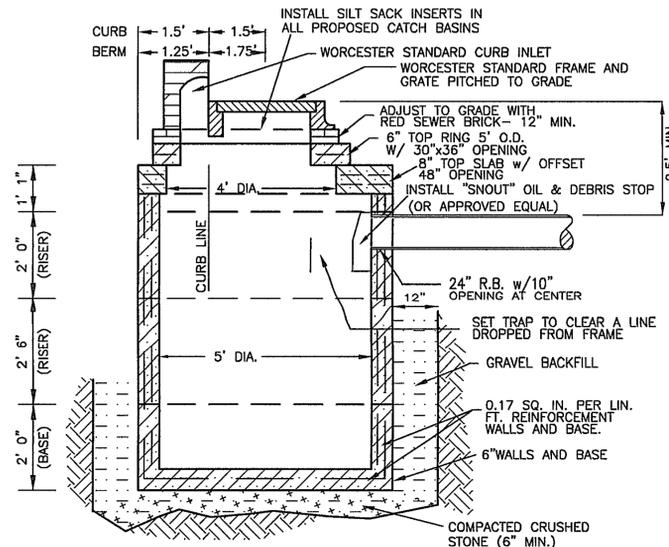
Acceptable air testing procedures are presented in American Society of Testing and Materials Standard #C828-90T "Standard Test Method for Low-Pressure Air Test of Vitrified Clay Pipe". In lieu of that Standard the following test procedure is acceptable.

- 1) Plug all openings in the section of sewer piping to be tested.
- 2) Pressurize the system to be tested to an air pressure of 5 psig. Shut off the pressurized air source.
- 3) Allow the pressure to stabilize for a minimum of 5 minutes.
- 4) Record the stabilized pressure in the test section. Record the test start time. The minimum test pressure is 4 psig. The minimum test time is 5 minutes. At the end of the pressure testing time period record the test pressure and the test termination time. If the pressure drop is greater than 1 psig during the duration of the test, the tested section has failed the test. If the tests are failed, repairs must be made to the affected sewer pipe and the pipe must be retested.

One copy of all test results, certified by a Massachusetts Registered Professional Engineer should be provided to the local sewer authority. That authority and the sewer owner should keep those records for a minimum of 5 years and records should be made available to representatives of the reviewing authority upon request.

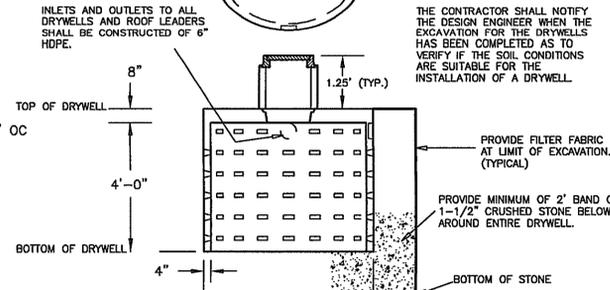
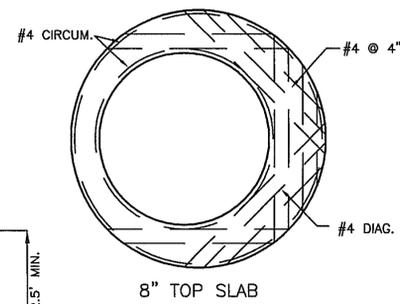


TYPICAL HEADSTONE FOR CATCH BASIN
(NOT TO SCALE)



TYPICAL PRE-CAST CATCH BASIN
(NOT TO SCALE)

DETAIL TYPICAL DRYWELL



Location of drywell (next to unit #)	Elevation of bottom of drywell
78	594.0
99	567.0
100	559.0
103	569.0
104	562.0
106	560.0

USE ROTONDO DW 8-4 HD OR APPROVED EQUAL. CONCRETE MINIMUM STRENGTH: 4,000 P.S.I. @ 28 DAYS. STEEL REINFORCEMENT: ASTM A-615 GRADE 60, 1" MIN. COVER. DESIGN LOADING: AASHTO HS20-44.

DIG SAFE:

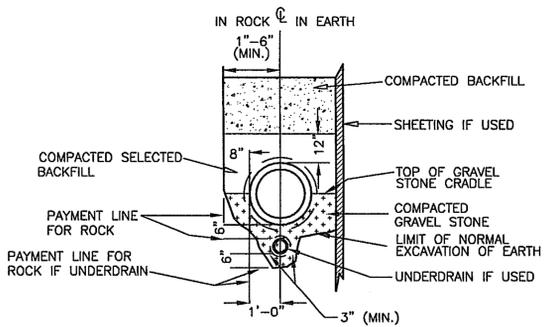
EXCEPT FOR VISIBLE STRUCTURES (MANHOLES, GATES, POLES, ETC.) LOCATED BY THOMPSON-LISTON ASSOCIATES, INC., ALL UNDERGROUND UTILITIES SHOWN WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS FROM THE VARIOUS UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE DESIGNING, EXCAVATING, BLASTING OR INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION OR REPAIRING. ALL UTILITY COMPANIES, PUBLIC & PRIVATE, MUST BE CONTACTED, INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. THOMPSON-LISTON ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. CALL "DIG SAFE" AT 811

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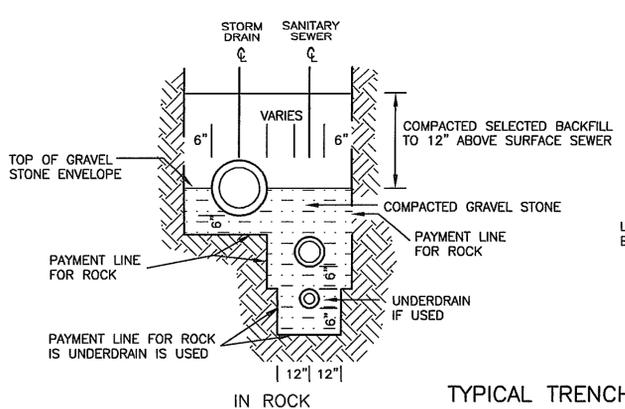
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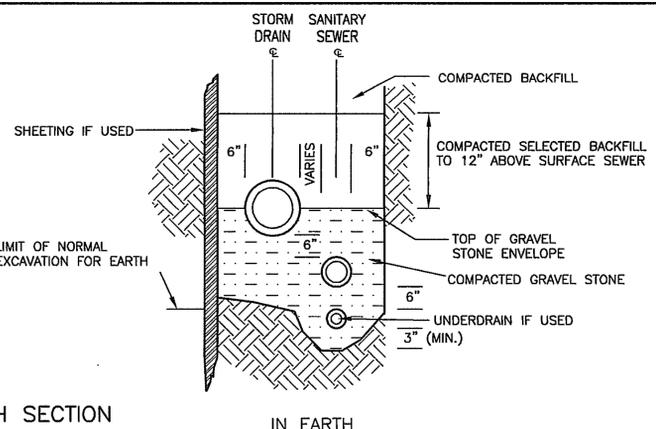
DETAIL PLAN OF LAND IN WORCESTER, MASSACHUSETTS
OWNER AND APPLICANT:
WORCESTER COUNTRY CLUB ACRES, LLC
6 EDGEWOOD ROAD
WESTBOROUGH, MASSACHUSETTS 01581



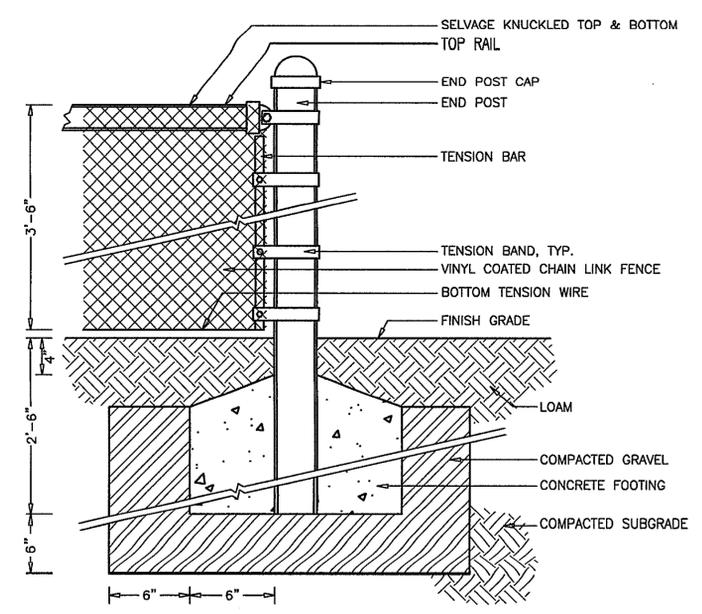
TYPICAL TRENCH SECTION
ONE PIPE
(NOT TO SCALE)



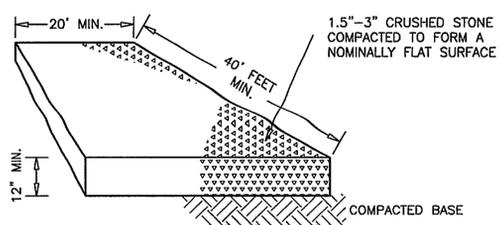
TYPICAL TRENCH SECTION
TWO PIPES
(NOT TO SCALE)



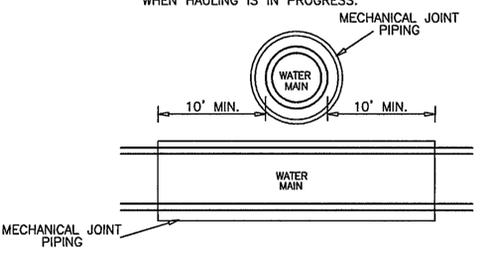
SITE ENTRANCE MAT FOR PHASE E
(NOT TO SCALE)
COBBLESTONE LANE SHALL BE SWEEP DAILY WHEN HAULING IS IN PROGRESS.



VINYL COATED CHAIN LINK SAFETY FENCE
NOT TO SCALE

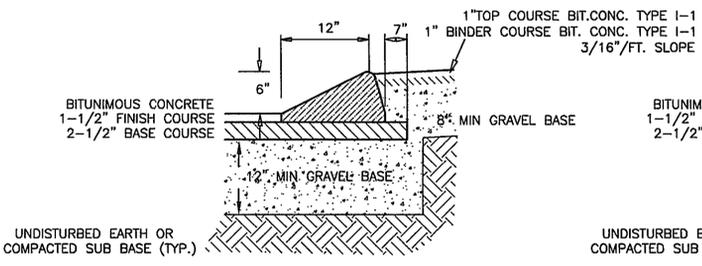


SITE ENTRANCE MAT FOR PHASES D, F-1
(NOT TO SCALE)

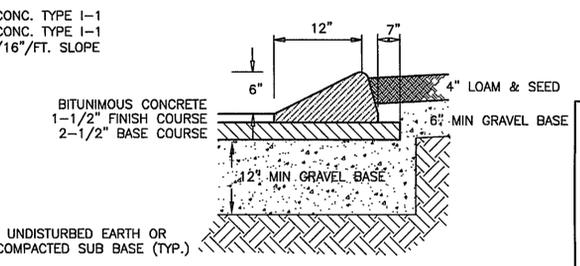


MECHANICAL JOINT PIPING OF BOTH WATER AND SEWER SHALL EXTEND FOR 10 FEET FROM THE INTERSECTION OF THE MAINS AND ALONG EACH MAIN. CENTER ONE FULL PIPE LENGTH OF BOTH WATER AND SEWER OVER THE INTERSECTION.

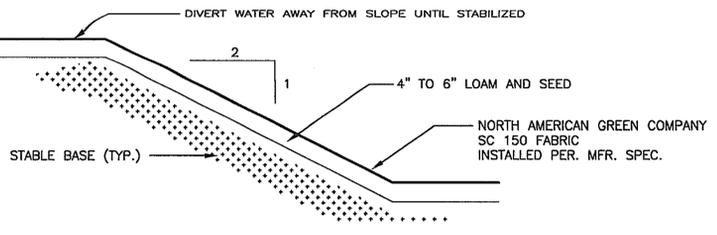
WATER MAIN/SEWER MAIN CROSSING
WHERE 18" VERTICAL CLEARANCE IS NOT PROVIDED
(NOT TO SCALE)



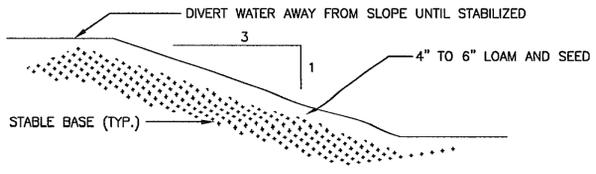
BITUMINOUS CONCRETE "CAPE COD" BERM AND SIDEWALK
(NOT TO SCALE)



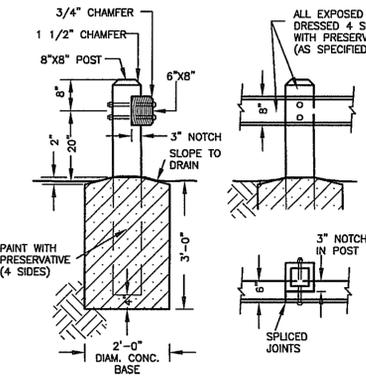
BITUMINOUS CONCRETE "CAPE COD" BERM
(NOT TO SCALE)



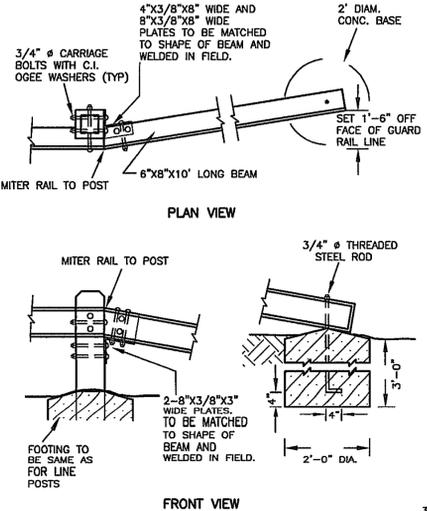
1:1 TO 3:1 SLOPE TREATMENT
(NOT TO SCALE)



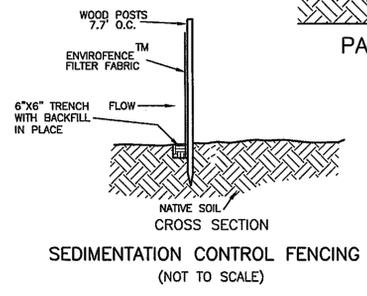
3:1 AND FLATTER SLOPE TREATMENT
(NOT TO SCALE)



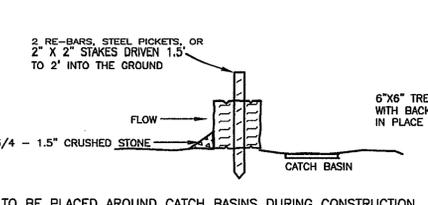
TIMBER GUARD RAIL
NOT TO SCALE



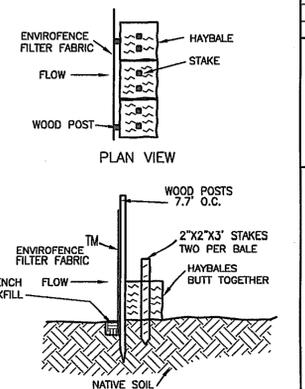
GUARD RAIL END TRANSITION
NOT TO SCALE



SEDIMENTATION CONTROL FENCING
(NOT TO SCALE)



STRAW BALE DIKE
(NOT TO SCALE)



SEDIMENTATION CONTROL BARRIER
(NOT TO SCALE)

- NOTES:**
- 1) SILT SACKS SHALL BE INSTALLED IN EVERY PROPOSED CATCH BASIN AND KEPT IN PLACE UNTIL THE END OF THE PROJECT.
 - 2) A 4 FOOT HIGH SAFETY FENCE SHALL BE INSTALLED ON TOP OF THE PROPOSED FLEX MSE WALL SYSTEMS SHOWN IN TWO LOCATIONS.
 - 3) THE VERTICAL AND HORIZONTAL DATUMS OF THE PLANS ARE NAD83 AND NAVD88 RESPECTIVELY.
 - 4) THE PROJECT SHALL BE CONSTRUCTED IN SUBSTANTIAL ACCORDANCE WITH THE FINAL PLANS ON FILE WITH THE CITY OF WORCESTER AND ALL APPLICABLE GOVERNMENT CODES.
 - 5) THE TEMPORARY SETTLING BASINS HAVE ALL BEEN SIZED ACCORDING TO DEP STORMWATER HANDBOOK STANDARDS TO HAVE CAPACITY TO RECEIVE STORMWATER RUNOFF TO A VOLUME OF 1" OVER THE WATERSHED DRAINING TO THEM.
 - 6) ALL PROPOSED UNITS ARE TO CONTAIN TWO BEDROOMS.
 - 7) VINYL SIDING SHALL BE THE EXTERIOR CLADDING MATERIAL ON ALL REMAINING UNITS.

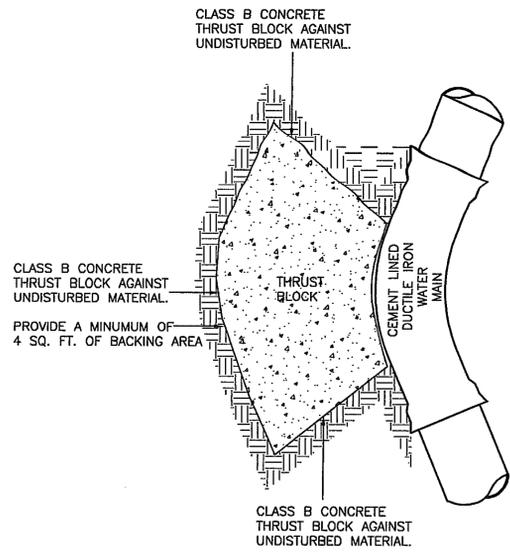


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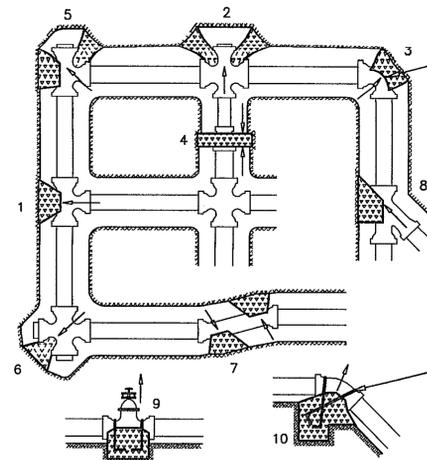
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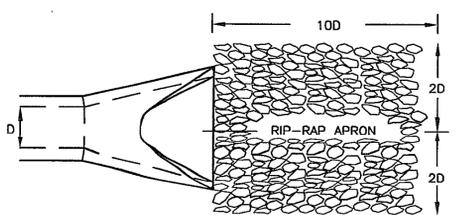
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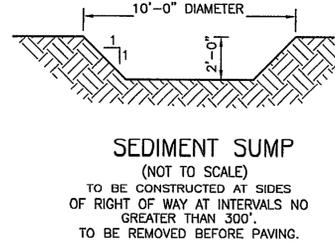
THRUST BLOCK PLAN VIEW
(NOT TO SCALE)



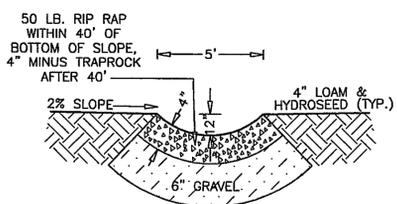
THRUST BLOCK DETAIL
(NOT TO SCALE)



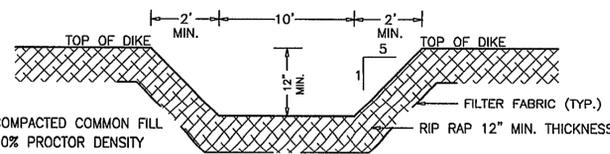
FLARED END SECTION
WITH SCOUR PROTECTION
(NOT TO SCALE)



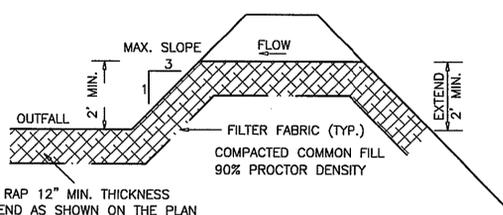
SEDIMENT SUMP
(NOT TO SCALE)
TO BE CONSTRUCTED AT SIDES OF RIGHT OF WAY AT INTERVALS NO GREATER THAN 300'. TO BE REMOVED BEFORE PAVING.



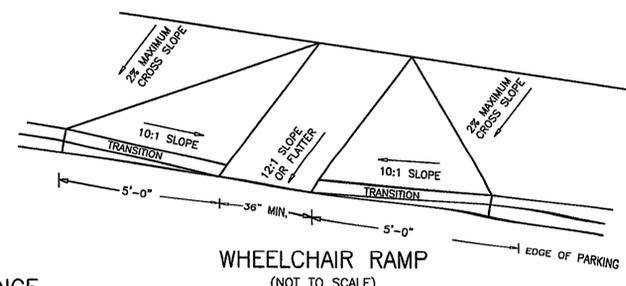
LOW FLOW CHANNELS
IN DETENTION BASINS
(NOT TO SCALE)



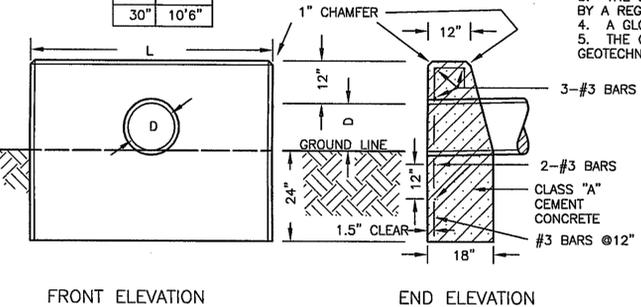
CROSS SPILLWAY SECTION
(NOT TO SCALE)



THRU SPILLWAY SECTION
(NOT TO SCALE)

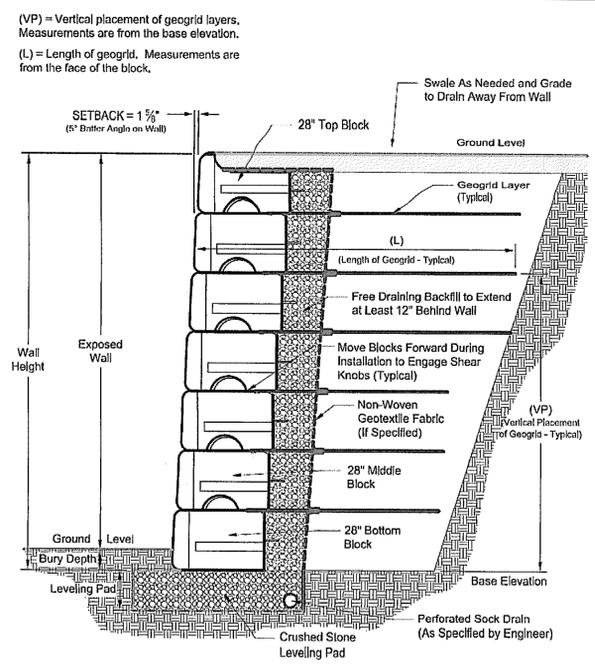


WHEELCHAIR RAMP
(NOT TO SCALE)



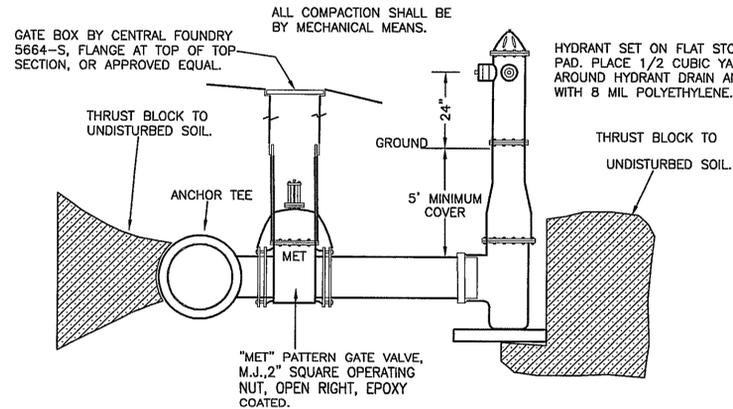
HEADWALL
(NOT TO SCALE)

D	L
8"	4'2"
10"	4'10"
12"	5'6"
15"	6'6"
18"	7'6"
21"	8'6"
24"	9'3"
30"	10'6"

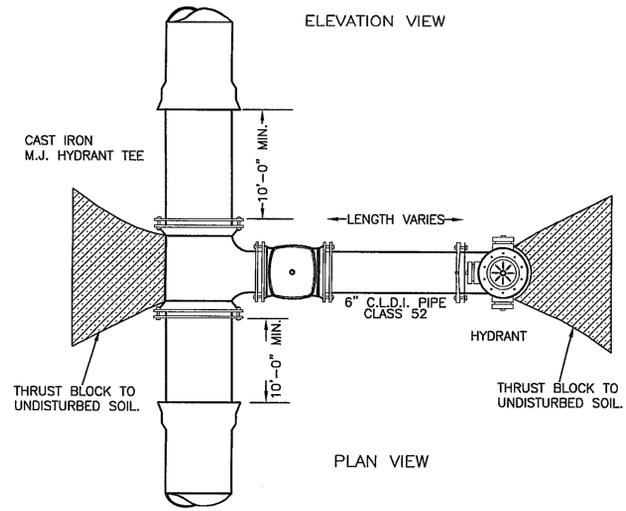


LARGE BLOCK GRAVITY RETAINING WALL SECTION
(NOT TO SCALE)

- NOTES:
1. WALLS OVER 4 FEET HIGH REQUIRE A BUILDING PERMIT AND WALL DESIGN STAMPED BY AN ENGINEER.
 2. THE SITE PLAN REFLECTS REDI-ROCK 41" AND 28" BLOCKS, BUT THE ACTUAL PRODUCT WILL BE SELECTED BY THE SITE CONTRACTOR AND DEVELOPER.
 3. THE SITE CONTRACTOR SHALL SUBMIT TO THE ENGINEER DESIGN PLANS PREPARED BY A REGISTERED PROFESSIONAL ENGINEER PRIOR TO ISSUANCE OF A BUILDING PERMIT.
 4. A GLOBAL STABILITY ANALYSIS WILL BE REQUIRED.
 5. THE CONTRACTOR SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER IN THE DESIGN AND CONSTRUCTION OF THE RETAINING WALLS.



ELEVATION VIEW



PLAN VIEW

TYPICAL HYDRANT W/GATE
(NOT TO SCALE)

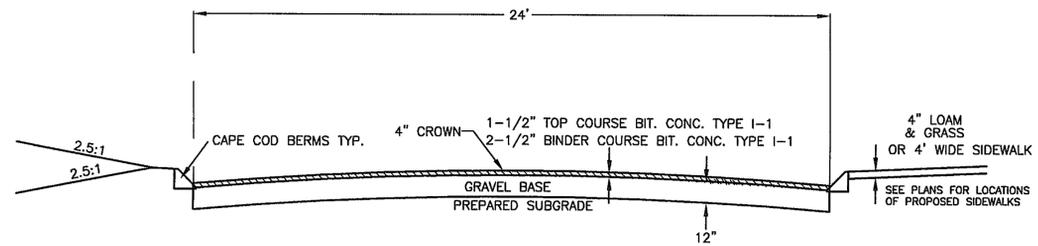
ZONING COMPLIANCE

THE SITE IS LOCATED IN THE RS-7 DISTRICT AND IN WATER RESOURCE PROTECTION OVERLAY DISTRICTS 2 AND 3. THE FOLLOWING TABLE COMPARES ZONING REQUIREMENTS AND DIMENSIONS PROPOSED:

DIMENSION	REQUIREMENT	PROVIDED
LOT AREA	5 AC.(FOR CCRC)	37.32 AC.
FRONTAGE	65'	74.28'(MOUNTAIN STREET EAST) 39.00'(GARRISON AVE)
FRONT YARD	25'	154'(UNIT 65 TO GARRISON AVE)
SIDE YARD	20'	21.1'(UNIT 72)
REAR YARD	50'	NOT APPLICABLE
OPEN SPACE(%)	25 (MIN.)	43.9
FLOOR-AREA RATIO	0.4 (MAX.)	0.11
BUILDING HEIGHT	35' (MAX.)	28'
BUILDING STORIES	2 (MAX.)	2

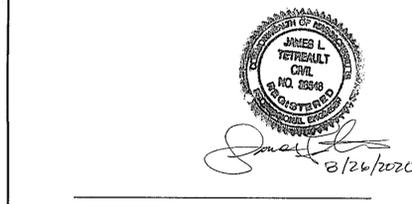
ARTICLE X, SECTION 4.A.1 OF THE ZONING ORDINANCE STATES THAT THE PERMISSIBLE DENSITY OF A CCRC IS BY THE FORMULA: MAXIMUM UNITS = 2 X[(PARCEL SIZE X .8)/MINIMUM LOT SIZE PERMITTED IN ZONING DISTRICT OF THE PARCEL]

THE PARCEL SIZE IN THIS CASE IS 1,625,446 SQ.FT. AND THE MINIMUM LOT SIZE IN THE RS-7 ZONING DISTRICT IS 7,000 SQ.FT. SO THE MAXIMUM NUMBER OF UNITS PERMISSIBLE IS: MAX. UNITS = 2 X [(1,625,446 X .8)/7,000] = 371 UNITS AND ONLY A TOTAL OF 108 UNITS ARE PROPOSED.



PROPOSED ROAD CROSS SECTION
SCALE: NTS

SUBDRAINS SHALL BE INSTALLED IN AREAS WHERE THE PROPOSED ROADWAY GRAVEL BASE IS LOCATED WITHIN CUT AREAS GREATER THAN 3 FEET. SUBDRAIN DISCHARGES SHALL BE CONNECTED TO PROPOSED CATCHBASINS (TYP.). SUBDRAINS SHALL EXTEND FROM 6 INCHES BELOW FINISHED GRADE TO A MIN. DEPTH OF 1 FOOT BELOW BOTTOM OF ROADWAY GRAVEL BASE.



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CLT. NO.	2065	JOB NO.	348-1266
DATE:	JULY 27, 2020	DWG NO.	WCCACURRENT

DATE:	REVISIONS DESCRIPTION
8/26/20	CITY REVIEW

SCALE: AS SHOWN

DETAIL PLAN OF LAND IN
WORCESTER, MASSACHUSETTS

OWNER AND APPLICANT:
WORCESTER COUNTRY CLUB ACRES, LLC
6 EDGEWOOD ROAD
WESTBOROUGH, MASSACHUSETTS 01581

POLLUTION PREVENTION PLAN FOR COUNTRY CLUB ACRES PHASE 4, WORCESTER, MA

PROJECT DESCRIPTION

The project is the construction of phase IV-D through IV-I, consisting of units numbers 65 – 108 of the Country Club Acres condominium development. This will entail the construction of units numbers 73 – 78 on Cobblestone Lane and the remainder of the units on Shamy Circle. Cobblestone Lane has been constructed including utilities and is complete except for the installation of guard rails in some locations, the installation of a sidewalk on one side and the laying of a finish course of pavement.

Some earthwork to bring elevations to the proposed subgrade elevation has been completed on Shamy Circle but no other work is done.

Construction will take place in a series of sub-phases, IV-D through IV-I and the purpose of these Site Plans is to show proposed grading, the installation of erosion control barriers and the installation of temporary settling basins and flocculants for each individual sub-phase. Until each individual phase is completed to the satisfaction of the City of Worcester, work on the next sub-phase in order will not proceed. Total site alteration will be approximately 3.60 acres.

Construction Process
Before construction begins in each new sub-phase, sedimentation control barriers consisting of silt fencing attached to posts backed by staked straw bales will be placed at the limit of work in the locations shown on sheets EC1 through EC6.

The first step of the construction process will be the cutting of any remaining trees in the area of the proposed sub-phase of development. After this has been accomplished in the demarcated areas, clearing and grubbing will take place and loam will be stockpiled. Loam to be used in the proposed landscaped areas will be stockpiled in areas outside of the 100 foot buffer zone.

The time of construction requiring the most attention and care occurs between the stripping of natural overburden and the stabilization of construction areas. Cut and fill areas create additional risk by increasing the possibility of stormwater runoff causing erosion.

The contractor will, to the extent possible, leave natural cover untouched at the edges of the property. The contractor will limit to the shortest time possible the time that areas are exposed. The landscaping will be completed as early as weather and building construction allow. During the times between clearing and landscaping, soils will be stabilized with a combination of the placement of stump grindings or wood chips, temporary grass seeding and other measures as necessary to prevent any significant erosion of soils.

In conjunction with the site grading process, a number of sedimentation control procedures will be followed. The object of the procedures is to prevent the erosion of soils and the transport of sediments offsite and to other drainage systems which might discharge them to wetland resource areas.

Stabilization

Temporary and permanent stabilization of disturbed surfaces is the most reliable method of preventing the erosion and transport of site soils. Toward that end, the areas that are disturbed will be provided temporary stabilization within two weeks after the last disturbance when:

- Work is not complete in that area,
- Work will remain incomplete for a period of three weeks or more, and
- The planting season has not been reached in areas which will be re-vegetated.

Permanent stabilization will take place when:

- Work is complete in that area and
- The planting season has been reached and areas can be revegetated.

Best Management Practices Employed

To guard against the transport of soils offsite several Best Management Practices (BMP's) may be employed. sediment sumps, silt sacks, temporary settling basins, hay/straw check dikes, swales, a site entrance mat, flocculants in both crystal and block forms, and organic media for capture of silt below flocculants may be used on this site as appropriate. All of these measures are temporary. The site's permanent protection against erosion and the deposition of sediment off site at resource areas is the permanent stabilization of formerly exposed surfaces with pavement, lawn and other landscaping.

Soils

According to the MassGIS Oliver web site the soils underlying the part of this site constituting sub-phases IV-D through IV-I are Canton series soils categorized as hydrologic soil group B. Though, it should be noted that hydrologic soil group B soils often have a loamy sand texture while the observed soils have a sandy loam texture more common among hydrologic soil group C soils.

Resource Areas

There are bordering vegetated wetlands east of the proposed location of sub-phase IV-F. The delineation of these wetlands was confirmed by the previous Order of Conditions for this project. There is no flood zone A in the area of the proposed work.

SITE PLAN DEVELOPMENT

As part of the Site Plans submitted to the City of Worcester, Thompson-Liston Associates, Inc. has prepared Erosion Control Plans with permanent and temporary erosion control measures shown.

The site's detention basins have already been constructed. Stormwater runoff from Cobblestone Lane will be directed to detention basin #2 below Maria Circle. Stormwater runoff from Shamy Circle will be directed to detention basin #1 east of units 104-108. We will install catch basins in Shamy Circle and collect runoff before directing it to a Vortech stormwater filtration unit and then into detention basin #1. The runoff collected on Cobblestone Lane in this area is already directed to a Vortech stormwater filtration unit and then discharged into detention basin #2.

PHASING

Construction of the remainder of the project, units numbers 65 through 108 and Shamy Circle, will take place in six phases. Total site alteration will be approximately 3.6 acres.

POLLUTION PREVENTION SITE PLAN

The Site Plans prepared by Thompson-Liston Associates, Inc. contain a Grading Plan (sheet G1) and Erosion Control Plans (sheets EC1 – EC6). Various Best Management Practices (BMP's) are described herein and/or shown on the Grading Plan, Erosion Control Plan or the Detail Sheets and will be used to prevent or to mitigate erosion and pollution.

INSPECTION AND MAINTENANCE OF EROSION CONTROLS

1. At all times, siltation fabric fencing or straw bales and stakes sufficient to construct an erosion control barrier a minimum 25 feet long will be stockpiled on the site in order to repair established barriers which may have been damaged or breached.
2. The Developer will designate as Inspector a person or entity other than the site supervisor. The Inspector must be accessible seven days a week and be responsible for inspecting and coordinating the maintenance and repair of all erosion control systems on the site.
3. An inspection of all erosion control measures shall be conducted by the Inspector at least once every two weeks until the completion of construction of the subdivision. The Contractor shall inspect all erosion control systems daily and shall notify the Inspector of any breaches or failures. In case of any noted breach or failure, the Contractor shall immediately make appropriate repairs.
4. The Inspector shall inspect all erosion control systems on the site before, during and after any storm event reaching one of the following thresholds:
 - a. Any storm in which rain is predicted to last for 12 consecutive hours or more.
 - b. Any storm for which a flash flood watch or warning is issued.
 - c. Any single storm predicted to have a cumulative rainfall greater than 1/2 inch.
 - d. Any storm event not meeting the previous three thresholds but which would mark the third consecutive day of measurable rainfall.
5. The Inspector shall inspect erosion control measures at times of significant increase in runoff due to rapid thawing when the risk of failure of those measures is significant.
6. The Inspector shall submit a report of each inspection, including pictures, to the City. In such instances as remedial action is necessary, the Inspector shall cause to be repaired within seven days, any and all significant deficiencies in erosion control measures.
7. The City of Worcester shall be notified of any significant failure of erosion control measures and shall be notified of any release of pollutants.

EXTENDED SHUTDOWN PLAN

IN THE EVENT OF A PLANNED, EXTENDED SHUTDOWN OF SITE WORK LASTING MORE THAN ONE SEASON, THE FOLLOWING STEPS MUST BE TAKEN:

- 1) CITY STAFF MUST BE NOTIFIED.
- 2) ALL CATCH BASINS MUST BE CLEANED.
- 3) THE VORTECHNICS STORMWATER FILTRATION UNITS MUST BE PUMPED OUT.
- 4) IN ALL LOCATIONS WHERE FLOCCULANT BLOCKS AND JUTE MESH ARE IN PLACE, NEW FLOCCULANT BLOCKS SHALL BE INSTALLED IN ADDITION TO ANY REMAINING EXISTING ONES AND AN ADDITIONAL LAYER OF JUTE MESH SHALL BE INSTALLED WHERE THERE IS ALREADY JUTE MESH IN PLACE.
- 5) ROADS MUST BE SWEPT
- 6) ALL EXISTING EXPOSED AREAS MUST BE STABILIZED THROUGH EITHER THE SPREADING OF LOAM AND HYDROSEED IF THEY HAVE SLOPES FLATTER THAN 3:1, THE PLACEMENT OF LOAM AND NORTH AMERICAN GREEN SC150BN GEOTEXTILE MATTING IF THEY HAVE SLOPES STEEPER THAN 3:1 OR A COMPLETE COVER OF STUMP GRINDINGS OR WOOD CHIPS IN EITHER CIRCUMSTANCE.
- 7) THE SHUTDOWN STABILIZATION MEASURES MUST BE INSPECTED AND APPROVED BY THE CONSERVATION COMMISSION.

EROSION CONTROL DEVICES OR PROCESSES

1. Silt fence

Silt fence will consist of an approved siltation fabric fencing installed on posts according to the manufacturer's instructions and backed by staked straw bales. Silt fence will be placed in a manner that prevents the passage of soil materials under, around or over it. Sediment will be removed from against the fence when the accumulated sediment has reached one third of the original installed height of the barrier.

2. Straw Bale Diversion Dike

Straw bales will be placed at property boundaries and other locations on the site in order to further prevent the flow of sediment from the site or reduce the velocity of runoff crossing open land or running off stockpile or fill areas. Straw bale diversion dikes will also be placed within developing rills to reduce surface runoff velocities and to shift the path of the water flow. The locations where straw bale diversion dikes are installed will be determined in the field at the Inspector's discretion.

3. Slope Stabilization

Slopes or surfaces that are created due to excavation or filling along the edge of the parking or loading areas will be stabilized with one or more of the following:

- Hay or straw mulch with tackifier
- Soft wood and hard wood chips.
- In areas that will be steeper than 2:1 after construction, the slope will be stabilized by the placement of heavy riprap or by the installation of erosion control matting specifically rated by the manufacturer for use on a 1:1 slope. The riprap slope to be placed will be formed by placing heavy stone on a one foot thick layer of gravel. Where water flow from runoff or groundwater breakout is a significant concern, an approved filter fabric will be placed over the gravel layer.

Permanent stabilization of slopes and surfaces will employ one or more of the following:

- Loam and grass
- Sod
- Riprap
- Erosion control blankets such as Tensor North American Green C125BN or approved equal and vegetation
- A combination of grasses, riprap and/or plants and shrubbery

4. Diversion Swale

Runoff diversion swales may be provided in order to intercept sheet and concentrated flows above areas of cut, above abutting properties and above resource areas. The swales will direct runoff to sediment sumps or temporary settling basins. The swales will be approximately 5 feet wide and one foot deep. Hay/straw bale diversion dikes may be installed on the downhill side of the swales to assist in containing the water flow.

5. Sediment Sumps

Sediment sumps are excavated depressions of 10 foot diameter and 2 foot depth. The sumps will collect runoff from unfinished drives and slopes and will allow sediment to settle out before flow continues to a detention area or siltation control barrier. Sediment sumps will be cleaned whenever the accumulated sediment has reached one half of the original depth of the sump.

6. Temporary Settling Basins

Temporary settling basins (TSB's) are larger excavations made at locations that will receive significant stormwater runoff flow. They are used to capture and detain stormwater in the construction phase to settle out some eroded material and to lessen the rate of flow of stormwater from construction phase work areas. Temporary settling basins are larger than sediment sumps and shall have silt fence or straw bale dikes at their entrance and exit to control flow. They shall be sized according to the DEP Stormwater management standards which requires that they have sufficient capacity to hold 1 inch of runoff from the watershed contributing flow to them. For example, a TSB receiving flow from 1 acre of land should have a volume capacity of at least 3,630 square feet. TSB's should have flocculant blocks and jute mesh matting at their outlet. TSB's should be cleaned out whenever the accumulated sediment has reached more than 6 inches deep. TSB locations shall be confirmed in the field but prospective TSB locations are shown on the Erosion Control Plans.

7. Flocculants

If the capture of flows in sediment sumps and temporary settling basins does not sufficiently reduce the turbidity of runoff before it enters the drainage system and is discharged toward the wetland resource area, flocculant blocks shall be installed at the outlet of any sediment sump, TSB or swale discharge flow to the site's drainage system. Immediately downstream of the flocculant blocks, a suitable organic media such as jute mesh matting shall be installed over stone for runoff that has contacted the flocculant blocks to flow. This will allow capture of silts.

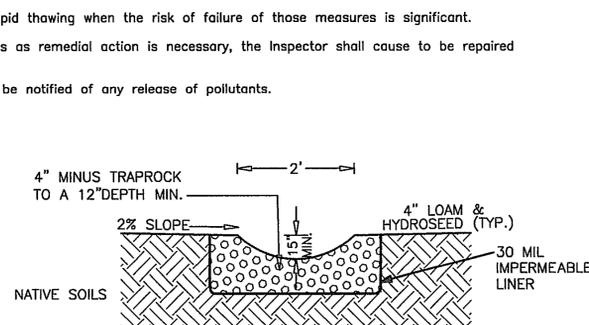
In addition, crystal flocculants may be used to reduce turbidity of captured runoff in sediment sumps and temporary settling basins.

SEQUENCE OF INSTALLATION AND CONSTRUCTION

The following is a sequence for the construction of the project. The actual schedule may vary somewhat from that stated if site or weather conditions require.

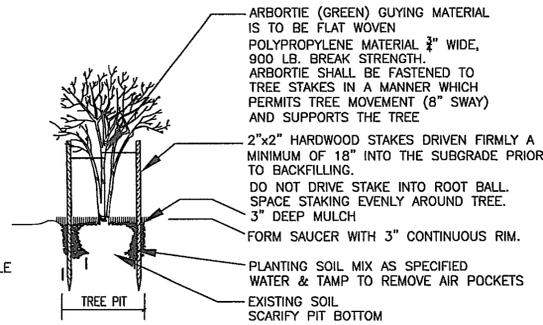
An example of a logical change to the schedule would be deviating from the sequence below to allow the laying of berms prior to a winter freeze in order to better control the site drainage.

1. The Developer will hold a preconstruction meeting with representatives of the City of Worcester in order to review permits, procedures and construction methods.
2. The Developer will hold a preconstruction meeting with the Engineer, Contractor's employees and the Inspector in order to review permits, procedures and construction methods.
3. Cut trees as necessary then clear and grub where trees were cleared.
4. Stockpile and compact excavated loam in an area surrounded by staked straw bales or siltation fencing. Place the straw bales or fencing at least five feet from the base of the loam pile. Stockpile locations must be outside the 100 foot buffer zone.
5. Install sedimentation control barriers for each sub-phase in the locations shown on the appropriate Erosion Control Plan for that sub-phase.
6. Begin earthwork and install temporary settling basins for each sub-phase in the locations shown on the appropriate Erosion Control Plan for that sub-phase. Place wood chips for temporary stabilization where soils are exposed and will not be permanently stabilized within two weeks.
7. Begin construction of the units or, in the case of sub-phase E, Shamy Circle.
8. Complete utility connections to the units then lay gravel base for driveways. Then lay the binder course of pavement for the driveways.
9. Continue construction of the insides of the new units and complete grading around the units including permanent swales where indicated on the Grading Plan and Erosion Control Plans.
10. Permanently stabilize exposed slopes with grass, other vegetation and landscaping as seasonally appropriate. Some slopes, such as the 1.5:1 slopes below units 104-108 in sub-phase F, will be stabilized using a geotextile fabric rated for use on a 1:1 slope.
11. Finish interior construction of the proposed buildings and lay a finish course of driveway pavement.
12. Contact City staff to review the stabilization of the ongoing sub-phase of work and request permission to proceed to the next sub-phase.
13. Remove accumulated sediment and temporary erosion control measures after all slopes and surfaces have been permanently stabilized and the risk of erosion has passed.
14. At the completion of sub-phase I, prepare and submit an as-built survey of the work to the City of Worcester.



TO BE INSTALLED BEHIND UNITS 89-99
IN PHASE G AND BEHIND UNITS 65-72
IN PHASE I.

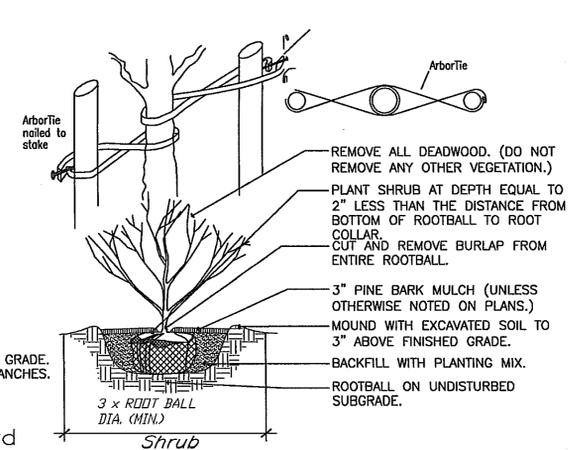
DRAINAGE SWALE
(NOT TO SCALE)



- NOTES:
1. STAKE TO MAIN BRANCHES AS NECESSARY FOR FIRM SUPPORT.
 2. PLANT SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE.
 3. GUY WIRE SHALL NOT TOUCH OR RUB ADJACENT TRUNKS OR BRANCHES.
 4. REMOVE ALL CONTAINERS AND BASKETS FROM ROOT BALL.
 5. REMOVE BURLAP FROM TOP ONE THIRD OF ROOT BALL.
 6. LOOSEN ROOTBALL PRIOR TO PLANTING.

Deciduous Tree Staking Standard

NTS



Shrub
NTS

ALL PROPOSED PLANTINGS SHALL
NOT BE USDA ASIAN LONGHORN
BEETLE HOST TREES AND SHRUBS



James L. Terrecillo
8/26/2020

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CLT. NO. 2065	JOB NO. 348-1266
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DATE: MAY 14, 2020	DWG NO. WCCACURRENT
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REVISIONS	
DATE:	DESCRIPTION
8/26/20	CITY REVIEW

SCALE: AS SHOWN

DETAIL PLAN OF LAND IN WORCESTER, MASSACHUSETTS

OWNER AND APPLICANT:
WORCESTER COUNTRY CLUB ACRES, LLC
6 EDGEWOOD ROAD
WESTBOROUGH, MASSACHUSETTS 01581



N/F WORCESTER COUNTRY CLUB

CITY OF WORCESTER
CONSERVATION COMMISSION

N/F MARK F. DESROSIERS
TERESA M. LORUSSO

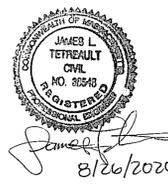
FLEX USE
VEGETATED WALL
SYSTEM (OR
APPROVED EQUAL)

FLEX USE
VEGETATED WALL
SYSTEM (OR
APPROVED EQUAL)

W. NELSON
NELSON
K. HANSEN
HANSEN

PHASE LINE

NOTES:
 1) COBBLESTONE LANE HAS BEEN PAVED TO BINDER LEVEL WHILE SHAMY CIRCLE HAS NOT BEEN CONSTRUCTED.
 2) UNITS #'S 58-64 HAVE BEEN CONSTRUCTED. UNITS #'S 73-76 ARE IN THE PROCESS OF CONSTRUCTION.
 3) UTILITY STUBS HAVE BEEN LEFT IN THE BEGINNING OF BOTH ENDS OF SHAMY CIRCLE FROM THE CONSTRUCTION OF COBBLESTONE LANE



CLT. NO.
2065
 JOB NO.
3481266A
 DWG. NO.
WCCACCPHASE
 DATE:
JULY 27, 2020
 REVISION DATES:
AUGUST 26, 2020

SCALE: 1 INCH = 30 FEET
 0 15 30 60 90
 FEET

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PHASING PLAN OF LAND IN
 WORCESTER, MASSACHUSETTS
 OWNER AND APPLICANT:
WORCESTER COUNTRY CLUB ACRES, LLC
 6 EDGEWOOD ROAD
 WESTBOROUGH, MA 01581

N/F WORCESTER COUNTRY CLUB

PLANTING SCHEDULE

Qty.	Key	Common Name	Botanical Name	Size	Remarks
TREES					
7	PC	Callery Pear	<i>Pyrus calleryana</i> "Chanticleer"	2" Cal.	Balled&Burlapped
SHRUBS					
19	RA	Sweet Azalea	<i>Rhododendron arborescens</i>	18-24"Ht.	Nursery Grown
19	TC	Cap Yew	<i>Taxus cuspidata</i> "Capitata"	18-24"Ht.	Nursery Grown
19	BS	Common boxwood	<i>Buxus sempervirens</i>	10-12"Ht.	Nursery Grown
19	HM	Endless summer hydrangea	<i>Hydrangea macrophylla</i> 'endless summer'	18-24"Ht.	Nursery Grown
19	RP	Lavender-pink rhododendron	<i>Rhododendron</i> 'PJM checkmate'	18-24"Ht.	Nursery Grown
19	SP	Miss Kim Lilac	<i>Syringa pubescens</i> patula	18-24"Ht.	Nursery Grown

A MINIMUM OF ONE EVERGREEN AND TWO FLOWERING SHRUBS SHALL BE PLANTED IN FRONT OF EACH OF THE 38 REMAINING UNITS. SEE SHEET D4 FOR PLANTING DETAILS.

KEY

- WFL WETLAND BOUNDARY
- 15' BUFF CITY NO WORK 15' BUFFER
- 30' CITY NO STRUCTURES 30' BUFFER
- 100' BUFFER 100' BUFFER ZONE LIMIT
- PROPOSED DRIVEWAY EDGE
- PROPOSED BERM
- EXISTING UTILITY POLE
- EXISTING POLE WITH LIGHT
- PROPOSED ETC CONDUIT
- 2' CONTOUR
- 10' CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE
- EXISTING SPOT GRADE
- RETAINING WALL
- STONE WALL
- PROPOSED DRYWELL TO RECEIVE ROOF RUNOFF
- PROPOSED GUARD RAIL
- PROPOSED WATER SERVICE
- PROPOSED CATCH BASIN
- PROPOSED DRAIN MANHOLE
- PROPOSED VORTECHNICS STORM-WATER FILTRATION UNIT

NOTE:
THE PROPOSED STABILIZATION OF OTHER DISTURBED SURFACES NOT GIVEN IMPERVIOUS COVER SHALL BE LAWN OR GRASS.

OPEN SPACE AREA #1
499,271 SQ. FT.
11.4617 ACRES

OPEN SPACE AREA #2
213,834 SQ. FT.
4.9090 ACRES

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CLT. NO. 2065 JOB NO. 348-1266

DATE: AUGUST 26, 2020 DWG NO. WCCACURRENT

REVISIONS DESCRIPTION

DATE:	DESCRIPTION

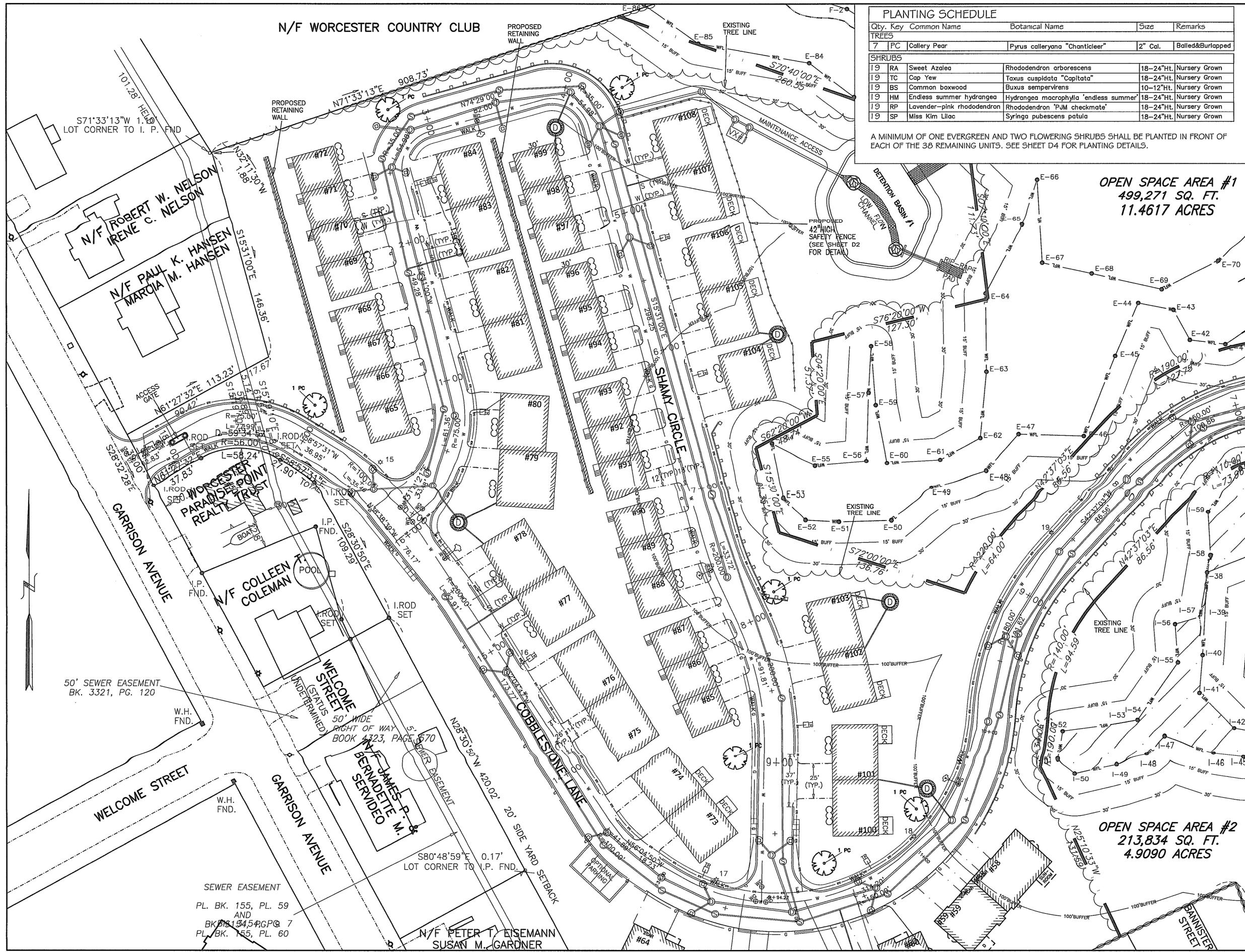
SCALE: 1 INCH = 30 FEET



FEET 0 15 30 60 90
METERS 0 15 30

LANDSCAPING PLAN OF LAND IN WORCESTER, MASSACHUSETTS

OWNER AND APPLICANT:
WORCESTER COUNTRY CLUB ACRES, LLC
6 EDGEWOOD ROAD
WESTBOROUGH, MASSACHUSETTS 01581



SEWER EASEMENT
PL. BK. 155, PL. 59
AND
BK. 154, PL. 7
PL. BK. 155, PL. 60

N/F PETER T. EISEMANN
SUSAN M. GARDNER

50' SEWER EASEMENT
BK. 3321, PG. 120

W.H. FND.

W.H. FND.

W.H. FND.

W.H. FND.

W.H. FND.

W.H. FND.

S80°48'59"E 0.17'
LOT CORNER TO I.P. FND.

20' SIDE YARD SETBACK

50' WIDE RIGHT OF WAY
BOOK 4323, PAGE 570

WELCOMESTREET
(STATUS DETERMINED)

N/F JAMES P. BERNARDETTI M.

GARRISON AVENUE

N/F COLLEEN COLEMAN

POOL

I.P. FND.

WELCOMESTREET

WELCOMESTREET

WELCOMESTREET

WORCESTER PARADISE POINT REALTY TRUST

BOATSLIP

WELCOMESTREET

WELCOMESTREET