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January 16, 2020

**BY HAND DELIVERY AND E-MAIL – [planning@worcesterma.gov](mailto:planning@worcesterma.gov)**

Division of Planning & Regulatory Services  
City Hall, Room 404  
455 Main Street  
Worcester, MA 01608  
Attn: Stephen S. Rolle, P.E., Assistant Chief Development Officer

**Re: *Application for Amendment to Special Permit for Adult Use Marijuana Establishment Consisting of Marijuana Cultivator and Marijuana Product Manufacturer Uses at 141 Southwest Cutoff a/k/a 139 Southwest Cutoff, Worcester, Massachusetts***

Dear Mr. Rolle:

This firm represents Temescal Wellness of Massachusetts, LLC (“Temescal”) in connection with its application for an amendment to its special permit to allow for an expansion of its adult use marijuana establishment consisting of marijuana cultivator and marijuana product manufacturer uses at the above-referenced property. Temescal is seeking to construct an approximately 52,474 square foot addition to its existing building to accommodate the expansion of its previously approved adult use marijuana cultivator and product manufacturer uses. We hereby submit the following items for filing with the Planning Board (16 copies):

1. Special Permit Amendment Application with Statement in Support;
2. Certification of Tax/Revenue Collection Compliance (attached to Application);
3. Certified List of Abutters;
4. Plan Set (11”x17”, additional copies to be submitted by landlord);
5. Photometric Plan (11”x17”, additional copies to be submitted by landlord) and lighting detail sheet;
6. Renderings (11”x17”, additional copies to be submitted by landlord);
7. Original Special Permit Decision;
8. Original Plan of Land (11”x17”);
9. Certification of Minimum Distance Requirements;

10. Security Plan (see Statement in Support);
11. Odor Control Plan (see Statement in Support);
12. CCC Documents;
13. List of Management Personnel and Disclosure of Financial Interest;
14. Business Registration;
15. Host Community Agreement;
16. Lease (Redacted);
17. Evidence of Escrow Account;
18. Two sets of stamped envelopes with abutters' labels; and
19. Filing fee in the amount of **\$330.00** payable to the City of Worcester.

Digital copies of the Application and the other submitted materials are also being filed with Planning & Regulatory Services today. Please let me know if you should have any questions concerning the enclosed.

Kindly file an original of this Application with the City Clerk, and schedule this Application for hearing at the Board's next meeting, which is scheduled to occur on **February 19, 2020**.

Thank you for your assistance in this matter.

Yours truly,



Joshua Lee Smith

JLS:gb

Enclosures

cc: Project Team (w/enclosures)

**City of Worcester  
Department of Inspectional Services  
Zoning Determination Form**

To obtain a building permit, you are required to file the following Board application(s):

**Property Address:**  
141 Southwest Cutoff a/k/a  
139 Southwest Cutoff, Worcester

**Zoning District:** MG-2.0

**Planning Board** (Indicate all that apply)

**Site Plan** (circle all that apply):

Preliminary                      Definitive

**Trigger(s)**<sup>1</sup>: (circle all that apply) \_\_\_\_\_

15% Slope              Lodging              Historical  
WRP                      # of Units              GFA  
Subdivision              Flood Plain  
Special Permit related

**Parking Plan:**

# of Spaces \_\_\_\_\_

**Special Permits** (circle all that apply)<sup>1</sup>

AROD      FPOD      CCRC  
WRP      MU      Cluster      CCOD  
Common Drive      AHDB      AOD

**Other Filings** (either Board)

- Amendment** Adult Use Marijuana – Cultivation and Manufacturer uses
- Administrative Appeal**
- Extension of Time**
- Comprehensive Permit**

**Other** \_\_\_\_\_  
**Zoning Board of Appeals** (Indicate all that apply)

**Variance(s)** (Indicate relief needed for all that apply)

| Dimension           | Requirement   | Provided | Relief Requested |
|---------------------|---------------|----------|------------------|
| Gross Area (SF)     |               |          |                  |
| Frontage (ft.)      |               |          |                  |
| Setback (ft.)       | Front         |          |                  |
|                     | Side          |          |                  |
|                     | Exterior Side |          |                  |
|                     | Rear          |          |                  |
| Height (ft.)        |               |          |                  |
| Floor to Area Ratio |               |          |                  |
| Parking (spaces)    |               |          |                  |
| Landscaping         |               |          |                  |
| Other               |               |          |                  |

**Applicable Section of Zoning Ordinance**

**Article:** Article IV  
**Section:** 15  
**Paragraph:** E.1

**Special Permit** (circle all that apply):

Expansion/Change of pre-existing nonconforming Structure      Use

Non-Residential/Residential Conversion

Other Special Permit

Adult Use Marijuana Establishment – Marijuana Cultivator and Marijuana Product Manufacturer Uses

Department of Inspectional Services

Authorized Signature Required      JRK      DJH      JKV

*[Handwritten Signature]*  
1-16-20

<sup>1</sup> AOD= Arts Overlay District, AHDB=Affordable Housing, AROD=Adaptive Reuse Overlay District, CCRC=Continuing Care Retirement Community, FPOD = Flexible Parking, FP Flood Plain, MU= Mixed Use WRP=Water Resources Protection.

CITY OF WORCESTER PLANNING BOARD

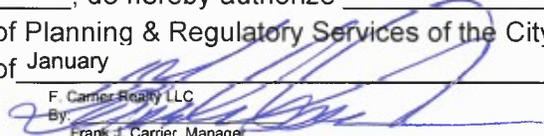


**SPECIAL PERMIT APPLICATION FOR ADULT USE MARIJUANA**

Division of Planning & Regulatory Services  
City Hall, 455 Main Street, Room 404, Worcester, MA 01608  
Office 508-799-1400 ext. 31440 – Fax 508-799-1406

1. Street Address of the Property in this Application: 141 Southwest Cutoff (Route 20) a/k/a 139 Southwest Cutoff  
Assessor's Map, Block & Lot: 34-035-00013
2. Name of Applicant: Temescal Wellness of Massachusetts, LLC
3. Address of Applicant: c/o Bowditch & Dewey, LLP, Attn: Joshua Lee Smith, 311 Main Street, Worcester, MA 01608
4. Telephone: 508-926-3464
5. E-mail: jsmith@bowditch.com
6. Interest in Property:  
A. Owner                       B. Developer                       C. Other
7. Owner of Record, if different from Applicant: F. Carrier Realty LLC
8. Address of Owner of Record: 11 Jamie Lane, Shrewsbury, MA 01545
9. *If the applicant is different from the owner, fill out the following:*

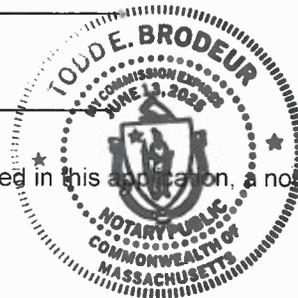
AUTHORIZATION: I, Frank J. Carrier, Manager, Owner of Record of the property listed with the Assessing Division of the City of Worcester, Massachusetts as Map 34 Block 035 Lot(s) 00013, do hereby authorize Temescal Wellness of Massachusetts, LLC to file this application with the Division of Planning & Regulatory Services of the City of Worcester on this the 13 day of January, 2020.

By:   
F. Carrier Realty LLC  
Frank J. Carrier, Manager

On this 13 day of January, 2020, before me personally appeared \_\_\_\_\_, to me known to be the person described in and who executed the foregoing instrument and acknowledged that he/she executed the same as his/her free act and deed Temescal Wellness of Massachusetts, LLC

**NOTARY PUBLIC**                      Todd E. Brodeur

My Commission Expires: June 13, 2025



(If there is more than one owner of the land to be considered in this application, a notarized authorization is required for each owner.)

**10. What type of Marijuana Establishment Special Permit/s Are You Applying For? (check all that apply):**

- Club, lodge, other private grounds (non-profit and private) allowing on-site consumption of marijuana or marijuana products, but not operating as a licensed marijuana social consumption operator.
- Marijuana Cultivator
- Marijuana Delivery- Only Retailer
- Marijuana Independent Testing Laboratory
- Marijuana Product Manufacture (Greater than 5,000 SF)
- Marijuana Product Manufacture (5,000 SF in size or less)
- Marijuana Research Facility
- Marijuana Storefront Retailer
- Marijuana Transporter
- Micro- Business

**11. Zoning Classification(s) including overlay districts:**

MG-2.0

**12. Present Use:**

Adult use marijuana establishment consisting of marijuana cultivator and marijuana product manufacturer uses.

**13. Describe Proposed Use/General Description of Proposed Development of Property** (include information about buildings (area, etc.) to be retained and proposed uses (in SF) of all buildings on site). Attach additional sheets if necessary:

See Statement in Support.

**14. Proposed Hours and Days of Operation:**

Sunday through Saturday - 7:00 am to 12:00 am

**15. Land Use Approvals / Relief Previously Granted or Pending by other land use Boards:**

On January 2, 2019, the City of Worcester Planning Board granted a special permit for: (i) Adult-Use - Marijuana Cultivator (Article IV, Section 2, Table 4.1 Business Use #32); and (ii) Adult-Use - Marijuana Product Manufacturer (Article IV, Section 2, Table 4.1 Business Use #34).

Temescal Wellness of Massachusetts, LLC is seeking to amend the special permit as provided in the Statement in Support.

**16. SPECIAL PERMIT FINDINGS OF FACT**

The Board will make findings based on the criteria below to determine whether or not to approve the Special Permit. The Board may choose to adopt the findings of fact provided by the applicant or modify them based on public or staff comments, or Board discussion as needed.

**In the spaces below, explain how the adverse effects of the proposed use will not outweigh its beneficial impacts to the City with respect to each of the following considerations per Article II, Section 6(A)(2) of the Zoning Ordinance. (Attach additional supporting documentation as necessary.)**

- a. Social, economic or community needs that are served by the proposal:

See Statement in Support.

- b. Traffic flow and safety, including access, parking and loading areas:

See Statement in Support.

- c. Adequacy of utilities and other public services:

See Statement in Support.

- d. Neighborhood character and social structure:

See Statement in Support.

- e. Impacts on the natural environment:

See Statement in Support.

- f. Potential fiscal impact, including city services needed, tax base, and employment:

See Statement in Support.

**17. SUPPLEMENTARY SPECIAL PERMIT FINDINGS OF FACT**

The Board will make findings based on the supplementary criteria below to determine whether or not to approve the Special Permit. The Board may choose to adopt the findings of fact provided by the applicant or modify them based on public or staff comments, or Board discussion as needed.

After notice and public hearing, and after due consideration of the evidence submitted, including the reports and recommendations of city departments, the SPGA, in addition to the special permit criteria under Article II, may grant such a special permit per the criteria of **Article IV, Section 15(H) of the Zoning Ordinance. (Attach additional supporting documentation as necessary.)**

- a. The Marijuana Establishment does not derogate from the purposes and intent of this Section and the Zoning Ordinance:

See Statement in Support.

- b. The application information submitted is adequate for the SPGA to consider approving the special permit request:

See Statement in Support.

- c. The proposed establishment is designed to minimize any adverse impacts on abutting properties.

See Statement in Support.

- d. The security plan provides sufficient assurance that adequate security controls have been implemented to ensure the protection of the public health and safety during hours of operation and that any marijuana or marijuana related products are adequately secured on-site or via delivery.

See Statement in Support.

WHEREFORE, the applicant(s) requests that this Board grant the special permit (s) as requested above.  
Temescal Wellness of Massachusetts, LLC F. Carrier Realty LLC

By: [Signature]  
(Signature of Applicant or Applicant's Agent)  
If more than one applicant, all applicants must fill out information.

Temescal Wellness of Massachusetts, LLC  
(Name of Applicant)

c/o Bowditch & Dewey, LLP, Attn: Joshua Lee Smith,  
311 Main Street, Worcester, MA 01608

(Address)  
(508) 926-3464

(Contact Phone Number)  
jsmith@bowditch.com

(Email)  
1/13/2020

(Date)

By: [Signature]  
(Signature of Property Owner or Owner's Agent)  
If more than one property owner, all owners must fill out information.

Frank J. Carrier, Manager  
(Name of Property Owner)

11 Jamie Lane, Shrewsbury, MA 01545

(Address)  
508 633 1440

(Contact Phone Number)  
FRANK@FCARRIER.COM

(Email)  
1/13/2020

(Date)

**CERTIFICATION OF COMPLIANCE WITH  
WORCESTER REVISED ORDINANCES GOVERNING REVENUE COLLECTION**

**\*Note: This form must be completed and signed by both the applicant(s) and owner(s) of the property certifying payment of all local taxes, fees, assessments, betterments, or any other municipal charges of any kind. Failure to include a fully completed certification form with the application shall result in the application being deemed incomplete and ineligible for further processing by the Zoning Board of Appeals.**

Pursuant to Massachusetts General Law, Chapter 40, Section 57 and the City of Worcester General Revised Ordinance, Chapter 11, Section 26-28, the undersigned applicant and all parties having an ownership interest therein, hereby certify, under the pains and penalties of perjury, that the applicant(s) and owner(s) have complied with the laws of the Commonwealth of Massachusetts and the City of Worcester regarding payment of all local taxes, fees, assessments, betterments or any other municipal charges of any kind.

(Give first and last names in full. In case of a corporation give names of President, Treasurer and Manager; and in case of firms, give names of individual members.)

**(1) If a Proprietorship or Single Owner of residential property:**

Name of Owner \_\_\_\_\_

Business Address \_\_\_\_\_

Home Address \_\_\_\_\_

Business Phone \_\_\_\_\_ Home Phone \_\_\_\_\_

Signature of owner (certifying payment of all municipal charges):

\_\_\_\_\_ Date: \_\_\_\_\_

**(2) If a Partnership or Multiple Owners of residential property:**

Full names and address of all partners

Printed Names

Addresses

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Business Address \_\_\_\_\_

Business Phone \_\_\_\_\_

Signature of all owners of property (certifying payment of all municipal charges -attach multiple pages if necessary)

\_\_\_\_\_ Date: \_\_\_\_\_

\_\_\_\_\_ Date: \_\_\_\_\_

\_\_\_\_\_ Date: \_\_\_\_\_

\_\_\_\_\_ Date: \_\_\_\_\_



**Statement in Support of Temescal Wellness of Massachusetts, LLC**  
**Application to City of Worcester Planning Board for an Amendment to the Previously**  
**Granted Special Permit for an Adult Use Marijuana Establishment Consisting of**  
**Marijuana Cultivator and Marijuana Product Manufacturer Uses at**  
**141 Southwest Cutoff a/k/a 139 Southwest Cutoff, Worcester, Massachusetts**

On January 2, 2019, the City of Worcester Planning Board (the “Board”) voted to grant to Temescal Wellness of Massachusetts, LLC (“Temescal”) a special permit by pursuant to Article IV, Section 15 of the City of Worcester Zoning Ordinance (the “2019 Special Permit”) in connection with the use and operation of an adult use marijuana establishment consisting of marijuana cultivator and marijuana product manufacturer uses within an existing approximately 18,390 square foot building (the “Existing Building”) located at 141 Southwest Cutoff a/k/a 139 Southwest Cutoff, Worcester, Massachusetts (the “Property”).

Temescal is now seeking to amend the 2019 Special Permit in order to construct an approximately 52,474 square foot addition (the “New Addition”) to the Existing Building that will be used to accommodate an expansion of the previously approved marijuana cultivator and marijuana product manufacturer uses (the “Expanded Adult Use”). The Existing Building as expanded by the New Addition will have a gross floor area of approximately 70,864 square feet, and is hereinafter referred to as the “Expanded Establishment”.

**I. Background and Project Scope.**

The Property contains approximately 2.54 acres of land, and is located entirely within the Manufacturing, General (“MG-2.0”) zoning district and no overlay districts.

Temescal is proposing to operate the Expanded Adult Use within the entire Expanded Establishment.<sup>1</sup> The New Addition will be used for cultivation, and the Existing Building will be used for product manufacturing. The cultivation area will continue to contain an extraction preparation area and lab, propagation room, flower, vegetation and storage areas and vault. The product manufacturing area will continue to contain a trim/pack room, infusion, cure and dry rooms and vault and storage areas.<sup>2</sup> The Expanded Establishment will only be accessible to authorized employees, personnel and visitors.

In addition to construction of the New Addition, Temescal is proposing to renovate interior and exterior portions of the Existing Building and perform related site improvements,

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<sup>1</sup> In addition to operating the Expanded Adult Use within the Existing Building, Temescal also operates a registered marijuana dispensary facility for the cultivation and product manufacturing of medical marijuana (the “RMD Use”), which will also be operated within the entire building as expanded by the New Addition.

<sup>2</sup> In addition, there will be other ancillary spaces, including a breakroom, restrooms and offices and conference, locker, security, utility, mechanical and IT rooms.

including, but not limited to, expansion and reconfiguration of parking and driveway areas to accommodate 51 accessory off-street parking spaces for the Expanded Establishment, addition and realignment of curb cuts and installation of landscaping, security lighting and other site features (collectively, the “Project”).

## **II. Requirement and Reasons for Approval of Amendment to 2019 Special Permit.**

An amendment to the 2019 Special Permit is required based on the scope of the Expanded Adult Use. The proposed Expanded Adult Use, Expanded Establishment and Project satisfy the special permit criteria as set forth in Article II, Section 6.A.2 and Article IV, Section 15.H of the Zoning Ordinance for the reasons stated herein.

### **1. Social, economic or community needs that are served by the proposal.**

On November 8, 2016, Massachusetts voters approved an initiative legalizing the cultivation and sale of recreational marijuana in the Commonwealth. The City has adopted specific zoning requirements with respect to the regulation of certain adult use marijuana establishments, including cultivation and product manufacturing establishments that supply and support adult use “recreational” retail marijuana establishments. The City and its citizenry have demonstrated that there is a need and demand in the community to allow the Expanded Adult Use in certain areas of the City, which includes the Property.

The Expanded Adult Use will create new jobs, generate additional tax revenues and community impact fees for the City and enhance the current adult use at the Property by providing a safe, secure and convenient location to supply other adult use marijuana establishments and registered marijuana dispensaries in the City and other communities. The New Addition and extensive renovations of the Existing Building will dramatically modernize and improve the exterior and interior components of the building, parking, landscaping and other site features of the Property. The Expanded Adult Use will promote much-needed economic vitality to the neighborhood and the City. The Expanded Adult Use will not be detrimental to adjoining premises, but rather complement the existing mix of businesses in the area.

### **2. Traffic flow and safety, including access, parking and loading areas.**

The proposed expanded and reconfigured parking areas will provide a safe, adequate and efficient layout and design for vehicular and pedestrian traffic both within the site and all access points, and the Expanded Establishment will be served by such layout and design. The proposed parking spaces, curb cuts, drive aisles and access points will not cause any nuisance or hazard to vehicles or pedestrians within or off the Property or line of sight hazards along streets. The proposed drive aisles will provide sufficient widths and turning radii necessary to provide for safe and efficient travel for delivery trucks as well as large emergency vehicles. Emergency

vehicles that need access to the Expanded Establishment can park within the site. The proposed shipping/receiving areas will be clearly designated and a safe distance from other parking areas. Safe, convenient and efficient pedestrian access to the Expanded Establishment will be provided along accessible drive aisles, walkways and sidewalks.

The Expanded Adult Use will not result in a material increase in, or impact on, traffic over the current use or negative impacts on adjacent streets and ways. No direct sales to end user consumers of marijuana or marijuana products will occur as part of Temescal's operations at the Property. Traffic generated, and patterns of access and egress will not cause congestion, hazard, or a substantial change to the neighborhood character. The proposed parking will adequately serve the Property and all occupants therein.

The proposed parking areas will be in close proximity of the Expanded Establishment entrance, and, therefore, will provide a safe and efficient means of access to and from the Expanded Establishment. The proposed parking layout is compatible with the increased size and proposed use of the building.

Article IV, Section 7.A of the Zoning Ordinance provides minimum parking requirements based on use. Warehouse/storage use (for the cultivation operation) requires 1 parking space per 3,000 square feet of gross floor area, manufacturing use (for the product manufacturing operation) requires 1 parking space per 1,000 square feet of gross floor area and general office requires 1 parking space per 300 square feet of gross floor area. The Expanded Establishment will have gross floor areas of approximately 44,320 square feet for cultivation, 13,135 square feet product manufacturing and 1,025 square feet for office, and will, therefore, collectively require a minimum of 33 parking spaces.<sup>3</sup>

The parking lot expansion will result in a total of 76 parking spaces at the Property, which spaces will comply with the minimum parking spaces required for the Expanded Establishment and the other uses at the Property.<sup>4</sup> Temescal will have the exclusive right to use 51 parking spaces, and which will comply with minimum parking space requirements for the Expanded Adult Use at the Expanded Establishment. The 2 new loading spaces will serve the Expanded Establishment in compliance with minimum loading requirements.

### **3. Adequacy of utilities and other public services.**

Adequate facilities are currently available or will otherwise be installed for the Expanded Establishment and Project with respect to drainage, sewerage, water, gas, electricity and other

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<sup>3</sup> This excludes utility, energy, corridor, stairway, restroom, and building maintenance areas, which are exempt from parking space assignment per the Zoning Ordinance.

<sup>4</sup> The second building at the Property is currently used as an adult use marijuana retail establishment, and will have a total of 25 parking spaces available for such use, which complies with the minimum parking requirement.

utilities. The Project does not anticipate any adverse effect to current drainage patterns. See site plan review application and stormwater management report both filed contemporaneous herewith by the property owner.

#### **4. Neighborhood character and social structure.**

The Existing Building was previously used as a metal fabrication shop. The Expanded Adult Use is functionally and aesthetically compatible with the surrounding commercial properties in the neighborhood, which include a mix of industrial, warehouse, construction, roofing and plumbing suppliers, retailers and automobile dealerships and rental services uses. The closest residences are located across a high-trafficked street (i.e., State Highway Route 20), and will be over 200 feet from the Expanded Establishment. The Expanded Establishment will be located over 800 feet from any public or private, primary or secondary school, licensed daycare center, public library, public park or playground. The proposed design of the New Addition, aesthetic improvements to the exterior portions of the Existing Building and site improvements will have no greater impact on, adversely affect or be detrimental to adjoining premises or zones or the neighborhood. Approving the requested amendment will promote the most appropriate use of the Property, as the Existing Building is already used for marijuana cultivation and product manufacturing, and the proposed additions and renovations will improve the aesthetic appeal, design quality and economic vitality of the neighborhood. Based on the foregoing, the Expanded Adult Use will fit into the present character of the neighborhood, and granting this relief will promote an appropriate use of the Property.

The kind, size, height and nature of the Expanded Establishment, including the proposed addition and renovations are consistent with buildings in other communities that have been fit-up and utilized for adult use marijuana establishments. The Property complies with all dimensional and parking requirements set forth in the Zoning Ordinance.

The Expanded Adult Use is not expected to result in any increase in noise levels that would be noticeable at any abutting properties. The proposed outdoor wall pack lighting will be adequate for safety and security purposes and an enhancement over the current lighting at the site, and will not have a deleterious effect on neighboring properties. The Expanded Adult Use will not create a nuisance, hazard, congestion or concerns pertaining to health, safety or general welfare, and there will not be substantial harm to the neighborhood or derogation from the intent of the Zoning Ordinance as a result of the Expanded Adult Use. No retail sales of marijuana will occur at the Property. The Expanded Establishment will generally operate Sunday through Saturday, from 7:00 a.m. to 12:00 a.m.

**5. Impacts on the natural environment.**

Excavation and grading work are contemplated to the extent necessary to accommodate the Project. There are minimal natural terrain features at the Property, and, there are limited proposed changes to the natural terrain as a result of the proposed Project. The Property is outside of the Floodplain and Water Resources Protection Overlay Districts and ecologically sensitive areas, and there are no wetland resource areas on the Property. There will not be any impacts on the groundwater.

**6. Potential fiscal impact, including city services needed, tax base, and employment.**

The Expanded Adult Use will sustain and create new jobs and will generate additional tax revenues and impact fees for the City. The Expanded Adult Use will improve the economic vitality of the neighborhood and surrounding areas. The Expanded Adult Use will not require city services, such as rubbish removal, schools or construction of new streets or traffic signals.

**Supplementary Findings of Fact:**

**7. The Marijuana Establishment does not derogate from the purposes and intent of this Section and the Zoning Ordinance.**

The Expanded Adult Use does not derogate from the purposes and intent of the Zoning Ordinance. In drafting the provisions of the Zoning Ordinance pertaining to the regulation of adult use marijuana establishments, the City Council, Planning Department, Planning Board and City Solicitor determined that certain areas of the City, including properties in the MG-2.0 zoning district, be permitted to operate as adult use marijuana cultivators and product manufacturers. Adult use marijuana establishments are largely permitted in commercial and industrial zones, and the requirement that an adult use marijuana establishment not be within a 500-foot radius of a public or private, primary or secondary school, licensed daycare center, public library, public park or playground limits the number of feasible locations in which other adult use marijuana establishments can operate and ensures approved establishments are not confined to certain neighborhoods, but, rather, are spread evenly throughout the entire City. The Zoning Ordinance fully intended the Expanded Adult Use to operate at this site, and such use is well-suited at the Property given that it already operates as an adult use facility and is in a manufacturing-based zoning district with a mix of other types of businesses that are in harmony with the Expanded Adult Use in the surrounding neighborhood.

**8. The application information submitted is adequate for the SPGA to consider approving the special permit amendment request.**

This application and all supporting materials submitted are adequate for the Board to consider and approve the requested the special permit amendment, which supporting materials include the following:

- Certification of Tax/Revenue Collection Compliance;
- Plan of Land with Parking;
- Certification of Minimum Distance Requirements;
- Security Plan - This application includes a security plan that details how the Property will be monitored and secured so as to avoid, deter and prevent illegal activities from taking place upon or about Temescal's premises, and references the plan of land showing the arrangement of pedestrian circulation and access to the public points of entry to the premises from the nearest public or private street or off-street parking area, as well as the location of any walkway structures, lighting, gates, fencing and landscaping;
- Odor Control Plan - This Statement in Support sets forth an odor control plan demonstrating how all resulting odors, smoke, vapor, fumes, pesticides, insecticides or other chemicals, gases and particulate matter from marijuana or its processing or cultivation shall be effectively confined to the premises or so disposed. Said plan details the specific odor-emitting activities or processes to be conducted on-site, the source of those odors, the locations from which they are emitted from the facility, the frequency of such odor-emitting activities, the duration of such odor-emitting activities, and the administrative and engineering controls that will be implemented to control such odors, including maintenance of such controls;
- CCC Documents – This application includes copies of all licenses, permits and documentation demonstrating application status, registration or licensure by The Commonwealth of Massachusetts Cannabis Control Commission (the "CCC").
- List of Management Personnel; Disclosure of Financial Interest.
- Business Registration;
- Executed Host Agreement;
- Evidence of Lease; and
- Certified Map and List of Abutters.

This application also has documentation of an escrow account for the Marijuana Regulation Fund in an amount sufficient to adequately support the dismantling or winding down of the Expanded Establishment in accordance with 935 CMR 500.101(1)(a).

**9. The proposed establishment is designed to minimize any adverse impacts on abutting properties.**

The Expanded Adult Use will be in a manufacturing district and is compatible with the neighborhood's character and abutting properties as described above. The proposed expansion of and improvements to the Existing Building, parking or other improvements will significantly improve the nature and appearance of the site and be in harmony with the neighborhood. The security plan provides state of the art security controls that are designed to minimize the risk of illicit activities at or about the Property. The odor control plan includes comprehensive measures that will minimize impacts from potential odors, fumes and/or emissions from the Expanded Establishment. There have been no reported incidents of theft or other crimes or complaints of odors or nuisances since commencing its operations at the Property. No marijuana retail sales or consumption will be allowed at the Property.

**10. The security plan provides sufficient assurance that adequate security controls have been implemented to ensure the protection of the public health and safety during hours of operation and that any marijuana or marijuana related products are adequately secured on-site or via delivery.**

The security plan complies with the security requirements, procedures and controls applicable to adult and medical use marijuana establishments as set forth in 935 CMR 500 et. seq and 105 CMR 725 et. seq. Sufficient safety measures to deter and prevent unauthorized entrance into areas containing marijuana and theft of marijuana therein have already been implemented as part of the existing marijuana establishment operations, which safety measures will be installed, implemented and maintained for the Expanded Adult Use.

The outside perimeter of the Expanded Establishment will be sufficiently lit to facilitate surveillance, where applicable. Similar to what is currently provided for the Existing Building, Temescal will install security systems and equipment, including, but not limited to, exterior and interior cameras, motion sensors, glass break detectors, perimeter alarm, access control, intrusion keypad, panic alarms, security closet and video intercom. All security systems will be supported by battery back-ups and a failure notification system with audio/visual alert. Procedures are also established for additional battery back-up or generator services in case of an extended power outage.

All entrances to the Expanded Establishment will be secured to prevent unauthorized access. Limited access areas will be established pursuant to 935 CMR 500.110(4), which shall be accessible only to specifically authorized personnel limited to include only the minimum number of employees essential for efficient operation. All employees will continue to be required to have proper identification at all times while in the Expanded Establishment.

Employees have been, and will continue to be, trained to watch for illicit activity within and outside of the Expanded Establishment. Outside vendors, contractors and visitor identification will be checked and will require signature in a visitor's log, wearing of a visitor's badge, and be in the presence of management while at the Expanded Establishment. Procedures have been adopted to prevent loitering and ensure that only individuals engaging in activity expressly or by necessary implication permitted by state regulations are allowed to remain on the premises. Since beginning operations in April 2018, the facility has had no incidents reported by the Worcester Police Department or others. The Expanded Establishment will not create additional security exposures.

Storage of all finished marijuana products will be in a secure, locked safe or vault in such a manner as to prevent diversion, theft and loss. All safes, vaults and any other equipment or areas used for the production, cultivation, harvesting, processing or storage of marijuana products will be securely locked, kept in good working order and protected from entry, except for the actual time required to remove or replace marijuana. Keys will not be stored or placed in a location accessible to persons other than specifically authorized personnel. Accessibility of security measures, such as combination numbers, passwords or electronic or biometric security systems will be given only to specifically authorized personnel. All marijuana products will be kept out of plain sight and will not be visible from a public place. Emergency policies and procedures have been developed for securing all product following any instance of diversion, theft or loss of marijuana. Temescal will dispose of marijuana in excess of the quantity required for normal, efficient operation as required by law. No cash is handled or stored at the facility.

Temescal will share its detailed security plan and procedures with law enforcement authorities and fire services, and will provide updates to law enforcement authorities and fire services if the plans or procedures are modified in any material way.

**11. The odor control plan proposed adequately provides for the ongoing safe operation of the establishment and minimizes any adverse impacts to abutting properties from odor-emitting activities to be conducted on-site.**

Temescal is committed to confining all odors produced by the cultivation, manufacturing, or storing of marijuana and marijuana products. All equipment will be installed and maintained based on manufacturer's recommendations. Temescal has fielded no complaints regarding odor whatsoever since opening its facility.

Odor-producing areas include flower rooms and, to a lesser degree, cultivation areas. To mitigate odor, charcoal or plasma filters may be installed in HVAC ductwork servicing odor-producing areas. Alternatively, FogCo or similar industry-standard systems used for odor neutralization at landfills, sewer treatment plants and poultry operations, may be installed to the extent necessary. These systems administer an odor neutralizing compounds into building exhaust systems.

**12. The proposed design and operation of the Marijuana Establishment will meet the requirements of this Section.**

The design, layout and operation of the Expanded Establishment meet the requirements of Article IV, Section 15 of the Zoning Ordinance. The Expanded Establishment will not be within a 500-foot radius of a public or private, primary or secondary school, licensed daycare center, public library, public park or playground. The Expanded Establishment will be within a fully-enclosed and secure building and will not be visible from the building's exterior. No marijuana products will be stored in outdoor facilities. The Property and Expanded Establishment comply or will comply with all applicable dimensional and parking requirements of the Zoning Ordinance. The operating hours of the Expanded Establishment will generally be Sunday through Saturday, from 7:00 a.m. to 12:00 a.m.

Similar to the Existing Building, the Expanded Establishment will have state-of-the-art security controls and measures to avoid, deter and prevent illicit activities from occurring on or about the Property, all in compliance with 935 CMR 500 et. seq and 105 CMR 725 et. seq. The odor control plan for the Expanded Establishment will provide for proper and adequate ventilation in such a manner so as to prevent odors from marijuana or marijuana-related products from being dispersed outside of the building. All resulting odors, smoke, vapor, fumes, gases and particulate matter from marijuana or its processing or cultivation will continue to be effectively confined to the premises or so disposed of so as to avoid any air pollution. No marijuana or marijuana product will be smoked or otherwise consumed at the Property. No direct sales to end user consumers of marijuana or marijuana products will occur as part of Temescal's operations at the Property.

CITY OF WORCESTER, MASSACHUSETTS

Edward M. Augustus, Jr.  
City Manager



William J. Ford, AAS  
City Assessor

Administration and Finance  
Division of Assessing

Certified Abutters List

A list of 'parties in interest' shall be attached to the application form and shall include the names and addresses. All such names and addresses shall be obtained from the most recent applicable tax list maintained by the City's Assessing Department. The Assessing Department certifies the list of names and addresses.

Total Count: 8

Owner: F CARRIER REALTY, LLC  
Owner Mailing: 139 SOUTHWEST CUTOFF  
SHREWSBURY, MA 01545

Petitioner (if other than owner): JYLL A. FLOWERS / FLETCHER TILTON  
Petitioner Mailing Address: 370 MAIN STREET  
WORCESTER, MA 01608

Petitioner Phone: (508) 459-8033

Parcel Address: 139 SOUTHWEST CUTOFF

Assessor's Map-Block-Lot(s): 34-035-00013

Planning/Zoning:  Liquor:  ConComm:  Hist:  City Council:

Other (Specify): \_\_\_\_\_

|              |                                     |                       |                     |
|--------------|-------------------------------------|-----------------------|---------------------|
| 34-035-00001 | ARUSSELL INC                        | 0075 SOUTHWEST CUTOFF | WORCESTER MA 01607  |
| 34-035-00002 | ANCONA REALTY LLC                   | 0115 SW CUTOFF        | WORCESTER MA 01604  |
| 34-035-00011 | FAIRWAY ENTERPRISES                 | 97 POQUONOCK RD       | BLOOMFIELD CT 06850 |
| 34-035-00013 | F CARRIER REALTY LLC                | 0011 JAMIE LN         | SHREWSBURY MA 01545 |
| 34-035-0003A | HAIRE CHERYL + WALSH BRIAN TRUSTEES | 0033 SMITH RD         | SHREWSBURY MA 01545 |
| 34-036-00056 | ANCONA COMPANY                      | 0115 SW CUTOFF        | WORCESTER MA 01604  |
| 34-036-22+24 | GRIFFIN RAYMOND J + DONNA           | 0019 SAYBROOK RD      | WORCESTER MA 01604  |
| 34-036-3A+3B | JLD REALTY LLC                      | 111 SOUTHWEST CUTOFF  | WORCESTER MA 01604  |

This is to certify that the above is a list of abutters to Assessor's Map-Block-Lot(s) 34-035-00013 as cited above.

Certified by:

Signature

Date

1-6-2020

**CITY OF WORCESTER, MASSACHUSETTS**

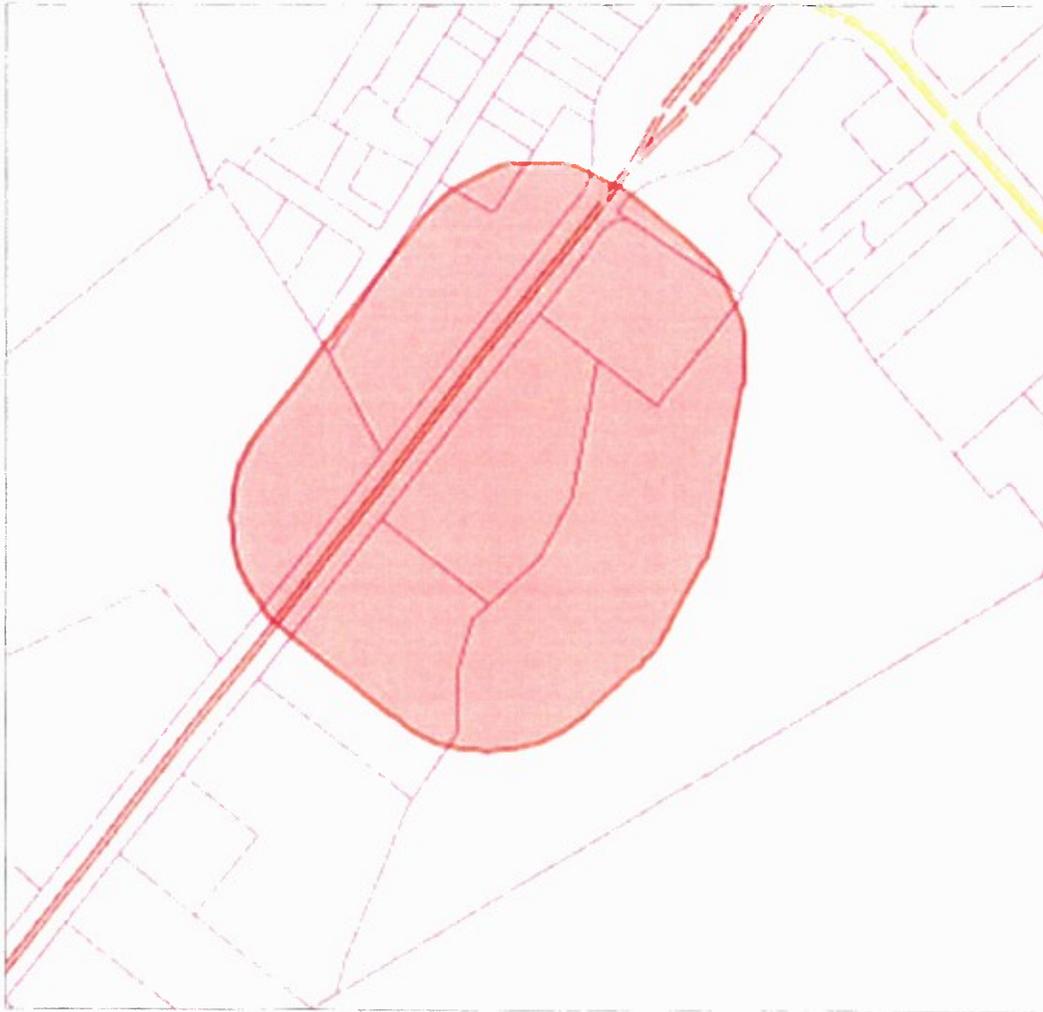
**Edward M. Augustus, Jr.**  
City Manager



**William J. Ford, AAS**  
City Assessor

**Administration and Finance  
Division of Assessing**

**34/035/00013 – 139 Southwest Cutoff Abutters Map**



## DESCRIPTION

The patented Lumark Crosstour™ MAXX LED wall pack series of luminaires provides low-profile architectural style with super bright, energy-efficient LEDs. The rugged die-cast aluminum construction, back box with secure lock hinges, stainless steel hardware along with a sealed and gasketed optical compartment make Crosstour impervious to contaminants. The Crosstour MAXX wall luminaire is ideal for wall/surface, inverted mount for facade/canopy illumination, perimeter and site lighting. Typical applications include pedestrian walkways, building entrances, multi-use facilities, industrial facilities, perimeter parking areas, storage facilities, institutions, schools and loading docks.

## SPECIFICATION FEATURES

### Construction

Low-profile LED design with rugged one-piece, die-cast aluminum back box and hinged removable door. Matching housing styles incorporate both a full cutoff and refractive lens design. Full cutoff and refractive lens models are available in 58W, 81W and 102W. Patent pending secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes four 1/2" NPT threaded conduit entry points. The back box is secured by four lag bolts (supplied by others). External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Not recommended for car wash applications.

### Optical

Silicone sealed optical LED chamber incorporates a custom engineered reflector providing high-efficiency illumination. Full cutoff models integrate an impact-resistant molded refractive prism optical lens assembly meeting requirements for Dark Sky compliance. Refractive lens models incorporate a molded lens

assembly designed for maximum forward throw. Solid state LED Crosstour MAXX luminaires are thermally optimized with eight lumen packages in cool 5000K, neutral 4000K, or warm 3000K LED color temperature (CCT)

### Electrical

LED driver is mounted to the die-cast aluminum housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 58W, 81W and 102W models operate in -40°C to 40°C [-40°F to 104°F]. High ambient 50°C [122°F] models available in 58W and 81W models only. Crosstour MAXX luminaires maintain greater than 89% of initial light output after 72,000 hours of operation. Four half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz, 480V 60Hz, or 347V 60Hz electrical operation. 480V is compatible for use with 480V Wye systems only.

### Emergency Egress

Optional integral cold weather battery emergency egress includes emergency operation test switch (available in 58W and 81W models only), an AC-ON indicator light and a premium extended rated sealed maintenance-free nickel-metal hydride battery pack. The separate emergency lighting LEDs are wired to provide redundant emergency lighting. Listed to UL Standard 924, Emergency Lighting.

### Area and Site Pole Mounting

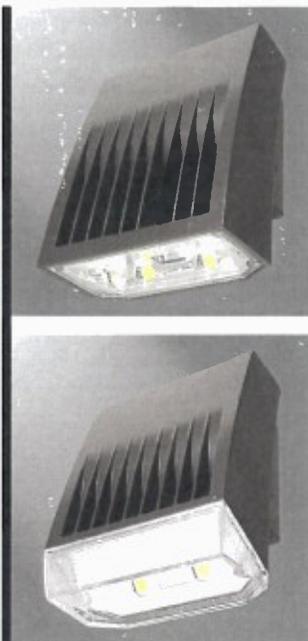
Optional extruded aluminum 6-1/2" arm features internal bolt guides for supplied twin support rods, allowing for easy positioning of the fixture during installation to pole. Supplied with round plate adapter plate. Optional tenon adapter fits 2-3/8" or 3-1/2" O.D. Tenon.

### Finish

Crosstour MAXX is protected with a super TGIC carbon bronze or summit white polyester powder coat paint. Super TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

### Warranty

Five-year warranty.



## XTOR CROSSTOUR MAXX LED

APPLICATIONS:  
WALL / SURFACE  
INVERTED  
SITE LIGHTING



### CERTIFICATION DATA

UL/cUL Wet Location Listed  
LM79 / LM80 Compliant  
ROHS Compliant  
NOM Compliant Models  
3G Vibration Tested  
UL924 Listed (CBP Models)  
IP66 Rated  
DesignLights Consortium® Qualified\*

### TECHNICAL DATA

40°C Ambient Temperature  
External Supply Wiring 90°C Minimum

### EPA

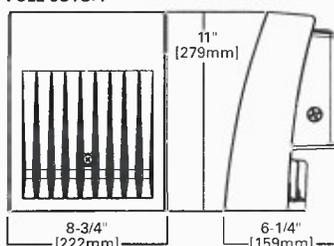
Effective Projected Area (Sq. Ft.):  
XTOR6B, XTOR8B, XTOR12B=0.54  
With Pole Mount Arm=0.98

### SHIPPING DATA:

Approximate Net Weight:  
12-15 lbs. [5.4-6.8 kgs.]

## DIMENSIONS

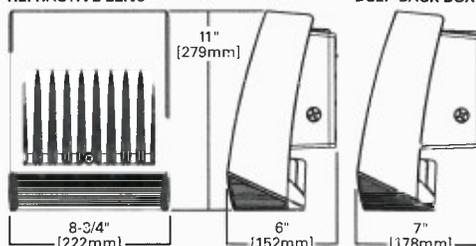
### FULL CUTOFF



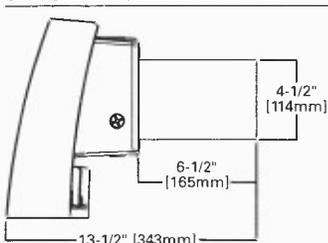
### DEEP BACK BOX



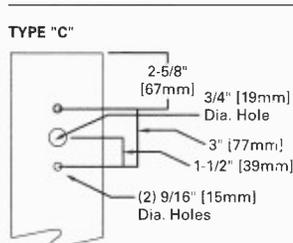
### REFRACTIVE LENS



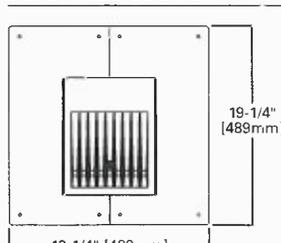
### OPTIONAL POLE MOUNT ARM



### ARM DRILLING



### ESCUTCHEON PLATES

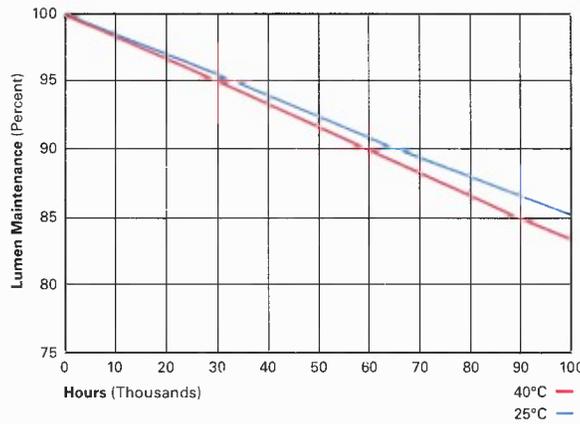


POWER AND LUMENS BY FIXTURE MODEL

| 58W Series                  |   |           |           |   |           |             |
|-----------------------------|---|-----------|-----------|---|-----------|-------------|
| LED Information             | XTOR6B  | XTOR6BRL  | XTOR6B-W  | XTOR6BRL-W  | XTOR6B-Y  | XTOR6BRL-Y  |
| Delivered Lumens            | 6,129   | 6,225     | 6,038     | 6,133   | 5,611     | 5,826       |
| B.U.G. Rating               | B1-U0-G1  | B2-U4-G3  | B1-U0-G1  | B2-U4-G3  | B1-U0-G1  | B2-U4-G3    |
| CCT (Kelvin)                | 5000K   | 5000K     | 4000K     | 4000K   | 3000K     | 3000K       |
| CRI (Color Rendering Index) | 70  | 70        | 70        | 70  | 70        | 70          |
| Power Consumption (Watts)   | 58W   | 58W       | 58W       | 58W   | 58W       | 58W         |
| 81W Series                  |   |           |           |   |           |             |
| LED Information             | XTOR8B  | XTOR8BRL  | XTOR8B-W  | XTOR8BRL-W  | XTOR8B-Y  | XTOR8BRL-Y  |
| Delivered Lumens            | 8,502   | 8,635     | 8,373     | 8,504   | 7,748     | 8,079       |
| B.U.G. Rating               | B2-U0-G1  | B2-U4-G3  | B2-U0-G1  | B2-U4-G3  | B2-U0-G1  | B2-U4-G3    |
| CCT (Kelvin)                | 5000K   | 5000K     | 4000K     | 4000K   | 3000K     | 3000K       |
| CRI (Color Rendering Index) | 70  | 70        | 70        | 70  | 70        | 70          |
| Power Consumption (Watts)   | 81W   | 81W       | 81W       | 81W   | 81W       | 81W         |
| 102W Series                 |   |           |           |   |           |             |
| LED Information             | XTOR12B   | XTOR12BRL | XTOR12B-W | XTOR12BRL-W   | XTOR12B-Y | XTOR12BRL-Y |
| Delivered Lumens            | 12,728  | 13,458    | 12,539    | 13,258  | 11,861    | 12,595      |
| B.U.G. Rating               | B2-U0-G1  | B2-U4-G3  | B2-U0-G1  | B2-U4-G3  | B2-U0-G1  | B2-U4-G3    |
| CCT (Kelvin)                | 5000K   | 5000K     | 4000K     | 4000K   | 3000K     | 3000K       |
| CRI (Color Rendering Index) | 70  | 70        | 70        | 70  | 70        | 70          |
| Power Consumption (Watts)   | 102W  | 102W      | 102W      | 102W  | 102W      | 102W        |
| EGRESS Information          | XTOR6B, XTOR8B and XTOR12B Full Cutoff CBP Egress LED |           |           | XTOR6B, XTOR8B and XTOR12B Refractive Lens CBP Egress LED |           |             |
| Delivered Lumens            | 509   |           |           | 468   |           |             |
| B.U.G. Rating               | N.A.  |           |           | N.A.  |           |             |
| CCT (Kelvin)                | 4000K   |           |           | 4000K   |           |             |
| CRI (Color Rendering Index) | 65  |           |           | 65  |           |             |
| Power Consumption (Watts)   | 1.8W  |           |           | 1.8W  |           |             |

LUMEN MAINTENANCE

| Ambient Temperature  | TM-21 Lumen Maintenance (72,000 Hours) | Theoretical L70 (Hours) |
|----------------------|--|-------------------------|
| <b>XTOR6B Model</b>  |  |                         |
| 25°C                 | > 90%                                  | 246,000                 |
| 40°C                 | > 88%                                  | 217,000                 |
| 50°C                 | > 88%                                  | 201,000                 |
| <b>XTOR8B Model</b>  |  |                         |
| 25°C                 | > 89%                                  | 219,000                 |
| 40°C                 | > 87%                                  | 195,000                 |
| 50°C                 | > 86%                                  | 181,000                 |
| <b>XTOR12B Model</b> |  |                         |
| 25°C                 | > 89%                                  | 222,000                 |
| 40°C                 | > 87%                                  | 198,000                 |



CURRENT DRAW

| Voltage | Model Series |        |         |                              |                              |
|---------|--------------|--------|---------|------------------------------|------------------------------|
|         | XTOR6B       | XTOR8B | XTOR12B | XTOR6B-CBP (Fixture/Battery) | XTOR8B-CBP (Fixture/Battery) |
| 120V    | 0.51         | 0.71   | 0.94    | 0.60/0.25                    | 0.92/0.25                    |
| 208V    | 0.25         | 0.39   | 0.52    | --                           | --                           |
| 240V    | 0.25         | 0.35   | 0.45    | --                           | --                           |
| 277V    | 0.22         | 0.31   | 0.39    | 0.36/0.21                    | 0.50/0.21                    |
| 347V    | 0.19         | 0.25   | 0.33    | --                           | --                           |
| 480V    | 0.14         | 0.19   | 0.24    | --                           | --                           |

ORDERING INFORMATION

Sample Number: XTOR6B-W-WT-PC1

| Series <sup>1</sup>  | LED Kelvin Color  | Housing Color   | Options (Add as Suffix)  |
|--|---|---|--|
| <b>Full Cutoff</b><br>XTOR6B=58W<br>XTOR8B=81W<br>XTOR12B=102W<br><br><b>Refractive Lens</b><br>XTOR6BRL=58W<br>XTOR8BRL=81W<br>XTOR12BRL=102W | <b>[Blank]</b> =Bright White (Standard)<br>5000K<br>W=Neutral, 4000K<br>Y=Warm, 3000K | <b>[Blank]</b> =Carbon Bronze (Standard)<br>WT=Summit White<br>BK=Black<br>BZ=Bronze<br>AP=Grey<br>GM=Graphite Metallic<br>DP=Dark Platinum | 347V=347V <sup>2,3,4,5</sup><br>480V=480V <sup>2,3,4,5,6</sup><br>PC1=Photocontrol 120V <sup>7</sup><br>PC2=Photocontrol 208-277V <sup>7,8</sup><br>PMA=Pole Mount Arm (C Drilling) with Round Adapter <sup>3,9</sup><br>MS-L2G=Motion Sensor for ON/OFF Operation <sup>2,3,10,11</sup><br>MS/DIM-L2G=Motion Sensor for Dimming Operation <sup>2,3,10,11,12,13,14</sup><br>CBP=Cold Weather Battery Pack <sup>2,3,15,16,17</sup><br>HA=50°C High Ambient <sup>17</sup> |

Accessories (Order Separately)

|   |  |
|---|--|
| WG-XTORMX=Crosstour MAXX Wire Guard<br>PB120V=Field Installed 120V Photocontrol<br>PB277V BUTTON PC=Field Installed 208-277V Photocontrol <sup>8</sup><br>VA1040-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon <sup>18</sup><br>VA1041-XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon <sup>18</sup><br>VA1042-XX=3@120° Tenon Adapter for 3-1/2" O.D. Tenon <sup>18</sup><br>VA1043-XX=4@90° Tenon Adapter for 3-1/2" O.D. Tenon <sup>18</sup><br>VA1044-XX=2@90° Tenon Adapter for 3-1/2" O.D. Tenon <sup>18</sup><br>VA1045-XX=3@90° Tenon Adapter for 3-1/2" O.D. Tenon <sup>18</sup><br>VA1046-XX=2@120° Tenon Adapter for 3-1/2" O.D. Tenon <sup>18</sup> | VA1033-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon <sup>18</sup><br>VA1034-XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon <sup>18</sup><br>VA1035-XX=3@120° Tenon Adapter for 2-3/8" O.D. Tenon <sup>18</sup><br>VA1036-XX=4@90° Tenon Adapter for 2-3/8" O.D. Tenon <sup>18</sup><br>VA1037-XX=2@90° Tenon Adapter for 2-3/8" O.D. Tenon <sup>18</sup><br>VA1038-XX=3@90° Tenon Adapter for 2-3/8" O.D. Tenon <sup>18</sup><br>VA1039-XX=2@120° Tenon Adapter for 2-3/8" O.D. Tenon <sup>18</sup><br>EWP/XTORMX=Escutcheon Wall Plate, Carbon Bronze<br>EWP/XTORMX-WT=Escutcheon Wall Plate, Summit White<br>FSIR-100=Wireless Configuration Tool for Occupancy Sensor <sup>14</sup> |
|---|--|

NOTES:

- DesignLights Consortium<sup>®</sup> Qualified and classified for both DLC Standard and DLC Premium, refer to [www.designlights.org](http://www.designlights.org) for details.
- Not available with HA option.
- Deep back box is standard for 347V, 480V, CBP, PMA, MS-L2G and MS/DIM-L2G.
- Not available with CBP option.
- Thru-branch wiring not available with HA option or with 347V.
- Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
- Not available with MS-L2G and MS/DIM-L2G options.
- Use PC2 with 347V or 480V option for photocontrol. Factory wired to 208-277V lead.
- Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP513001EN for additional support information.
- For use in downlight orientation only. Optimal coverage at mounting heights of 9'-20'.
- 120V thru 277V only.
- Factory set to 50% power reduction after 15-minutes of inactivity. Dimming driver included.
- Includes integral photo sensor.
- The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff, and more. Consult your lighting representative at Eaton for more information.
- 120V or 277V operation only.
- Operating temperatures -20°C to 25°C.
- Not available in XTOR12B or XTOR12BRL models.
- Replace XX with housing color.

STOCK ORDERING INFORMATION

| 58W Series  | 81W Series  | 102W Series   |
|---|---|---|
| <b>Full Cutoff</b>  |   |   |
| XTOR6B=58W, 5000K, Carbon Bronze  | XTOR8B=81W, 5000K, Carbon Bronze  | XTOR12B=102W, 5000K, Carbon Bronze  |
| XTOR6B-PC1=58W, 5000K, 120V PC, Carbon Bronze                             | XTOR8B-PC1=81W, 5000K, 120V PC, Carbon Bronze                             | XTOR12B-PC1=102W, 5000K, 120V PC, Carbon Bronze                             |
| XTOR6B-WT=58W, 5000K, Summit White  | XTOR8B-WT=81W, 5000K, Summit White  | XTOR12B-WT=102W, 5000K, Summit White  |
| XTOR6B-W=58W, 4000K, Carbon Bronze  | XTOR8B-PC2=81W, 5000K, 208-277V PC, Carbon Bronze                         | XTOR12B-PC2=102W, 5000K, 208-277V PC, Carbon Bronze                         |
| XTOR6B-PMA=58W, 5000K, Pole Mount Arm, Carbon Bronze                      | XTOR8B-PMA=81W, 5000K, Pole Mount Arm, Carbon Bronze                      | XTOR12B-PMA=102W, 5000K, Pole Mount Arm, Carbon Bronze                      |
| XTOR6B-W-PMA=58W, 4000K, Pole Mount Arm, Carbon Bronze                    | XTOR8B-W=81W, 4000K, Carbon Bronze  | XTOR12B-W=102W, 4000K, Carbon Bronze  |
| XTOR6B-PC2=58W, 5000K, 208-277V PC, Carbon Bronze                         | XTOR8B-W-PC1=81W, 4000K, 120V PC, Carbon Bronze                           | XTOR12B-W-PC1=102W, 4000K, 120V PC, Carbon Bronze                           |
| XTOR6B-W-PC2=58W, 4000K, 208-277V PC, Carbon Bronze                       | XTOR8B-W-PC2=81W, 4000K, 208-277V PC, Carbon Bronze                       | XTOR12B-W-PC2=102W, 4000K, 208-277V PC, Carbon Bronze                       |
| XTOR6B-W-PC1=58W, 4000K, 120V PC, Carbon Bronze                           | XTOR8B-W-PMA=81W, 4000K, Pole Mount Arm, Carbon Bronze                    | XTOR12B-W-PMA=102W, 4000K, Pole Mount Arm, Carbon Bronze                    |
| <b>Refractive Lens</b>  |   |   |
| XTOR6BRL=58W, 5000K, Refractive Lens, Carbon Bronze                       | XTOR8BRL=81W, 5000K, Refractive Lens, Carbon Bronze                       | XTOR12BRL=102W, 5000K, Refractive Lens, Carbon Bronze                       |
| XTOR6BRL-PC1=58W, 5000K, Refractive Lens, 120V PC, Carbon Bronze          | XTOR8BRL-PC1=81W, 5000K, Refractive Lens, 120V PC, Carbon Bronze          | XTOR12BRL-PC1=102W, 5000K, Refractive Lens, 120V PC, Carbon Bronze          |
| XTOR6BRL-WT=58W, 5000K, Refractive Lens, Summit White                     | XTOR8BRL-WT=81W, 5000K, Refractive Lens, Summit White                     | XTOR12BRL-WT=102W, 5000K, Refractive Lens, Summit White                     |
| XTOR6BRL-W=58W, 4000K, Refractive Lens, Carbon Bronze                     | XTOR8BRL-PC2=81W, 5000K, Refractive Lens, 208-277V PC, Carbon Bronze      | XTOR12BRL-PC2=102W, 5000K, Refractive Lens, 208-277V PC, Carbon Bronze      |
| XTOR6BRL-PMA=58W, 5000K, Refractive Lens, Pole Mount Arm, Carbon Bronze   | XTOR8BRL-PMA=81W, 5000K, Refractive Lens, Pole Mount Arm, Carbon Bronze   | XTOR12BRL-PMA=102W, 5000K, Refractive Lens, Pole Mount Arm, Carbon Bronze   |
| XTOR6BRL-W-PMA=58W, 4000K, Refractive Lens, Pole Mount Arm, Carbon Bronze | XTOR8BRL-W=81W, 4000K, Refractive Lens, Carbon Bronze                     | XTOR12BRL-W=102W, 4000K, Refractive Lens, Carbon Bronze                     |
| XTOR6BRL-PC2=58W, 5000K, Refractive Lens, 208-277V PC, Carbon Bronze      | XTOR8BRL-W-PC1=81W, 4000K, Refractive Lens, 120V PC, Carbon Bronze        | XTOR12BRL-W-PC1=102W, 4000K, Refractive Lens, 120V PC, Carbon Bronze        |
| XTOR6BRL-W-PC2=58W, 4000K, Refractive Lens, 208-277V PC, Carbon Bronze    | XTOR8BRL-W-PC2=81W, 4000K, Refractive Lens, 208-277V PC, Carbon Bronze    | XTOR12BRL-W-PC2=102W, 4000K, Refractive Lens, 208-277V PC, Carbon Bronze    |
| XTOR6BRL-W-PC1=58W, 4000K, Refractive Lens, 120V PC, Carbon Bronze        | XTOR8BRL-W-PMA=81W, 4000K, Refractive Lens, Pole Mount Arm, Carbon Bronze | XTOR12BRL-W-PMA=102W, 4000K, Refractive Lens, Pole Mount Arm, Carbon Bronze |



Eaton  
 1121 Highway 74 South  
 Peachtree City, GA 30269  
 P: 770-486-4800  
[www.eaton.com/lighting](http://www.eaton.com/lighting)

Specifications and dimensions subject to change without notice.



2019 00016362

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# City of Worcester, Massachusetts Planning Board

Andrew Truman  
Chair



John Vigliotti, Vice Chair  
Paul DePalo, Clerk  
Albert LaValley  
Satya Mitra

## SPECIAL PERMIT - FINDINGS OF FACT AND DECISION 139 (aka 141 & 143) Southwest Cutoff (MBL 34-035-00013)

The Planning Board viewed the property located at 139 (aka 141 & 143) Southwest Cutoff, Worcester, Massachusetts and thereafter held a hearing on January 2, 2019 at 5:30 P.M. in the Worcester City Hall, 455 Main Street, Levi Lincoln Chamber, on the appeal of Temescal Wellness of Massachusetts, LLC, petitioner.

It was ordered by the Board that notices of a public hearing to be held on January 2, 2019 be sent to the individuals listed on the City of Worcester Certified Abutter's list for the property.

On December 19, 2018 and December 26, 2018, notice of the hearing was duly advertised in the Worcester Telegram & Gazette.

On January 2, 2019, the hearing was called to order by Andrew Truman, Chair. Present for the hearing were Andrew Truman, John Vigliotti, Satya Mitra, Paul DePalo and Albert LaValley.

### FINDINGS

The Worcester Planning Board, having viewed the site, conducted a public hearing and reviewed all the submitted evidence, finds that:

1. Temescal Wellness of Massachusetts, LLC, whose address is 141 Southwest Cutoff, Worcester, Massachusetts 01604, is the lessee and petitioner of certain land situated at 139 (aka 141 & 143) Southwest Cutoff in the City of Worcester and more particularly described in a deed recorded with the Worcester District Registry of Deeds Book 58476 and Page 393. The owner of said property is Frank J. Carrier, Trustee of Carrier Family Nominee Trust, whose address is 11 Jamie Lane, Shrewsbury, MA 01545.
2. Said land is situated in a district classified under the City of Worcester Zoning Ordinance as an MG-2.0 (Manufacturing, General) zoning district.
3. Presently located on the premises is an existing Registered Marijuana Dispensary (RMD) facility for the cultivation and product manufacturing of medical marijuana.
4. The petitioner seeks:  
**Special Permit:** Adult Use - Marijuana Cultivator (Article IV, Section 2, Table 4.1 Business Use #32) &  
Adult Use - Marijuana Product Manufacturer (Article IV, Section 2, Table 4.1 Business Use #34)
5. Such a use is permitted by the City of Worcester Zoning Ordinance under Article IV, Section 15, by the grant of a Special Permit.

*Handwritten signature/initials*



## **General Findings of Fact – Special Permit**

6. Per Article II, Section 6 (A)(2), the adverse effects of the proposed use will not outweigh its beneficial impacts to the City with respect to each of the following considerations:

- (1) Social, economic or community needs that are served by the proposal:

*On November 8, 2016, Massachusetts voters approved an initiative legalizing the cultivation and sale of recreational marijuana in the Commonwealth. The City has adopted specific zoning requirements with respect to the regulation of certain adult use marijuana establishments, including cultivation and product manufacturing establishments that supply and support adult use "recreational" retail marijuana establishments. In accordance with M.G.L. c. 94G and its implementing regulations at 935 CMR 500 et seq., the City is required to facilitate the establishment of up to 15 regulated marijuana retailers. The City and its citizenry have demonstrated that there is a need and demand in the community to allow the Adult Use in certain areas of the City, which includes the Property.*

*The Adult Use will create new jobs, generate additional tax revenues and community impact fees for the City and enhance the current RMD Use at the Property by providing a safe, secure and convenient location to supply other adult use marijuana establishments and registered marijuana dispensaries in the City and other communities. The Proposed Establishment will operate in a building that has already undergone extensive renovation that dramatically modernized and improved the exterior and interior features of the Building. The Adult Use will promote much-needed economic vitality to the neighborhood and the City. The Adult Use will not be detrimental to adjoining premises, but rather complement the existing mix of businesses in the area.*

- (2) Traffic flow and safety, including access, parking and loading areas:

*The Property currently has a safe, adequate and efficient layout and design for vehicular pedestrian traffic both within the site and all access points, and the Proposed Establishment will continue to be served by such layout and design. No changes to the driving aisles, parking spaces or curb cuts are necessary or proposed. The drive aisles and access points do not cause any nuisance or hazard to vehicles or pedestrians within or off the Property or line of sight hazards along streets. The existing drive aisles provide sufficient widths and turning radii necessary to provide for safe and efficient travel for delivery trucks as well as large emergency vehicles. The existing shipping/receiving area will continue to be a safe distance from pedestrian walkways. Safe, convenient and efficient pedestrian access to the Proposed Establishment will continue to be provided along existing accessible walkways and sidewalks.*

*The Proposed Establishment will not result in a material increase in, or impact on, traffic over the current use or negative impacts on adjacent streets and ways. No direct sales to end user consumers of marijuana or marijuana products will occur as part of Temescal's operations at the Property.*

*The exclusive use parking spaces for the current RMD Use will also be utilized for the Adult Use and will continue to be in close proximity of the Proposed Establishment entrance, and, therefore, will continue to provide a safe and efficient means of access to and from the Proposed Establishment. Article IV, Section 7.A of the Zoning Ordinance provides minimum parking requirements based on use. The Adult Use in the Building will require the same minimum number of parking spaces based on manufacturing (for the product manufacturing operation) and warehouse/storage (for the cultivation operation) uses as are currently required for*

*the RMD Use. Warehousing/storage use requires 1 parking space per 3,000 square feet of gross floor area, and manufacturing use requires 1 parking space per 1,000 square feet of gross floor area. The existing allocation of cultivation (approximately 11,025 square feet) and product manufacturing (approximately 1,460 square feet) spaces within the Building will remain the same for the Adult Use, which require a minimum of 6 parking spaces. There are a total of 29 parking spaces at the Property, of which Temescal will continue to have the exclusive right to use 14 parking spaces, and, therefore, will continue to comply with minimum parking space requirements<sup>1</sup>. The existing full-sized covered loading space will serve the Proposed Establishment in compliance with minimum loading requirements.*

**(3) Adequacy of utilities and other public services:**

*Adequate, existing facilities are available for the Proposed Establishment with respect to drainage, sewerage, water, gas, electricity and other utilities. No new municipal service tie-ins or connections will be required for the Proposed Establishment.*

**(4) Neighborhood character and social structure:**

*The Adult Use is functionally and aesthetically compatible with the surrounding commercial properties in the neighborhood, which include a mix of industrial, warehouse, construction, roofing and plumbing suppliers, retailers and automobile dealerships and rental services uses. The closest residences are located across Route 20 and over 200 feet from the Building. The Building was most recently used as a metal fabrication shop. The Building is located over 800 feet from any public or private, primary or secondary school, licensed daycare center, public library, public park or playground, or any other marijuana storefront retailer. Granting this relief will promote an appropriate use of the Property, as the Building is already used for medical marijuana cultivation and product manufacturing. Therefore, the Adult Use will fit into the present character of the neighborhood.*

*Temescal's existing wall and pylon signs at the Property are not anticipated to change for the Proposed Establishment. There are no exterior improvements proposed with respect to the Proposed Establishment, and, therefore, the Building and improvements thereon will have no greater impact on, adversely affect or be detrimental to adjoining premises or zones or the neighborhood. Interior renovations to the Building for the RMD Use have already been completed, and will continue to serve as improvements of the aesthetic appeal, design quality and economic vitality of the neighborhood. The kind, size, height and nature of the Building and the completed interior renovations and signage are consistent with buildings in other communities that have been fit-up and utilized for adult use marijuana establishments. The Property complies with all dimensional and parking requirements set forth in the Zoning Ordinance.*

*The Adult Use is not expected to result in any increase in noise levels that would be noticeable at any abutting properties. The outdoor lighting is adequate for safety and security purposes and an enhancement over the previous lighting at the site, and does not have a deleterious effect on neighboring properties. The Adult Use will neither create a nuisance, hazard, congestion or concerns pertaining to health,*

---

<sup>1</sup> The other uses of the second building on the Property include retail (approximately 1,200 square foot space) and retail storage (approximately 2,500 square foot space). Retail sales require 1 parking space per 300 square feet of gross floor area. Retail storage use requires 1 parking space per 750 square feet of gross floor area. Therefore, the uses within the second building require a minimum of 8 parking spaces. There are a total of 15 parking spaces available for such uses, which complies with the minimum parking requirement.

*safety or general welfare, and there will not be substantial harm to the neighborhood or derogation from the intent of the Zoning Ordinance as a result of the Adult Use. No retail sales of marijuana will occur at the Property. The Proposed Establishment will generally operate Monday through Friday, from 7 a.m. to 4 p.m.*

(5) Impacts on the natural environment:

*No excavation or grading work is contemplated. There are minimal natural terrain features at the Property, and, there are no proposed changes to the natural terrain as a result of the proposed Adult Use. The Property is outside of the Floodplain and Water Resources Protection Overlay Districts and ecologically sensitive areas, and there are no wetland resource areas on the Property. There will not be any impacts on the groundwater.*

(6) Potential fiscal impact, including city services needed, tax base, and employment:

*The Adult Use will sustain and create new jobs and will generate additional tax revenues and impact fees for the City. The Adult Use will improve the economic vitality of the neighborhood and surrounding areas. The Adult Use will not require city services, such as new water or sewer connections, rubbish removal, schools or improvements to curb cuts or roadway infrastructure.*

### **Supplementary Special Permit Findings of Fact**

7. In addition to the special permit criteria under Article II, the Board may grant such a special permit per the criteria of Article IV, Section 15(H) of the Zoning Ordinance:

(a) The Marijuana Establishment does not derogate from the purposes and intent of this Section and the Zoning Ordinance:

*The proposed Adult Use does not derogate from the purposes and intent of the Zoning Ordinance. In drafting the provisions of the Zoning Ordinance pertaining to the regulation of adult use marijuana establishments, the City Council, Planning Department, Planning Board and City Solicitor determined that certain areas of the City, including properties in the MG-2.0 zoning district, be permitted to operate as adult use marijuana cultivators and product manufacturers. Adult use marijuana establishments are largely permitted in commercial and industrial zones, and the requirement that an adult use marijuana establishment not be within a 500-foot radius of a public or private, primary or secondary school, licensed daycare center, public library, public park or playground, nor another marijuana storefront retailer limits the number of feasible locations in which other adult use marijuana establishments can operate and ensures approved establishments are not confined to certain neighborhoods, but, rather, are spread evenly throughout the entire City. The Zoning Ordinance fully intended the proposed Adult Use to operate at this site, and such use is well-suited at the Property given that it is in a manufacturing-based zoning district with a mix of other types of businesses that are in harmony with the Adult Use in the surrounding neighborhood.*

(b) The application information submitted is adequate for the SPGA to consider approving the special permit request:

*This application and all supporting materials submitted are adequate for the Board to consider and approve the requested the special permits, which supporting materials include the following:*

- *Zoning Determination Form;*
- *Certification of Tax/Revenue Collection Compliance;*

- *Plan of Land with Parking;*
- *Certification of Minimum Distance Requirements;*
- *Security Plan - This application includes a security plan that details how the Property will be monitored and secured so as to avoid, deter and prevent illegal activities from taking place upon or about Temescal's premises, and references the plan of land showing the arrangement of pedestrian circulation and access to the public points of entry to the premises from the nearest public or private street or off-street parking area, as well as the location of any walkway structures, lighting, gates, fencing and landscaping;*
- *Odor Control Plan - This Statement in Support sets forth an odor control plan demonstrating how all resulting odors, smoke, vapor, fumes, pesticides, insecticides or other chemicals, gases and particulate matter from marijuana or its processing or cultivation shall be effectively confined to the premises or so disposed. Said plan details the specific odor-emitting activities or processes to be conducted on-site, the source of those odors, the locations from which they are emitted from the facility, the frequency of such odor-emitting activities, the duration of such odor-emitting activities, and the administrative and engineering controls that will be implemented to control such odors, including maintenance of such controls;*
- *CCC Documents — This application includes copies of all licenses, permits and documentation demonstrating application status, registration or licensure by The Commonwealth of Massachusetts Cannabis Control Commission (the "CCC"). Temescal has obtained an RMD license from the Massachusetts Department of Public Health for medical marijuana production operations; and provisional licenses from the CCC for: Cultivation Marijuana Establishment (Tier 2 - Indoor License #MCN281550) and Product Manufacturer Marijuana Establishment (License #MPN281402). Temescal is seeking its final marijuana establishment licenses from the CCC.*
- *List of Management Personnel; Disclosure of Financial Interest - This application includes a list of all managers, officers, directors, persons or entities having direct or indirect authority over the management, policies, security operations or cultivation operations of the marijuana establishment. With respect to all persons or entities contributing 10% or more of the initial capital to operate the marijuana establishment, including capital in the form of land or buildings, no initial capital was required to commence the adult use marijuana establishment operations at the Property, as Temescal already operates medical marijuana cultivation and product manufacturing programs (which was fully capitalized by Temescal Wellness of Massachusetts, LLC) at a scale that supports adult-use market participation without additional capital. This structure was approved by the CCC through the award of the above-referenced provisional licenses.*
- *Business Registration - This application includes proof that the marijuana establishment is registered to do business in The Commonwealth of Massachusetts as a domestic business corporation or another domestic business entity in compliance with 935 CMR 500 et. seq and good standing certificates as issued by the Secretary of the Commonwealth and Department of Revenue;*
- *Executed Host Agreement;*
- *Evidence of Lease; and*

- **Certified Map and List of Abutters.**

*This application also has documentation of an escrow account for the Marijuana Regulation Fund in an amount sufficient to adequately support the dismantling or winding down of the Proposed Establishment in accordance with 935 CMR 500.101(1)(a).*

- (c) The proposed establishment is designed to minimize any adverse impacts on abutting properties:

*The proposed Adult Use will be in a manufacturing district and is compatible with the neighborhood's character and abutting properties as described above. No exterior changes or modifications to the Building, parking or other improvements are contemplated in connection with the Adult Use. The security plan provides state of the art security controls that are designed to minimize the risk of illicit activities at or about the Property. The odor control plan includes comprehensive measures that will minimize impacts from potential odors, fumes and/or emissions from the Proposed Establishment. There have been no reported incidents of theft or other crimes or complaints of odors or nuisances since commencing its RMD Use at the Property. No marijuana retail sales or consumption will be allowed at the Property.*

- (d) The security plan provides sufficient assurance that adequate security controls have been implemented to ensure the protection of the public health and safety during hours of operation and that any marijuana or marijuana related products are adequately secured on-site or via delivery:

*The security plan complies with the security requirements, procedures and controls applicable to adult and medical use marijuana establishments as set forth in 935 CMR 500 et. seq and 105 CMR 725 et. seq. Sufficient safety measures to deter and prevent unauthorized entrance into areas containing marijuana and theft of marijuana therein have already been implemented to as part of the existing RMD Use, which safety measures will continue to be maintained for the Adult Use. The outside perimeter of the Building will continue to be sufficiently lit to facilitate surveillance, where applicable. Temescal has already installed security systems and equipment in connection with the existing RMD Use, including, but not limited to, exterior and interior cameras, motion sensors, glass break detectors, perimeter alarm, access control, intrusion keypad, panic alarms, security closet and video intercom. All security systems are supported by battery back-ups and a failure notification system with audio/visual alert. Procedures are also established for additional battery back-up or generator services in case of an extended power outage. The odor control plan proposed adequately provides for the ongoing safe operation of the establishment and minimizes any adverse impacts to abutting properties from odor-emitting activities to be conducted on-site:*

*All entrances to the Building will continue to be secured to prevent unauthorized access. Limited access areas will be established pursuant to 935 CMR 500.110(4), which shall be accessible only to specifically authorized personnel limited to include only the minimum number of employees essential for efficient operation. All employees will continue to be required to have proper identification at all times while in the Building. Employees have been, and will continue to be, trained to watch for illicit activity within and outside of the Building. Outside vendors, contractors and visitor identification will be checked and will require signature in a visitor's log, wearing of a visitor's badge, and be in the presence of management while at the Building. Procedures have been adopted to prevent loitering and ensure that only individuals engaging in activity expressly or by necessary*

*implication permitted by state regulations are allowed to remain on the premises. Since beginning operations in late April 2018, the facility has had no incidents reported by the Worcester Police Department or others. The Adult Use licensure will not perceptibly alter operations or create additional security exposures.*

*Storage of all finished marijuana products will be in a secure, locked safe or vault in such a manner as to prevent diversion, theft and loss. All safes, vaults, and any other equipment or areas used for the production, cultivation, harvesting, processing or storage of marijuana products will be securely locked, kept in good working order and protected from entry, except for the actual time required to remove or replace marijuana. Keys will not be stored or placed in a location accessible to persons other than specifically authorized personnel. Accessibility of security measures, such as combination numbers, passwords or electronic or biometric security systems will be given only to specifically authorized personnel. All marijuana products will be kept out of plain sight and will not be visible from a public place. Emergency policies and procedures have been developed for securing all product following any instance of diversion, theft or loss of marijuana.*

*Temescal will dispose of marijuana in excess of the quantity required for normal, efficient operation as required by law. No cash is handled or stored at the facility. Temescal has shared its security plan and procedures with law enforcement authorities and fire services, and periodically updates law enforcement authorities and fire services if the plans or procedures are modified in a material way.*

*Temescal is committed to confining all odors produced by the cultivation, manufacturing, or storing of marijuana and marijuana products. All equipment will be installed and maintained based on manufacturer's recommendations. The facility has been operational for seven months and has fielded no complaints regarding odor whatsoever. Odor-producing areas include first-floor flower rooms and, to a lesser degree, second floor cultivation areas. To mitigate odor, charcoal or plasma filters may be installed in HVAC ductwork servicing odor-producing areas. Alternatively, FogCo or similar industry-standard systems used for odor neutralization at landfills, sewer treatment plants and poultry operations, may be installed to the extent necessary. These systems administer an odor neutralizing compounds into building exhaust systems.*

- (e) The odor control plan proposed adequately provides for the ongoing safe operation of the establishment and minimizes any adverse impacts to abutting properties from odor-emitting activities to be conducted on-site.

*Temescal is committed to confining all odors produced by the cultivation, manufacturing, or storing of marijuana and marijuana products. All equipment will be installed and maintained based on manufacturer's recommendations. The facility has been operational for seven months and has fielded no complaints regarding odor whatsoever.*

- (f) The proposed design and operation of the Marijuana Establishment will meet the requirements of this Section:

*The design, layout and operation of the Proposed Establishment, which is the same as the existing RMD Use facility, meets the requirements of Article IV, Section 15 of the Zoning Ordinance. The Building is being converted from an existing registered marijuana dispensary to an adult use marijuana establishment, and, therefore, is exempt from the requirement that an adult use marijuana establishment not be within a 500-foot radius of a public or private, primary or secondary school, licensed daycare center, public library, public park or*

*playground, nor another marijuana storefront retailer. The Proposed Establishment is within a fully enclosed building and will not be visible from the building's exterior. No marijuana products will be stored in outdoor facilities. The Property and Building comply with all applicable dimensional and parking requirements of the Zoning Ordinance. The operating hours of the Proposed Establishment will generally be Monday through Friday, from 7 a.m. to 4 p.m.*

*The Proposed Establishment will continue to have state-of-the-art security controls and measures to avoid, deter and prevent illicit activities from occurring on or about the Property, all in compliance with 935 CMR 500 et. seq and 105 CMR 725 et. seq. The current odor control plan for the existing Building provides for proper and adequate ventilation in such a manner so as to prevent odors from marijuana or marijuana-related products from being dispersed outside of the Building. All resulting odors, smoke, vapor, fumes, gases and particulate matter from marijuana or its processing or cultivation shall continue to be effectively confined to the premises or so disposed of so as to avoid any air pollution. No marijuana or marijuana product will be smoked or otherwise consumed at the Property. No direct sales to end user consumers of marijuana or marijuana products will occur as part of Temescal's operations at the Property.*

## DECISION

At a meeting of the Board on January 2, 2019, and on motion duly made and seconded, it was voted 5-0 by Board members Andrew Truman, John Vigliotti, Satya Mitra, Paul DePalo and Albert LaValley to accept the findings of fact provided by the petitioner and to approve the following requested relief:

**Special Permit:** Adult Use - Marijuana Cultivator &  
Adult Use - Product Manufacturing (Article IV, Section 15)

With the following conditions of approval:

1. The operator shall be Temescal Wellness of Massachusetts, LLC.
2. Temescal Wellness of Massachusetts, LLC. shall maintain proper licensing through the Cannabis Control Commission to operate Cultivation and Product Manufacturing uses at the site.
3. No outside storage of marijuana or marijuana products shall be permitted.
4. The facility shall fully comply with the submitted odor control plan providing for proper and adequate ventilation. All resulting odors, smoke, vapor, fumes, gases and particulate matter from the use shall be effectively confined to the premises or so disposed of so as to avoid any air pollution.
5. The facility shall fully comply with the Security Plan in order to provide for the adequate and proper security at the premises so as to avoid, deter and prevent illegal activities from taking place upon or about the premises.
6. The petitioner shall be required to remove all materials, plants, equipment and other paraphernalia within ninety days of ceasing operations or immediately following revocation of its license issued by the Cannabis Control Commission.
7. Provided that the project is utilized in substantial accordance with all findings of fact on file with the City of Worcester and in accordance with all applicable governmental codes.

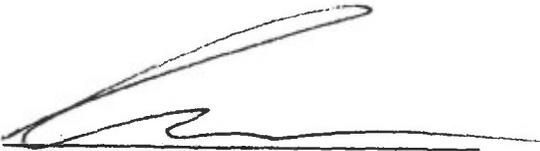
The Board also voted 5-0 to approve the requested waiver of the application requirement to label all abutters and abutters within 300 feet on the plan of land.

This Special Permit shall not take effect until the petitioner records, at his or her own expense, a copy thereof with the Worcester District Registry of Deeds, pursuant to Massachusetts General Laws, Chapter 40A, Section 11, as amended. The rights authorized by this Special Permit must commence no later than one year from the grant hereof. If the requested Special Permit is litigated, all time periods for recording and construction shall not commence to toll until a final, favorable decision of the Honorable Court is rendered.

Appeals of this decision shall be made pursuant to M.G.L. c. 40A §17 and shall be filed within twenty days after the filing of this decision in the office of the City Clerk.

It was **ORDERED** by the Board that persons notified of the hearing be notified of the foregoing decision.

ADJOURNED:



ANDREW TRUMAN

DATE 1/23/19

\_\_\_\_\_  
SATYA MITRA

DATE \_\_\_\_\_

\_\_\_\_\_  
JOHN VIGLIOTTI

DATE \_\_\_\_\_

\_\_\_\_\_  
PAUL DEPALO

DATE \_\_\_\_\_

\_\_\_\_\_  
ALBERT LAVALLEY

DATE \_\_\_\_\_

**REMINDERS**

Time Limitations: Approval under this article shall become invalid unless the work or action authorized by it shall commence within one year after the Planning Board has granted such approval and thereafter shall proceed in good faith continuously to completion so far as is reasonably practicable under the circumstances. Per Article V, Section 3F "Site Plan Review" of the City of Worcester Zoning Ordinance.

Landscaping Requirements: Required landscaping shall be maintained in a healthy growing condition, free of refuse and debris, and any plantings that do not survive shall be replaced in kind by the applicant or the property owner within a reasonable period of time. All plant materials and fencing shall be arranged and maintained so as not to obscure the vision of traffic. There shall be no parking of vehicles or snow storage in areas used for screening and buffering. Per Article V, Section 5, C. iv of the City of Worcester Zoning Ordinance.

Construction Noise: No person shall operate any powered construction equipment or build, erect construct, demolish, alter, repair, excavate or engage in hoisting, grading, site work, including tree and brush removal, dredging or pneumatic hammering, or deliver construction equipment and/or supplies to the site on any building, road, tower, parking lot, machine, pipe, sewer, sidewalk, or any other construction project, except between the hours of 7:00 a.m. and 9:00 p.m. on weekdays and d Saturday, and between the hours of 9:00 a.m. and 7:00 p.m. on Sundays....Per Chapter 9 Section 1A (e) (9) of the City of Worcester's Ordinance Relative to Excessive and Unreasonable Noise.

City of Worcester, MA

February 21, 2019

I certify that twenty days have elapsed after the attached decision for 139 (aka 141 & 143) Southwest Cutoff was filed with the City Clerk Department on January 28, 2019 and that no appeal has been filed.

A handwritten signature in black ink, appearing to read "Susan M. Ledoux", written over a horizontal line.

Susan M. Ledoux  
City Clerk

ATTEST: WORC. Kathryn A. Toomey, Register



**New England Land Survey, Inc.**  
**'We have a plan for your land!'**

January 10, 2019

To: Mr. Anthony Parrinello  
Evergreen Strategies  
52 Whispering Way  
Stow, MA 01775

Re: 143 Southwest Cutoff, Worcester, MA

Dear Ms. Parrinello,

As per your request, we have evaluated the above referenced site to determine if any of the following uses are present within Eight Hundred (800) feet of the site:

1. Any Public or Private Primary or Secondary School;
2. Any Licensed Day Care Facility;
3. Any Public Park Area; and
4. Any Marijuana Storefront Retailer.

Based on our evaluation of the site, we have not found any of the above uses present within the noted offset distance. We hope this information is of use to you in the permitting process.

Should you have any questions or need clarification on the above, please call this office at 508-987-0025.

Very Truly Yours,

George E. Smith III, PLS, MA License # 38718  
New England Land Survey, Inc

710 Main Street | PO Box 744  
North Oxford, MA | 01537  
(P) 508-987-0025 | [info@nelandsurvey.net](mailto:info@nelandsurvey.net)



**MP281402**  
License Number

**10/03/2020**  
Expiration Date

Pursuant to its authority and power to license Marijuana Establishments granted to it under Chapter 94G of the Massachusetts General Laws,

The Cannabis Control Commission hereby grants a final Marijuana Establishment license to:

# Temescal Wellness of Massachusetts, Inc.

Marijuana Establishment permitted to operate at the following address

141 SW Cutoff  
Worcester, MA 01604

Marijuana Establishment licensed to perform operations as:

**Marijuana Product  
Manufacturer**

Steven J. Hoffman | Chairman

Kay Doyle | Commissioner

Jennifer Flanagan | Commissioner

Britte McBride | Commissioner

Shaleen Title | Commissioner

Shawn Collins | Executive Director

The Marijuana Establishment is subject to M.G.L. 94G, Commission regulations, Commission decisions, and all other legal requirements. The Marijuana Establishment must remain fully compliant with said requirements and legal authorities until such time that it is approved by the Commission to cease operations.



**MC281550**      **10/03/2020**  
License Number      Expiration Date

Pursuant to its authority and power to license Marijuana Establishments granted to it under Chapter 94G of the Massachusetts General Laws,

The Cannabis Control Commission hereby grants a final Marijuana Establishment license to:

# Temescal Wellness of Massachusetts, Inc.

Marijuana Establishment permitted to operate at the following address

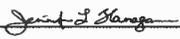
141 SW Cutoff  
Worcester, MA 01604

Marijuana Establishment licensed to perform operations as:

**Marijuana Cultivation  
Tier2 / Indoor  
(5,001 - 10,000 sq.ft)**

  
\_\_\_\_\_  
Steven J. Hoffman | Chairman

  
\_\_\_\_\_  
Kay Doyle | Commissioner

  
\_\_\_\_\_  
Jennifer Flanagan | Commissioner

  
\_\_\_\_\_  
Britte McBride | Commissioner

  
\_\_\_\_\_  
Shaleen Title | Commissioner

  
\_\_\_\_\_  
Shawn Collins | Executive Director

The Marijuana Establishment is subject to M.G.L. 94G, Commission regulations, Commission decisions, and all other legal requirements. The Marijuana Establishment must remain fully compliant with said requirements and legal authorities until such time that it is approved by the Commission to cease operations.

**Temescal Wellness of Massachusetts, LLC**

**Application to City of Worcester Planning Board for Amendment to Special Permit for Adult Use Marijuana Establishment Consisting of Marijuana Cultivator and Marijuana Product Manufacturer Uses at 141 Southwest Cutoff a/k/a 139 Southwest Cutoff, Worcester, Massachusetts**

**List of Management Personnel and Disclosure of Financial Interest**

1. Ted Rebholz, President and CEO
2. Amy Froebel-Fisher, Vice President of Accounting and Finance
3. Linda Katz, Vice President of Sales and Marketing
4. Philip Poirier, Retail Director
5. Kasey Corson, Compliance Manager
6. Julia Germaine, Corporate Development Director

No new capital will be required to commence the expanded adult use marijuana establishment operations given that the Temescal Wellness of Massachusetts, LLC already operates an adult-use establishment consisting of cultivation and manufacturing uses at the above property. This existing structure was approved by the CCC through the award of final licenses, copies of which are included with this application.



**The Commonwealth of Massachusetts**  
**William Francis Galvin**

Minimum Fee: \$500.00

Secretary of the Commonwealth, Corporations Division  
 One Ashburton Place, 17th floor  
 Boston, MA 02108-1512  
 Telephone: (617) 727-9640

**Annual Report**

(General Laws, Chapter )

**Identification Number:** 001358393

**Annual Report Filing Year:** 2019

**1.a. Exact name of the limited liability company:** TEMESCAL WELLNESS OF MASSACHUSETTS, LLC

**1.b. The exact name of the limited liability company as amended, is:** TEMESCAL WELLNESS OF MASSACHUSETTS, LLC

**2a. Location of its principal office:**

No. and Street: 141 SW CUTOFF  
 City or Town: WORCESTER State: MA Zip: 01604 Country: USA

**2b. Street address of the office in the Commonwealth at which the records will be maintained:**

No. and Street: 141 SW CUTOFF  
 City or Town: WORCESTER State: MA Zip: 01604 Country: USA

**3. The general character of business, and if the limited liability company is organized to render professional service, the service to be rendered:**

TO OPERATE AS A MEDICAL MARIJUANA TREATMENT CENTER WITH THE DEPARTMENT OF PUBLIC HEALTH IN ACCORDANCE WITH 105 CMR 725.004, AND THE COMPANY MAY, AS PERMITTED BY LAW, ENGAGE IN ANY AND ALL ACTIVITIES IN FURTHERANCE OF, OR RELATED THERETO, WHICH MAY LAWFULLY BE CARRIED ON BY A COMPANY FORMED UNDER CHAPTER 156C OF THE GENERAL LAWS OF MASSACHUSETTS.

**4. The latest date of dissolution, if specified:**

**5. Name and address of the Resident Agent:**

Name: PRECISION CORPORATE SERVICES, INC.  
 No. and Street: 44 SCHOOL ST. , SUITE 325  
 City or Town: BOSTON State: MA Zip: 02108 Country: USA

**6. The name and business address of each manager, if any:**

| Title   | Individual Name<br>First, Middle, Last, Suffix | Address (no PO Box)<br>Address, City or Town, State, Zip Code |
|---------|--|---|
| MANAGER | EDWARD T. REBHOLZ JR.                          | 141 SW CUTOFF<br>WORCESTER, MA 01604 USA                      |

7. The name and business address of the person(s) in addition to the manager(s), authorized to execute documents to be filed with the Corporations Division, and at least one person shall be named if there are no managers.

| Title         | Individual Name<br>First, Middle, Last, Suffix | Address (no PO Box)<br>Address, City or Town, State, Zip Code |
|---------------|--|---|
| SOC SIGNATORY | EDWARD T. REBHOLZ JR.                          | 141 SW CUTOFF<br>WORCESTER, MA 01604 USA                      |

8. The name and business address of the person(s) authorized to execute, acknowledge, deliver and record any recordable instrument purporting to affect an interest in real property:

| Title         | Individual Name<br>First, Middle, Last, Suffix | Address (no PO Box)<br>Address, City or Town, State, Zip Code |
|---------------|--|---|
| REAL PROPERTY | EDWARD T. REBHOLZ JR.                          | 141 SW CUTOFF<br>WORCESTER, MA 01604 USA                      |

9. Additional matters:

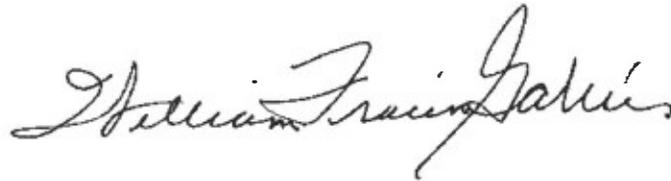
**SIGNED UNDER THE PENALTIES OF PERJURY, this 16 Day of January, 2019,  
EDWARD T. REBHOLZ, JR. , Signature of Authorized Signatory.**

THE COMMONWEALTH OF MASSACHUSETTS

I hereby certify that, upon examination of this document, duly submitted to me, it appears that the provisions of the General Laws relative to corporations have been complied with, and I hereby approve said articles; and the filing fee having been paid, said articles are

deemed to have been filed with me on:

January 16, 2019 12:24 PM

A handwritten signature in black ink, reading "William Francis Galvin". The signature is written in a cursive style with a large, prominent initial "W".

WILLIAM FRANCIS GALVIN

*Secretary of the Commonwealth*



**The Commonwealth of Massachusetts  
William Francis Galvin**

Minimum Fee: \$100.00

Secretary of the Commonwealth, Corporations Division  
One Ashburton Place, 17th floor  
Boston, MA 02108-1512  
Telephone: (617) 727-9640

**Certificate of Amendment**

(General Laws, Chapter )

Identification Number: 001358393

The date of filing of the original certificate of organization: 12/7/2018

1.a. Exact name of the limited liability company: TEMESCAL WELLNESS OF MASSACHUSETTS, LLC

1.b. The exact name of the limited liability company as amended, is: TEMESCAL WELLNESS OF MASSACHUSETTS, LLC

**2a. Location of its principal office:**

No. and Street: 141 SE CUTOFF  
City or Town: WORCESTER State: MA Zip: 01604 Country: USA

3. As amended, the general character of business, and if the limited liability company is organized to render professional service, the service to be rendered:

4. The latest date of dissolution, if specified:

**5. Name and address of the Resident Agent:**

Name: PRECISION CORPORATE SERVICES, INC.  
No. and Street: 44 SCHOOL ST. , SUITE 325  
City or Town: BOSTON State: MA Zip: 02108 Country: USA

**6. The name and business address of each manager, if any:**

| Title   | Individual Name<br>First, Middle, Last, Suffix | Address (no PO Box)<br>Address, City or Town, State, Zip Code |
|---------|--|---|
| MANAGER | EDWARD T. REBHOLZ JR.                          | 141 SE CUTOFF<br>WORCESTER, MA 01604 USA                      |

7. The name and business address of the person(s) in addition to the manager(s), authorized to execute documents to be filed with the Corporations Division, and at least one person shall be named if there are no managers.

| Title         | Individual Name<br>First, Middle, Last, Suffix | Address (no PO Box)<br>Address, City or Town, State, Zip Code |
|---------------|--|---|
| SOC SIGNATORY | EDWARD T. REBHOLZ JR.                          | 141 SE CUTOFF<br>WORCESTER, MA 01604 USA                      |

any recordable instrument purporting to affect an interest in real property:

| Title         | Individual Name<br>First, Middle, Last, Suffix | Address (no PO Box)<br>Address, City or Town, State, Zip Code |
|---------------|--|---|
| REAL PROPERTY | EDWARD T. REBHOLZ JR.                          | 141 SE CUTOFF<br>WORCESTER, MA 01604 USA                      |

**9. Additional matters:**

**10. State the amendments to the certificate:**

THE PRINCIPAL OFFICE ADDRESS IN ITEM 2A AND THE OFFICE OF THE MANAGER IN ITEMS 6, 7 & 8 ARE CHANGED TO: 141 SE CUTOFF WORCESTER, MA 01604

**11. The amendment certificate shall be effective when filed unless a later effective date is specified:**

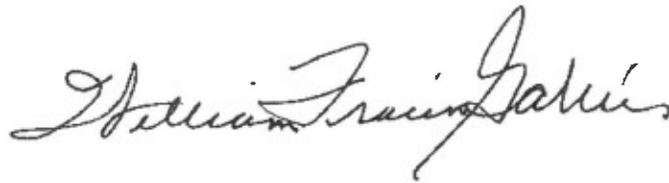
**SIGNED UNDER THE PENALTIES OF PERJURY, this 11 Day of December, 2018,  
EDWARD T. REBHOLZ, JR. , Signature of Authorized Signatory.**

THE COMMONWEALTH OF MASSACHUSETTS

I hereby certify that, upon examination of this document, duly submitted to me, it appears that the provisions of the General Laws relative to corporations have been complied with, and I hereby approve said articles; and the filing fee having been paid, said articles are

deemed to have been filed with me on:

December 11, 2018 01:48 PM

A handwritten signature in black ink, reading "William Francis Galvin". The signature is written in a cursive style with a large, prominent initial "W".

WILLIAM FRANCIS GALVIN

*Secretary of the Commonwealth*

D  
PC

# The Commonwealth of Massachusetts

William Francis Galvin  
Secretary of the Commonwealth  
One Ashburton Place, Boston, Massachusetts 02108-1512

COMMONWEALTH OF MASSACHUSETTS

FORM NO. 6001 (REV. 11/15)

## Articles of Entity Conversion of a Domestic Business Corporation to a Domestic Other Entity (General Laws Chapter 156D, Section 9.53; 950 CMR 113.29)

(1) Exact name of corporation prior to conversion: Temescal Wellness of Massachusetts, Inc.

(2) Registered office address: 44 School Street, Suite 325 Boston, MA 02108  
*(number, street, city or town, state, zip code)*

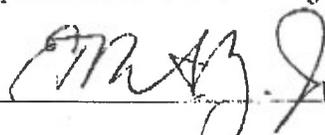
(3) New name after conversion, which shall satisfy the organic law of the surviving entity:  
Temescal Wellness of Massachusetts, LLC

(4) New type of entity: Limited Liability Company

(5) The plan of entity conversion was duly approved by the shareholders, and where required, by each separate voting group in the manner required by G.L. Chapter 156D and the articles of organization.

(6) Attach any additional sheets containing all information required to be set forth in the public organic document of the surviving entity.

(7) The conversion of the corporation shall be effective at the time and on the date approved by the Division, unless a later effective date is specified in accordance with the organic law of the surviving entity: \_\_\_\_\_

Signed by:   
*(signature of authorized individual)*

*(Please check appropriate box)*

- Chairman of the board of directors,
- President,
- Other officer,
- Court-appointed fiduciary,

on this 7<sup>th</sup> day of December, 2018

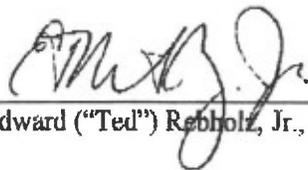
**Consent to Use of Name**

I, Edward ("Ted") Rebholz, Jr., as the Manager of Temescal Wellness of Massachusetts Holdings, LLC, a Massachusetts limited liability company (the "Company"), in the name of and on behalf of the Company, do hereby consent to the use of and registration of the name Temescal Wellness of Massachusetts, LLC, by a Massachusetts limited liability company.

Dated this 7<sup>th</sup> day of December, 2018.

Temescal Wellness of Massachusetts  
Holdings, LLC

By:

  
Edward ("Ted") Rebholz, Jr., Manager

**D**

**The Commonwealth of Massachusetts**

**William Francis Galvin**

Secretary of the Commonwealth

One Ashburton Place, Room 1717, Boston, Massachusetts 02108-1512

**Limited Liability Company**

**Certificate of Organization**

(General Laws Chapter 156C, Section 12)

Federal Identification No.: \_\_\_\_\_

(1) The exact name of the limited liability company:

Temescal Wellness of Massachusetts, LLC

(2) The street address of the office in the commonwealth at which its records will be maintained:

307 Ferry Street, Marshfield, MA 02050

(3) The general character of the business:

The company is organized for the purposes of transacting business as a Medical Marijuana Treatment Center with the Department of Public Health in accordance with 105 CMR 725.004, and the company may, as permitted by law, engage in any and all activities in furtherance of, related to, or incidental to these purposes which may lawfully be carried on by a company formed under Chapter 156C of the General Laws of Massachusetts.

(4) Latest date of dissolution, if specified: \_\_\_\_\_

(5) The name and street address, of the resident agent in the commonwealth:

NAME

ADDRESS

Precision Corporate Services, Inc.

44 School Street, Suite 325  
Boston, MA 02108

(6) The name and business address, if different from office location, of each manager, if any:

NAME

ADDRESS

Edward ("Ted") T. Rebholz Jr.

307 Ferry Street, Marshfield, MA 02050

(7) The name and business address, if different from office location, of each person in addition to manager(s) authorized to execute documents filed with the Corporations Division, and at least one person shall be named if there are no managers:

NAME

ADDRESS

Edward ("Ted") T. Rebholz Jr.

307 Ferry Street, Marshfield, MA 02050

(8) The name and business address, if different from office location, of each person authorized to execute, acknowledge, deliver and record any recordable instrument purporting to affect an interest in real property recorded with a registry of deeds or district office of the land court:

NAME

ADDRESS

Edward ("Ted") T. Rebholz Jr.

307 Ferry Street, Marshfield, MA 02050

(9) Additional matters:

See Continuation Sheet.

Signed by (by at least one authorized signatory):



Consent of resident agent:

I Precision Corporate Services, Inc.

resident agent of the above limited liability company, consent to my appointment as resident agent pursuant to G.L. c. 156C § 12\*

\*or attach resident agent's consent hereto.

Temescal Wellness of Massachusetts, LLC  
Certificate of Organization

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Article IX: Other Provisions

- (a) Meetings of the members of the Company may be held anywhere in the United States.
- (b) The Company may be a partner in any business enterprise which the Company would have the power to conduct itself to the maximum extent permitted by law.
- (c) The manager(s) may make, amend or repeal the limited liability company operating agreement in whole or in part, except with respect to any provisions thereof which applicable law or the limited liability company operating agreement, as may be amended or restated, require action by the members.
- (d) To the fullest extent now or hereafter permitted by law, a manager or officer of the Company shall not be personally liable to the Company or its members for monetary damages for any action or failure to take any action as a manager or officer. If the Massachusetts Limited Liability Company Act or any other law of the Commonwealth of Massachusetts is amended after approval by the members of this Article IX(d) to authorize limited liability company action further eliminating or limiting the personal liability of managers or officers, then the liability of a manager or officer of the Company shall be eliminated or limited to the fullest extent permitted by the Massachusetts Limited Liability Company Act or such other law of the Commonwealth of Massachusetts as so amended. This Article IX(d) constitutes a contract between the Company and the indemnified officers and managers. Any repeal or modification of the foregoing provisions of this Article IX(d) by the members of the Company shall not adversely affect any right or protection of a manager or officer of the Company existing at the time of, or increase the liability of any manager or officer of the Company with respect to any acts or omissions of such manager or officer occurring prior to, such amendment, repeal or modification.
- (e) To the fullest extent now or hereafter permitted by law, the Company shall indemnify, defend and hold harmless any individual made a party to a proceeding because he or she is or was a manager or officer of the Company, against liability incurred in the proceeding including, without limitation, all expenses, liabilities, counsel fees, judgments, fines, excise taxes, penalties and settlement payments, reasonably incurred by or imposed upon such person in connection with any threatened, pending or completed action, suit or proceeding in which he or she may become involved by reason of his or her service in such capacity; provided that no indemnification shall be provided for any such person with respect to any matter as to which he or she shall have been finally adjudicated in any proceeding not to have acted in good faith in the reasonable belief that such action was in the best interests of the Company or that his or her conduct was at least not opposed to the best interests of the Company; and further provided that any compromise or settlement payment shall be approved by a majority vote of a quorum of managers who are not at that time parties to the proceeding, and to the extent there are no managers who are not at that time parties to the proceeding, then by a majority vote of the members of the Company. The indemnification provided hereunder shall inure to the benefit of the heirs, executors and administrators of persons entitled to indemnification hereunder. The right of indemnification under this Article shall be in addition to and not exclusive of

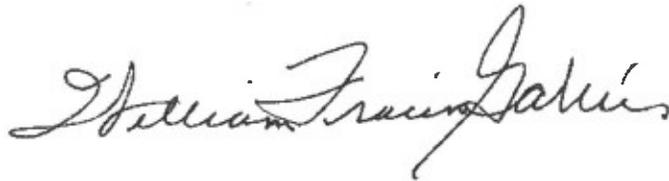
all other rights to which any person may be entitled. This Article constitutes a contract between the Company and the indemnified officers and managers. Any repeal or modification of the foregoing provisions of this Article IX(e) by the members of the Company shall not adversely affect any right or protection of a manager or officer of the Company existing at the time of, or increase the liability of any manager or officer of the Company with respect to any acts or omissions of such manager or officer occurring prior to, such amendment, repeal or modification.

THE COMMONWEALTH OF MASSACHUSETTS

I hereby certify that, upon examination of this document, duly submitted to me, it appears that the provisions of the General Laws relative to corporations have been complied with, and I hereby approve said articles; and the filing fee having been paid, said articles are

deemed to have been filed with me on:

December 07, 2018 04:28 PM

A handwritten signature in black ink that reads "William Francis Galvin". The signature is written in a cursive style with a large, prominent initial "W".

WILLIAM FRANCIS GALVIN

*Secretary of the Commonwealth*



*The Commonwealth of Massachusetts*  
*Secretary of the Commonwealth*  
*State House, Boston, Massachusetts 02133*

William Francis Galvin  
Secretary of the  
Commonwealth

May 10, 2019

TO WHOM IT MAY CONCERN:

I hereby certify that a certificate of organization of a Limited Liability Company was filed in this office by

**TEMESCAL WELLNESS OF MASSACHUSETTS, LLC**

in accordance with the provisions of Massachusetts General Laws Chapter 156C on **December 7, 2018**.

I further certify that said Limited Liability Company has filed all annual reports due and paid all fees with respect to such reports; that said Limited Liability Company has not filed a certificate of cancellation or withdrawal; and that said Limited Liability Company is in good standing with this office.

I also certify that the names of all managers listed in the most recent filing are:  
**EDWARD T. REBHOLZ JR.**

I further certify, the names of all persons authorized to execute documents filed with this office and listed in the most recent filing are: **EDWARD T. REBHOLZ JR.**

The names of all persons authorized to act with respect to real property listed in the most recent filing are: **EDWARD T. REBHOLZ JR.**



In testimony of which,  
I have hereunto affixed the  
Great Seal of the Commonwealth  
on the date first above written.

*William Francis Galvin*  
Secretary of the Commonwealth



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## CERTIFICATE OF GOOD STANDING AND/OR TAX COMPLIANCE

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ACCOUNTING, TEMESCAL WELLNESS  
TEMESCAL WELLNESS OF MASSACHUSETT  
665 COCHITUATE RD FL 2  
FRAMINGHAM MA 01701-4643

000036

### *Why did I receive this notice?*

The Commissioner of Revenue certifies that, as of the date of this certificate, TEMESCAL WELLNESS OF MASSACHUSETTS, LLC is in compliance with its tax obligations under Chapter 62C of the Massachusetts General Laws.

This certificate doesn't certify that the taxpayer is compliant in taxes such as unemployment insurance administered by agencies other than the Department of Revenue, or taxes under any other provisions of law.

**This is not a waiver of lien issued under Chapter 62C, section 52 of the Massachusetts General Laws.**

### *What if I have questions?*

If you have questions, call us at (617) 887-6400 or toll-free in Massachusetts at (800) 392-6089, Monday through Friday, 8:30 a.m. to 4:30 p.m..

### *Visit us online!*

Visit [mass.gov/dor](http://mass.gov/dor) to learn more about Massachusetts tax laws and DOR policies and procedures, including your Taxpayer Bill of Rights, and MassTaxConnect for easy access to your account:

- Review or update your account
- Contact us using e-message
- Sign up for e-billing to save paper
- Make payments or set up autopay

---

Edward W. Coyle, Jr., Chief  
Collections Bureau

**REFERENCES**

**LOCUS:**

ASSESSORS MAP  
MBL 34-035-00013

DEED:  
BOOK 58476 - PG 393

PLANS:  
PLAN BOOK 781, PLAN 103  
PLAN BOOK 798, PLAN 121  
PLAN BOOK 322, PLAN 43

**LEGEND:**

N/F=NOW OR FORMERLY  
ETW = EDGE OF TRAVEL WAY  
EOEP = EDGE OF EXISTING PAVEMENT  
EOP = EDGE OF PAVEMENT  
DMH = DRAIN MANHOLE  
SMH = DRAIN MANHOLE  
FG = FINISH GRADE  
FGX540 = FINISH GRADE (SPOT SHOT)  
TOW = TOP OF WALL  
S.F.=SQUARE FEET  
PB = PLAN BOOK  
PL = PLAN  
PAR = PARCEL

x B-3 DENOTES A BORING

BK = BOOK  
PG = PAGE  
ECB=EROSION CONTROL  
EXISTING PAVEMENT  
AREA = 32,774 S.F.

THE BUILDINGS FRONTAGE IS ON THE SOUTHWEST CUTOFF (ROUTE 20)

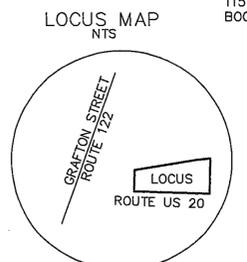
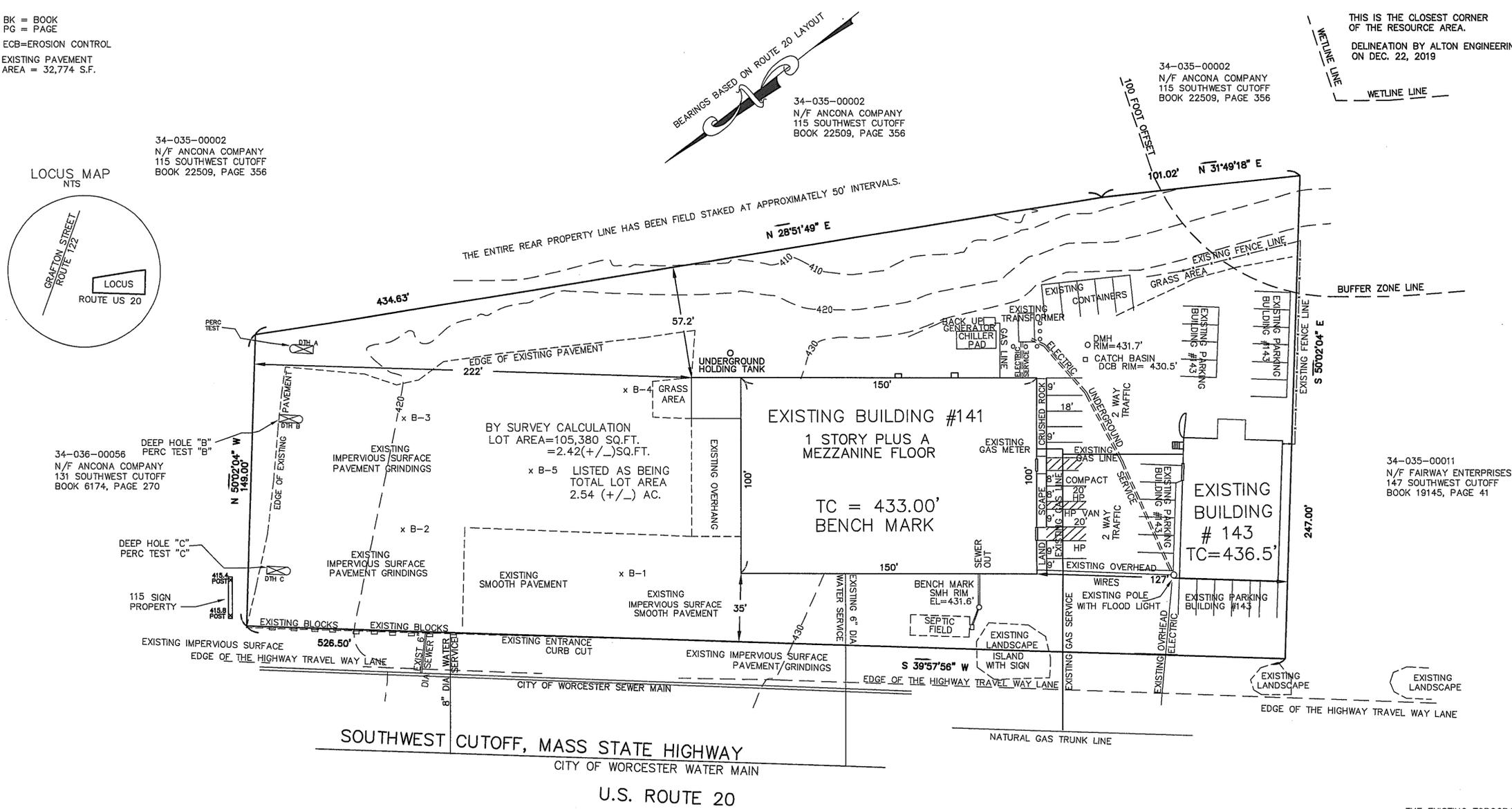
- NOTES:**
1. THERE ARE NO WETLANDS ANYWHERE ON THE SITE.
  2. NO PORTION OF THE PROPERTY IS WITHIN THE 100 YEAR FLOOD PLAIN.

ASSESSORS MAP  
MBL 34-035-00013  
ZONING: MG 2.0

141 SOUTHWEST CUTOFF

| YARD       | SETBACK REQUIRED | SETBACK EXISTING |
|------------|------------------|------------------|
| FRONT      | 15'              | 35'              |
| RIGHT SIDE | N/A              | 127'             |
| LEFT SIDE  | N/A              | 222'             |
| REAR YARD  | 15'              | 57.2'            |

| REQUIRED EXISTING |                |            |
|-------------------|----------------|------------|
| FRONTAGE          | N/A            | 526.50'    |
| HEIGHT            | N/A            | 20'        |
| AREA              | N/A            | 2.54 AC    |
| FAR               | 2 TO 1         | 0.174 TO 1 |
| FAR               | 18,390/105,380 | = 0.174    |



SHEET 1 OF 3

EXISTING CONDITIONS PLAN  
141 SOUTHWEST CUTOFF  
WORCESTER, MASSACHUSETTS

PREPARED FOR:  
OWNER: F CARRIER REALTY LLC  
FRANK CARRIER, MANAGER  
141 SOUTHWEST CUTOFF  
WORCESTER, MA.

**D. J. & ASSOCIATES**  
7 CEDAR STREET  
CLINTON, MA

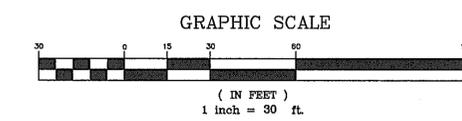
**SHEET KEY**

- SHEET 1 EXISTING CONDITIONS PLAN
- SHEET 2 PARKING LAYOUT PLAN
- SHEET 3 SITE DRAINAGE PLAN

THE EXISTING TOPOGRAPHY AND THE BUILDING LOCATION SHOWN ARE THE RESULT OF A FIELD SURVEY WHICH OCCURRED BETWEEN NOVEMBER 22 THROUGH DECEMBER 23, 2019.



MICHAEL BURKE P.E. # 23374



REV: JANUARY 13, 2020  
DATE: DECEMBER 24, 2019  
SCALE: 1" = 30'

**REFERENCES**

LOCUS:

ASSESSORS MAP  
MBL 34-035-00013

DEED:  
BOOK 58476 - PG 393

PLANS:  
PLAN BOOK 781, PLAN 103  
PLAN BOOK 798, PLAN 121  
PLAN BOOK 322, PLAN 43

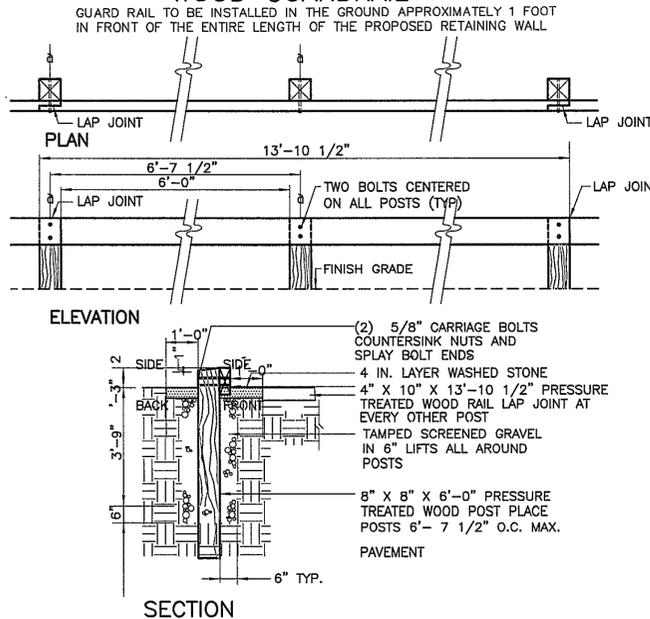
**LEGEND:**

DH = DRAIN MANHOLE  
SMH = SEWER MANHOLE  
N/F = NOW OR FORMERLY  
TOW = TOP OF WALL  
S.F. = SQUARE FEET  
FG = FINISH GRADE  
FF = FINISH FLOOR  
ECB = EROSION CONTROL

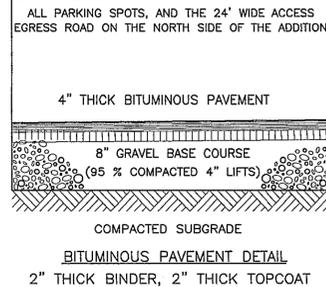
PB = PLAN BOOK  
PL = PLAN  
PAR = PARCEL  
BK = BOOK  
PG = PAGE

ETW = EDGE OF TRAVEL WAY  
EOP = EDGE OF PAVEMENT  
EOEP = EDGE OF EXISTING PAVEMENT  
FCX540 = FINISH GRADE (SPOT SHOT)  
← = TRAFFIC FLOW ARROW  
⊙ = EASTON RED CEDAR  
3.5" MIN. CALIPER TREE  
⊗ = JAPANESE HOLLY SHRUBS

**WOOD GUARDRAIL**

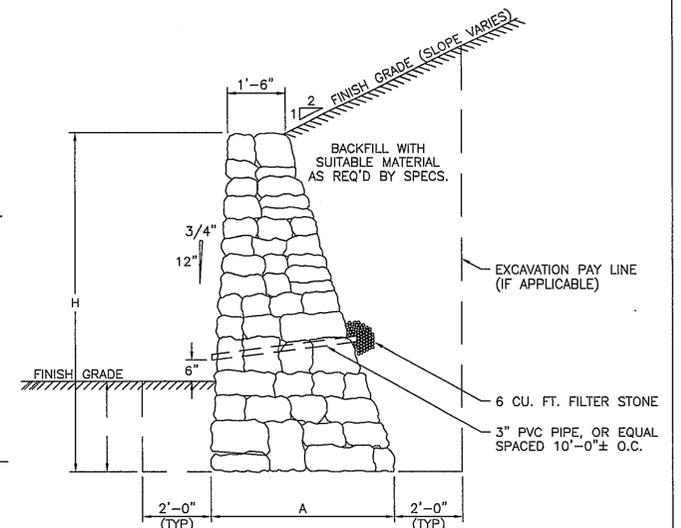


DETAIL FOR THE ONE WAY ACCESS ROAD AT THE FRONT AND REAR OF THE BUILDING MINIMUM WIDTH 15', SIDE SLOPE .01 MINIMUM PITCH DIRECTED AWAY FROM THE ADDITION



- LANDSCAPE AND SITE NOTES:**
- THERE ARE NO WETLANDS ANYWHERE ON THE SITE.
  - NO PORTION OF THE PROPERTY IS WITHIN THE 100 YEAR FLOOD PLAIN.
  - IF EXISTING VEGETATION IS REMOVED TO THE EXTENT IT RENDERS THE SITE NON-COMPLIANT WITH THE LANDSCAPE DESIGN STANDARDS SET FORTH IN THE ZONING ORDINANCE PER ARTICLE V, SECTION-5(C), NEW TREES AND SHRUBS SHALL BE PLANTED IN ACCORDANCE THEREWITH.
  - ANY TREE PROFESSIONALS USED ARE TO BE CERTIFIED ASIAN LONG HORN BEETLE EXPERTS. 7 EASTON RED CEDAR (3.5\"/>

WAIVER REQUEST-WAIVE THE REQUIREMENT OF SHOWING ALL ABUTTERS WITHIN 300' OF THE PROPERTY.



**GENERAL NOTE:**  
- ALL EXPOSED SURFACES MUST BE DRESSED

| DIMENSION AND QUANTITIES |        |                          |
|--------------------------|--------|--------------------------|
| H                        | A      | CU. FT./LIN. FT. OF WALL |
| 5'-0"                    | 3'-5"  | 12.30                    |
| 6'-0"                    | 3'-10" | 16.02                    |
| 7'-0"                    | 4'-3"  | 20.16                    |
| 8'-0"                    | 4'-8"  | 24.72                    |
| 9'-0"                    | 5'-0"  | 29.25                    |
| 10'-0"                   | 5'-6"  | 35.00                    |
| 11'-0"                   | 6'-0"  | 41.25                    |
| 12'-0"                   | 6'-6"  | 48.00                    |
| 13'-0"                   | 7'-0"  | 55.25                    |
| 14'-0"                   | 7'-6"  | 63.00                    |
| 15'-0"                   | 8'-0"  | 71.25                    |

**WET STONE MASONRY RETAINING WALL**

THE BUILDINGS FRONTAGE IS ON THE SOUTHWEST CUTOFF (ROUTE 20)

TABLE 4.4: NOTE 5.- SETBACKS AND BUFFERS. A 5' MINIMUM SET BACK SHALL BE APPLIED FOR VEHICLE PARKING AREAS FROM ALL OF THE PROPERTY LINES.

**PARKING SPACE REQUIREMENTS:**  
TABLE 4.4: NOTE 3b.- COMPACT SPACE-IN PARKING LOTS WITH OVER 10 SPACES, UP TO 25% CAN BE DESIGNATED COMPACT VEHICLE SPACES. 50 PARKING SPACES X 25% = ALLOWS 12 COMPACT VEHICLE SPACES

**COMPACT SPACE LOCATION**  
PARKING SPACE NUMBERS 9-13, 24-26, & 30-33 = 12 COMPACT SPACES

**DESIGNATION OF EXISTING BUILDING USE - SPACES REQUIRED**  
WAREHOUSE - 1 VEHICLE SPACE PER 3,000 SF IS REQUIRED  
MANUFACTURING - 1 VEHICLE SPACE PER 1,000 SF IS REQUIRED

**\*ZONING ORDINANCE: ARTICLE IV, SECTION 7.A.5 REMOVAL OF ENERGY, UTILITY, CORRIDOR, STAIRWAY, RESTROOM, & BUILDING MAINTENANCE AREA WAS SUBTRACTED FROM THE RETAIL UNITS S.F. FLOOR SPACE.**

GROSS - 18,390 SF OF FLOOR SPACE  
NET - OFFICE 1,025 SF OF FLOOR SPACE = 4 VEHICLES  
MANUFACTURING-13,135 SF OF FLOOR SPACE = 14 VEHICLES

**DESIGNATION OF TOTAL ADDITION AREA - SPACES REQUIRED**  
GROSS FLOOR AREA = 52,474 SF OF FLOOR SPACE  
NET-WAREHOUSE=CULTIVATION 44,320 SF OF FLOOR SPACE = 15 VEHICLES

TOTAL VEHICLE SPACES REQUIRED = 33 VEHICLE SPACES  
TOTAL VEHICLE SPACES PROVIDED = 51 VEHICLE SPACES

**HANDICAP VEHICLE REQUIREMENTS.**  
PARKING LOTS WHICH CONTAIN MORE THAN 40 VEHICLE SPACES BUT LESS THAN 100 VEHICLE SPACES MUST PROVIDE A MINIMUM OF THREE (3) HANDICAP SPACES.

PROPOSED: TWO (2) REGULAR HANDICAP SPACES PLUS ONE (1) HANDICAP VAN SPACE WILL BE PROVIDED.

**LOADING DOCKS:**  
IF THE EXISTING AND/OR PROPOSED ADDITION FLOOR AREA'S EXCEED 50,000 SF BUT ARE LESS THAN 100,000 SF, THAN THE BUILDING IS REQUIRED TO HAVE TWO (2) LOADING DOCKS WITH APPROPRIATE TRUCK LOADING PARKING SPACE.

SHEET 2 OF 3  
PARKING LAYOUT PLAN

PROPOSED ADDITION PLAN  
141 SOUTHWEST CUTOFF  
WORCESTER, MASSACHUSETTS

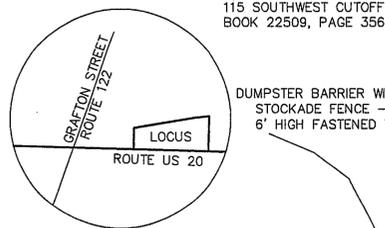
PREPARED FOR:  
OWNER OF:  
F CARRIER REALTY LLC  
FRANK CARRIER, MANAGER  
141 SOUTHWEST CUTOFF  
WORCESTER, MA.

**D. J. & ASSOCIATES**

7 CEDAR STREET  
CLINTON, MA

REV 1: JANUARY 11, 2020  
DATE: DECEMBER 24, 2019  
SCALE: 1" = 30'

**LOCUS MAP**



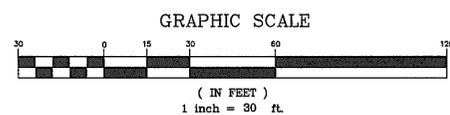
34-036-00056  
N/F ANCONA COMPANY  
131 SOUTHWEST CUTOFF  
BOOK 6174, PAGE 270

ASSESSORS MAP  
MBL 34-035-00013  
ZONING: MG 2.0

141 SOUTHWEST CUTOFF  
PROPOSED ADDITION INCLUDED

| YARD                   | SETBACK REQUIRED | SETBACK PROPOSED |
|------------------------|------------------|------------------|
| FRONT                  | 15'              | 16.2'            |
| RIGHT SIDE             | N/A              | 127'             |
| LEFT SIDE              | N/A              | 47'              |
| REAR YARD              | 15'              | 45'              |
| FRONTAGE               | N/A              | 526.50'          |
| HEIGHT                 | N/A              | 46.5'            |
| AREA                   | N/A              | 2.54 AC          |
| FAR                    | 2 TO 1           | 0.672 TO 1       |
| FAR                    | 70,864/105,380   | = 0.672          |
| TOTAL GROSS FLOOR AREA |                  | = 70,864 SF      |

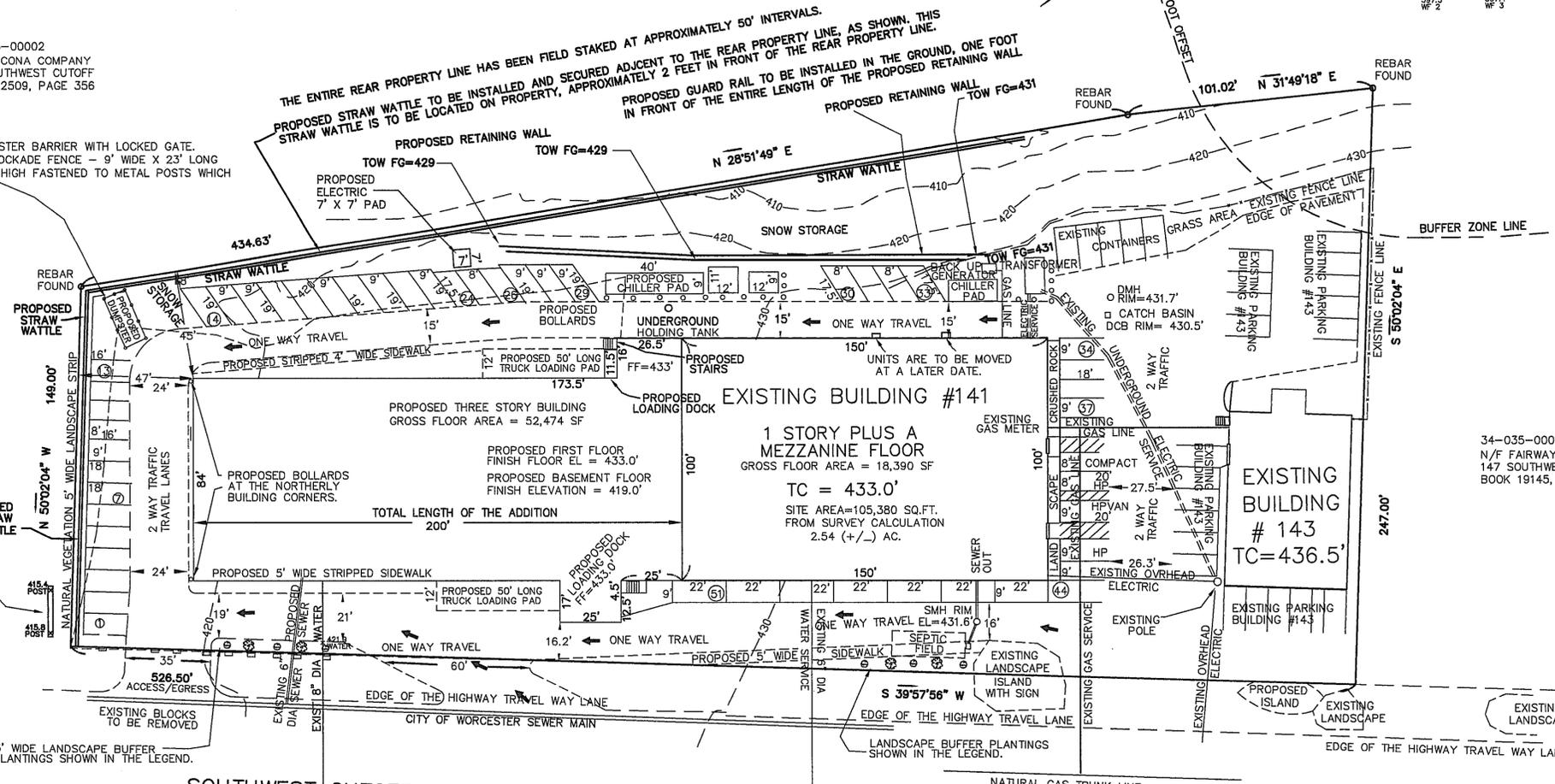
EXISTING PAVEMENT  
AREA = 32,774 S.F.



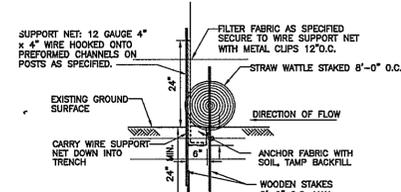
34-035-00002  
N/F ANCONA COMPANY  
115 SOUTHWEST CUTOFF  
BOOK 22509, PAGE 356

34-035-00002  
N/F ANCONA COMPANY  
115 SOUTHWEST CUTOFF  
BOOK 22509, PAGE 356

THIS IS THE CLOSEST CORNER OF THE RESOURCE AREA.  
DELINEATION BY ALTON ENGINEERING ON DEC. 22, 2019



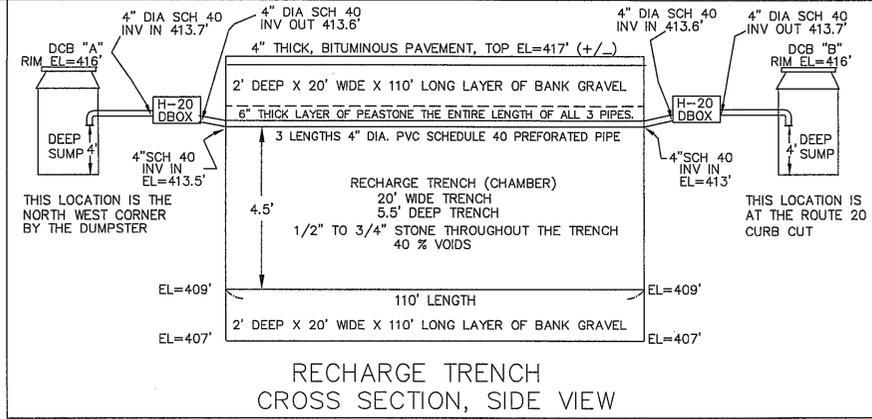
**STRAW WATTLE INSTALLATION DETAIL**



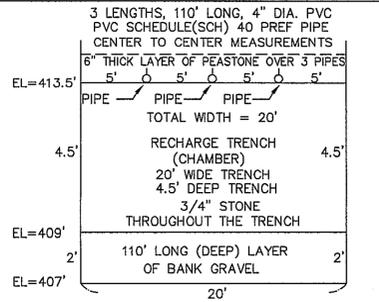
THE EXISTING TOPOGRAPHY AND THE BUILDING LOCATION SHOWN ARE THE RESULT OF A FIELD SURVEY WHICH OCCURED BETWEEN NOVEMBER 22 THROUGH DECEMBER 23, 2019.



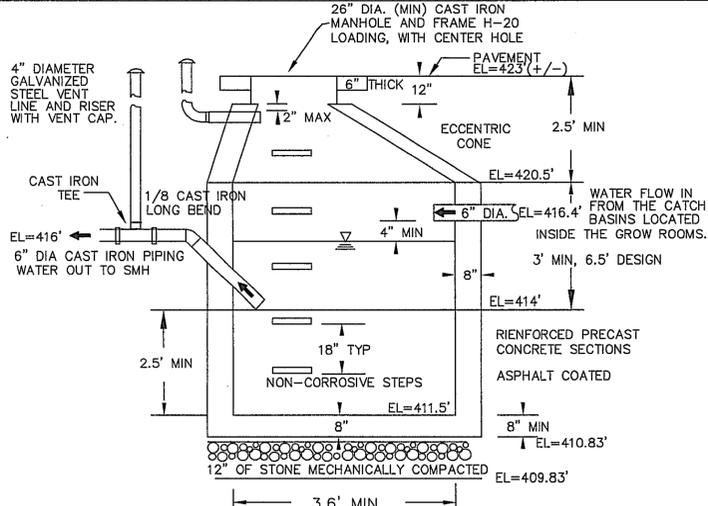
MICHAEL BURKE P.E. # 23374



RECHARGE TRENCH CROSS SECTION, SIDE VIEW



CROSS SECTION, FRONT VIEW



SIDE VIEW SOIL/WATER SEPARATOR MANHOLE

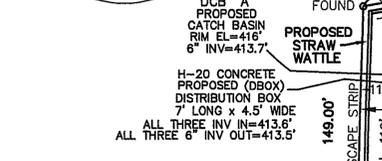
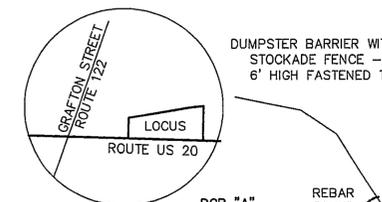
1. A SERIES OF FLOOR TROUGHS, (ONE LOCATED IN EACH GROW ROOM) WILL COLLECT EXCESS FERTILIZED WATER, SOIL PARTICLES, AND PLANT PARTS FUNNELING THE COLLECTION INTO THE BUILDING SEWER SYSTEM. THE SEWER LINE COLLECTS FLOW FROM THE ENTIRE SERIES OF GROW ROOMS ULTIMATELY DIRECTING THAT BUILDING FLOW INTO THE SOIL/WATER SEPARATOR MANHOLE LOCATED OUTSIDE THE BUILDING. (SEE THE PLAN). THE SEPARATED FLOW OF WATER WILL THEN FLOW INTO THE PUBLIC SEWER SYSTEM.
2. A SEWERAGE HAULER WILL BE REQUIRED TO PUMP OUT THE SEPARATED SOIL AND PLANT PARTS PARTS FROM THE MANHOLE AND DISPOSE OF THE MIXTURE AT A DOCUMENTED SEWAGE PLANT.

- PRIOR TO ANY WORK AT THE SITE, CALL DIG SAFE 811. EROSION CONTROL WILL BE FACILITATED WITH STRAW WADDLE, WHICH IS TO BE INSTALLED PRIOR TO ANY CONSTRUCTION.
- LANDSCAPE AND SITE NOTES:
1. THERE ARE NO WETLANDS ANYWHERE ON THE SITE.
  2. NO PORTION OF THE PROPERTY IS WITHIN THE 100 YEAR FLOOD PLAIN.
  3. ALL STORMWATER COLLECTED IN BOTH CATCH BASINS WILL THEN FLOW INTO THE D-BOXES WHERE THE WATER WILL BE FUNNELED INTO THE THREE (3) 6\"/>

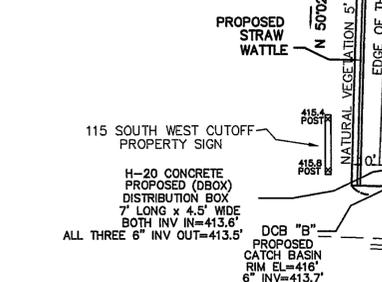
WAIVER REQUEST-WAIVE THE REQUIREMENT OF SHOWING ALL ABUTTERS WITHIN 300' OF THE PROPERTY.

- DRAINAGE CHARACTERISTICS:
- THE PROPOSED DRAINAGE / RECHARGE SYSTEM CONSISTS OF THE FOLLOWING.
1. A DRAINAGE / RECHARGE TRENCH WHICH CONTAINS THE FOLLOWING: THE GROUNDWATER RECHARGE TRENCH IS FULL OF 3/4\"/>

LOCUS MAP NTS  
34-035-00002  
N/F ANCONA COMPANY  
115 SOUTHWEST CUTOFF  
BOOK 22509, PAGE 356



34-036-00056  
N/F ANCONA COMPANY  
131 SOUTHWEST CUTOFF  
BOOK 6174, PAGE 270



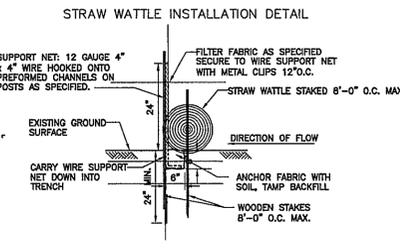
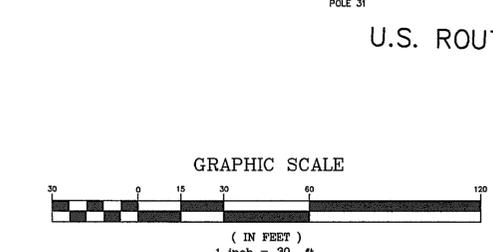
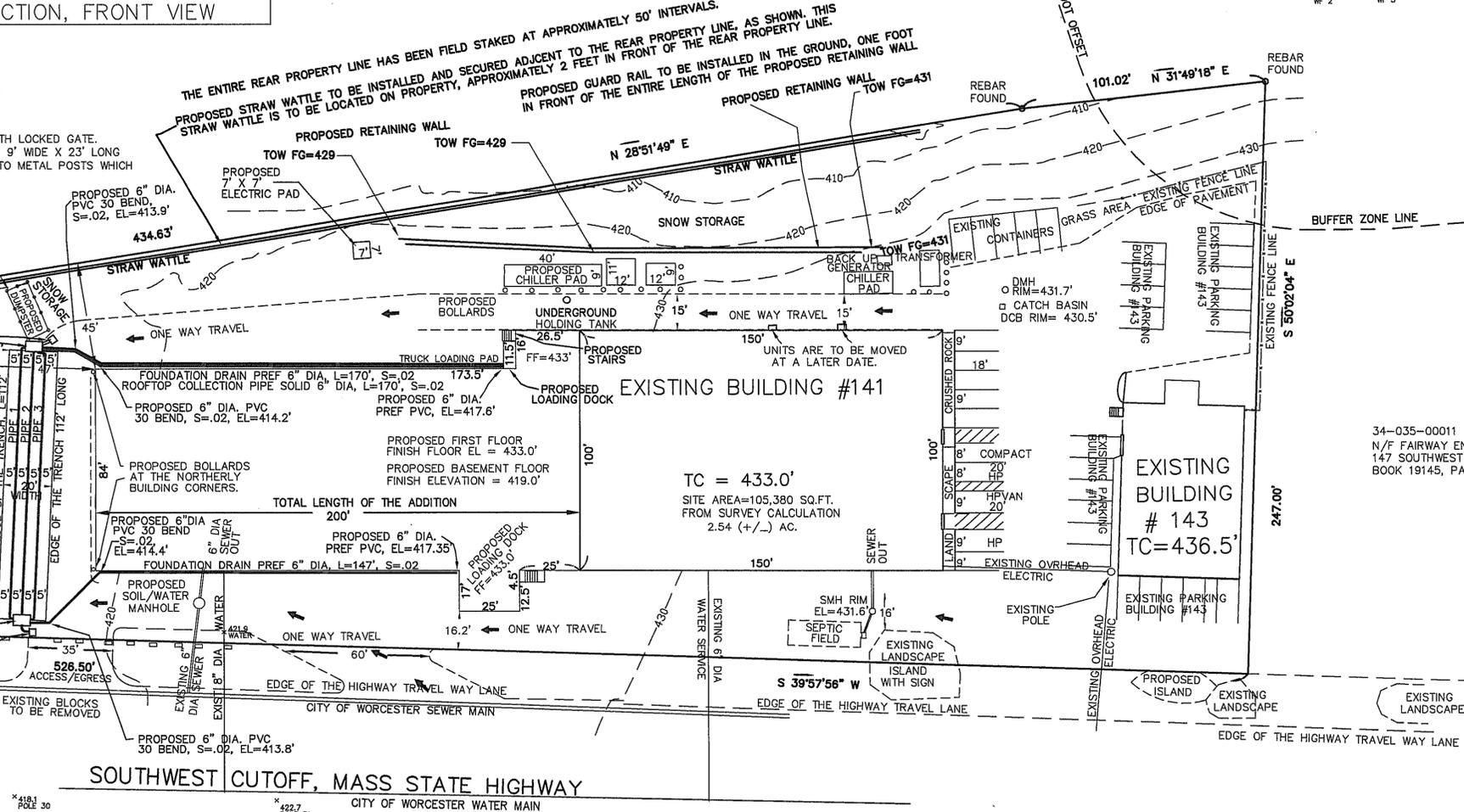
ASSESSORS MAP  
MBL 34-035-00013  
ZONING: MG 2.0

141 SOUTHWEST CUTOFF PROPOSED ADDITION INCLUDED

| YARD       | SETBACK REQUIRED | SETBACK PROPOSED |
|------------|------------------|------------------|
| FRONT      | 15'              | 16.2'            |
| RIGHT SIDE | N/A              | 127'             |
| LEFT SIDE  | N/A              | 47'              |
| REAR YARD  | 15'              | 45'              |

REQUIRED EXISTING

| FRONTAGE               | N/A            | 526.50'    |
|------------------------|----------------|------------|
| AREA                   | N/A            | 2.54 AC    |
| HEIGHT                 | N/A            | 46.5'      |
| FAR                    | 2 TO 1         | 0.672 TO 1 |
| FAR                    | 70,864/105,380 | = 0.672    |
| TOTAL GROSS FLOOR AREA | =              | 70,864 SF  |



THE EXISTING TOPOGRAPHY AND THE BUILDING LOCATION SHOWN ARE THE RESULT OF A FIELD SURVEY WHICH OCCURRED BETWEEN NOVEMBER 22 THROUGH DECEMBER 23, 2019.



MICHAEL BURKE P.E. # 23374

DRAINAGE SCHEDULE OF ELEVATIONS.

EAST SIDE OF THE PROJECT (REAR SECTION AWAY FROM US 20) RECHARGE TRENCH: (SEE CROSS SECTION)

| ELEMENT                               | PROPOSED | ASBUILT |
|---------------------------------------|----------|---------|
| BOTTOM OF THE BANK GRAVEL LAYER       | EL= 407' |         |
| TOP OF THE BANK GRAVEL/ START 3/4\"/> |          |         |

WEST SIDE OF THE PROJECT (NEAR ROUTE 20) RECHARGE TRENCH: (SEE CROSS SECTION)

| ELEMENT                               | PROPOSED | ASBUILT |
|---------------------------------------|----------|---------|
| BOTTOM OF THE BANK GRAVEL LAYER       | EL= 407' |         |
| TOP OF THE BANK GRAVEL/ START 3/4\"/> |          |         |

SHEET 3 OF 3  
SITE DRAINAGE PLAN

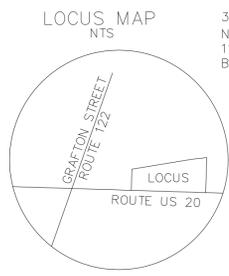
PROPOSED ADDITION PLAN  
141 SOUTHWEST CUTOFF  
WORCESTER, MASSACHUSETTS

PREPARED FOR:  
OWNER OF:  
F CARRIER REALTY LLC  
FRANK CARRIER, MANAGER  
141 SOUTHWEST CUTOFF  
WORCESTER, MA.

**D. J. & ASSOCIATES**  
7 CEDAR STREET  
CLINTON, MA

REV 1: JANUARY 13, 2020  
DATE: DECEMBER 24, 2019

SCALE: 1" = 30'



34-035-00002  
 N/F ANCONA COMPANY  
 115 SOUTHWEST CUTOFF  
 BOOK 22509, PAGE 356

34-035-00002  
 N/F ANCONA COMPANY  
 115 SOUTHWEST CUTOFF  
 BOOK 22509, PAGE 356

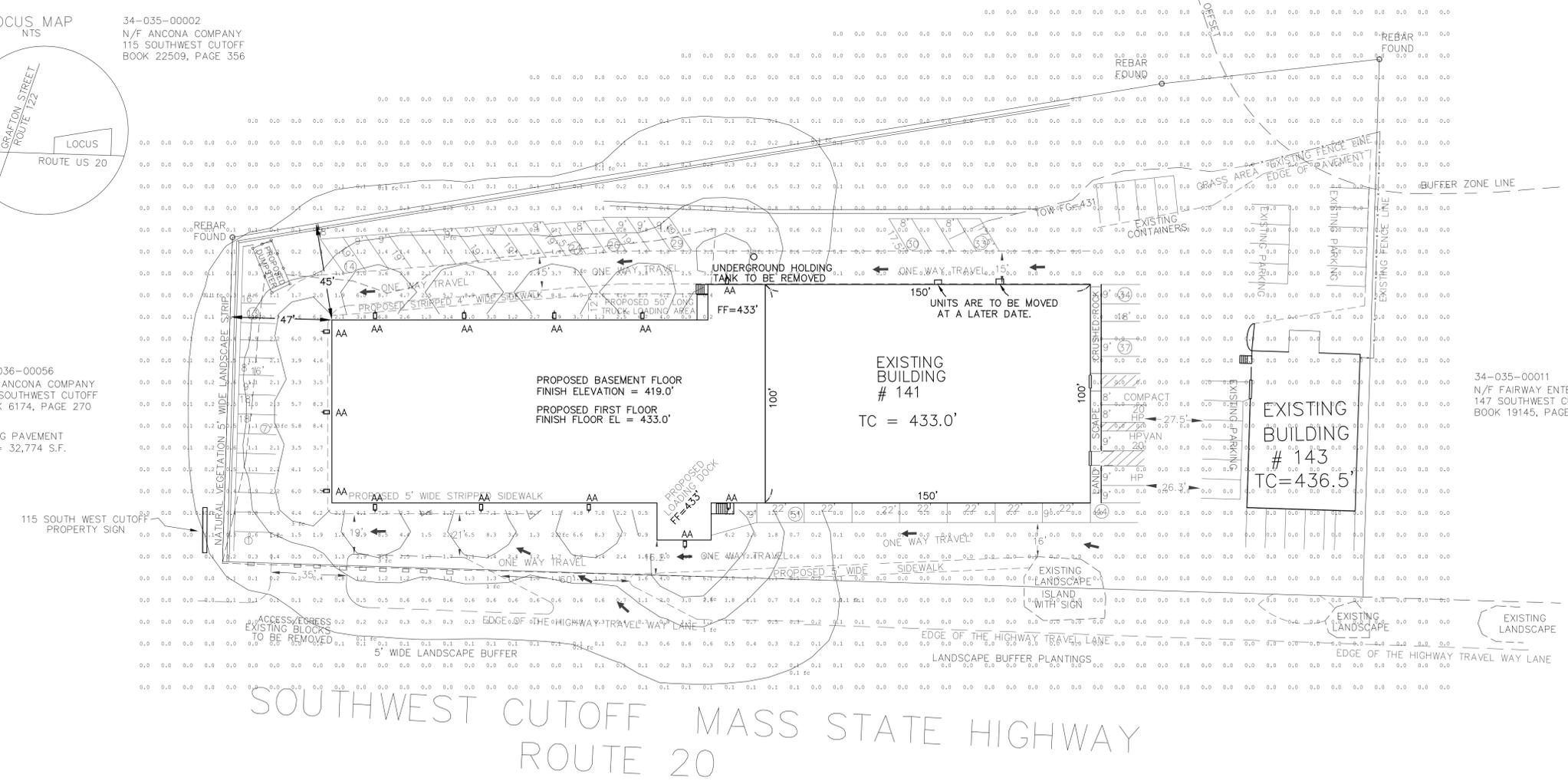
34-035-00002  
 N/F ANCONA COMPANY  
 115 SOUTHWEST CUTOFF  
 BOOK 22509, PAGE 356

WF 1 THIS IS THE CLOSEST CORNER  
 OF THE RESOURCE AREA.  
 DELINEATION BY ALTON ENGINEERING  
 ON DEC. 22, 2019  
 WF 2 WF 3 WETLINE WF 4

34-036-00056  
 N/F ANCONA COMPANY  
 131 SOUTHWEST CUTOFF  
 BOOK 6174, PAGE 270

EXISTING PAVEMENT  
 AREA = 32,774 S.F.

34-035-00011  
 N/F FAIRWAY ENTERPRISES  
 147 SOUTHWEST CUTOFF  
 BOOK 19145, PAGE 41



SOUTHWEST CUTOFF MASS STATE HIGHWAY  
 ROUTE 20

**SITE PLAN- PHOTOMETRIC LIGHTING**  
 SCALE: 1"=30'-0"

**BUILDING ADDITION PARKING LOT**

Illuminance (Fc)  
 Average = 3.20  
 Maximum = 9.5  
 Minimum = 0.2  
 Avg/Min Ratio = 16.00  
 Max/Min Ratio = 47.50

| LIGHTING FIXTURE SCHEDULE |              |             |         |         |          |          |                      |
|---------------------------|--------------|-------------|---------|---------|----------|----------|----------------------|
| TYPE                      | MANUFACTURER | CATALOGUE # | LAMPING |         |          | MOUNTING | REMARKS              |
|                           |              |             | TYPE    | WATTAGE | QUANTITY |          |                      |
| AA                        | LUMARK       | XTOR6B      | LED     | 58W     |          | WALL     | MOUNTED @ 16'-0" AFG |

| NO. | DATE: | REVISION: |
|-----|-------|-----------|
|     |       |           |
|     |       |           |
|     |       |           |
|     |       |           |

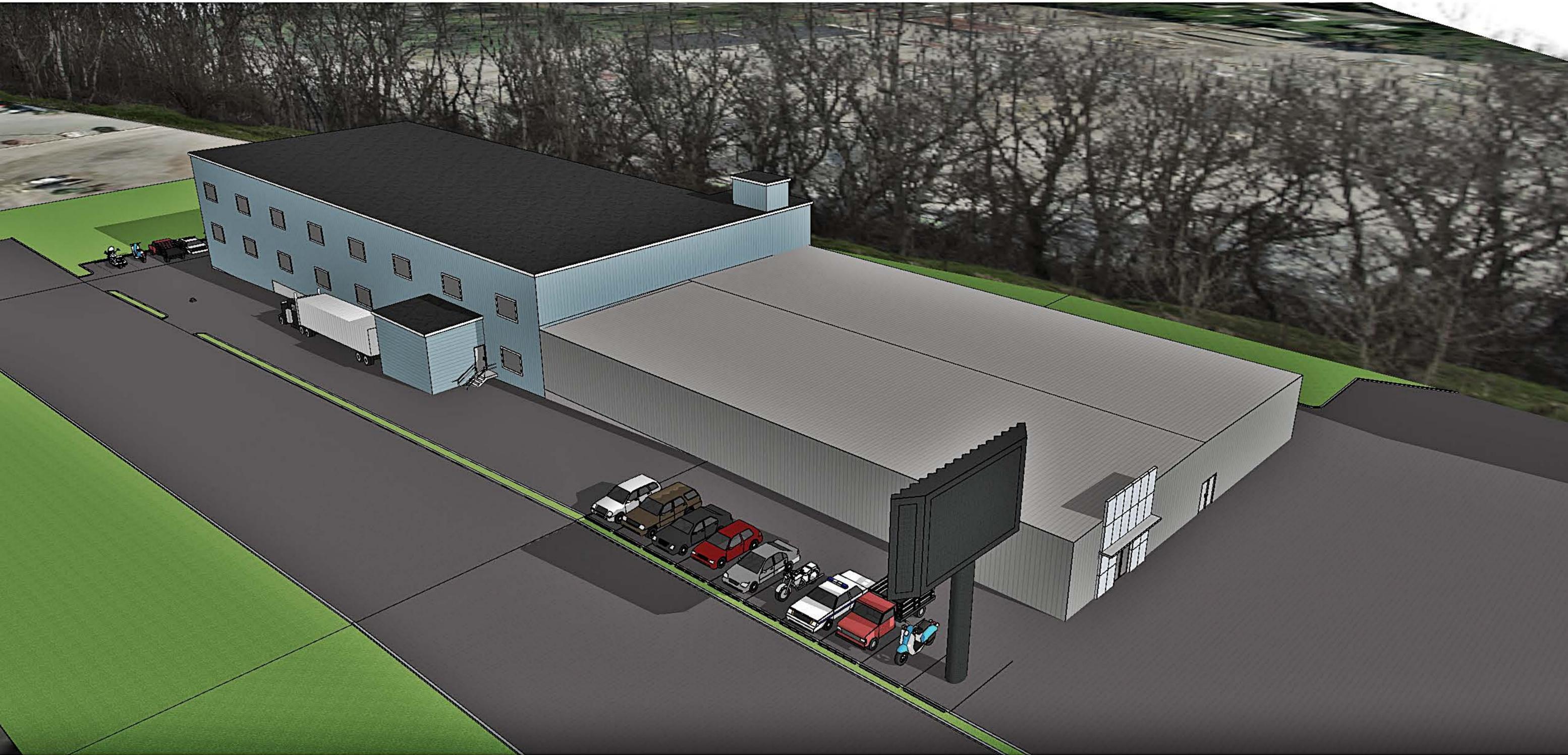
DRAWING NAME:

**SITE PLAN  
 PHOTOMETRIC  
 LIGHTING**

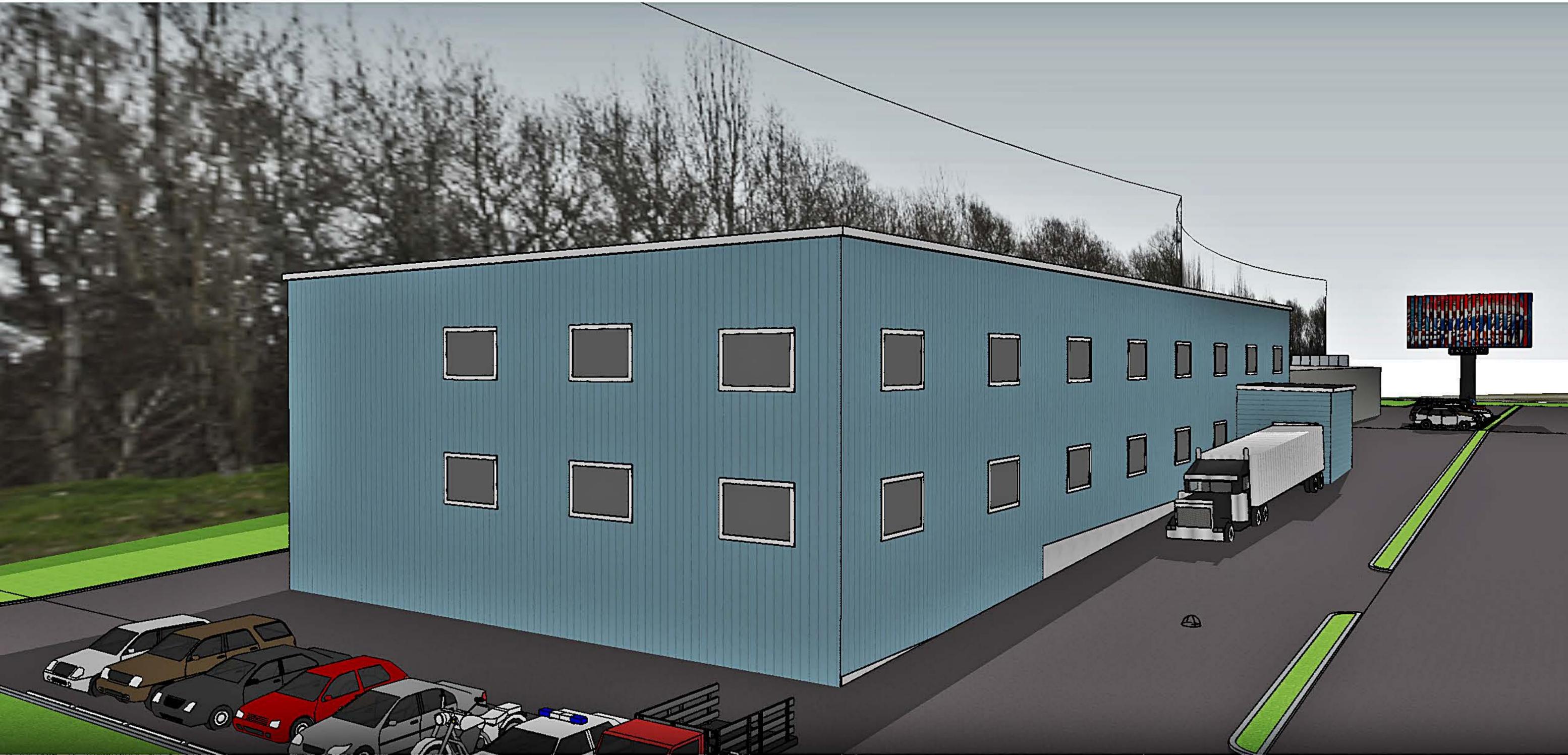
PROJECT NUMBER: 19-048  
 DRAWN BY: AJV/JDS  
 SCALE: 1" = 30'-0"  
 DATE: 01/03/2020  
 DRAWING NUMBER:











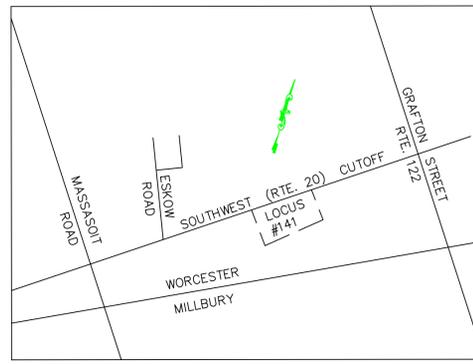
ZONING REQUIREMENTS—MG 2.0 MANUFACTURING GENERAL DISTRICT

|                                 | REQUIRED | EXISTING                      |
|---------------------------------|----------|-------------------------------|
| MINIMUM AREA REQUIREMENT —      | NONE     | 105,415 SF                    |
| MINIMUM FRONTAGE REQUIREMENT —  | NONE     | 526.60 FT.                    |
| MINIMUM FRONT YARD SETBACK —    | 15 FEET  | 34.5± FT.                     |
| MINIMUM SIDE YARD SETBACK —     | NONE     | 4.8± FT. (Existing—Bldg.#143) |
| MINIMUM REAR YARD SETBACK —     | 15 FEET  | 56.9± FT.                     |
| MAXIMUM HEIGHT IN STORIES/FEET— | N/A      | N/A                           |
| MAXIMUM FLOOR TO AREA RATIO —   | 2 TO 1   | .21 TO 1                      |

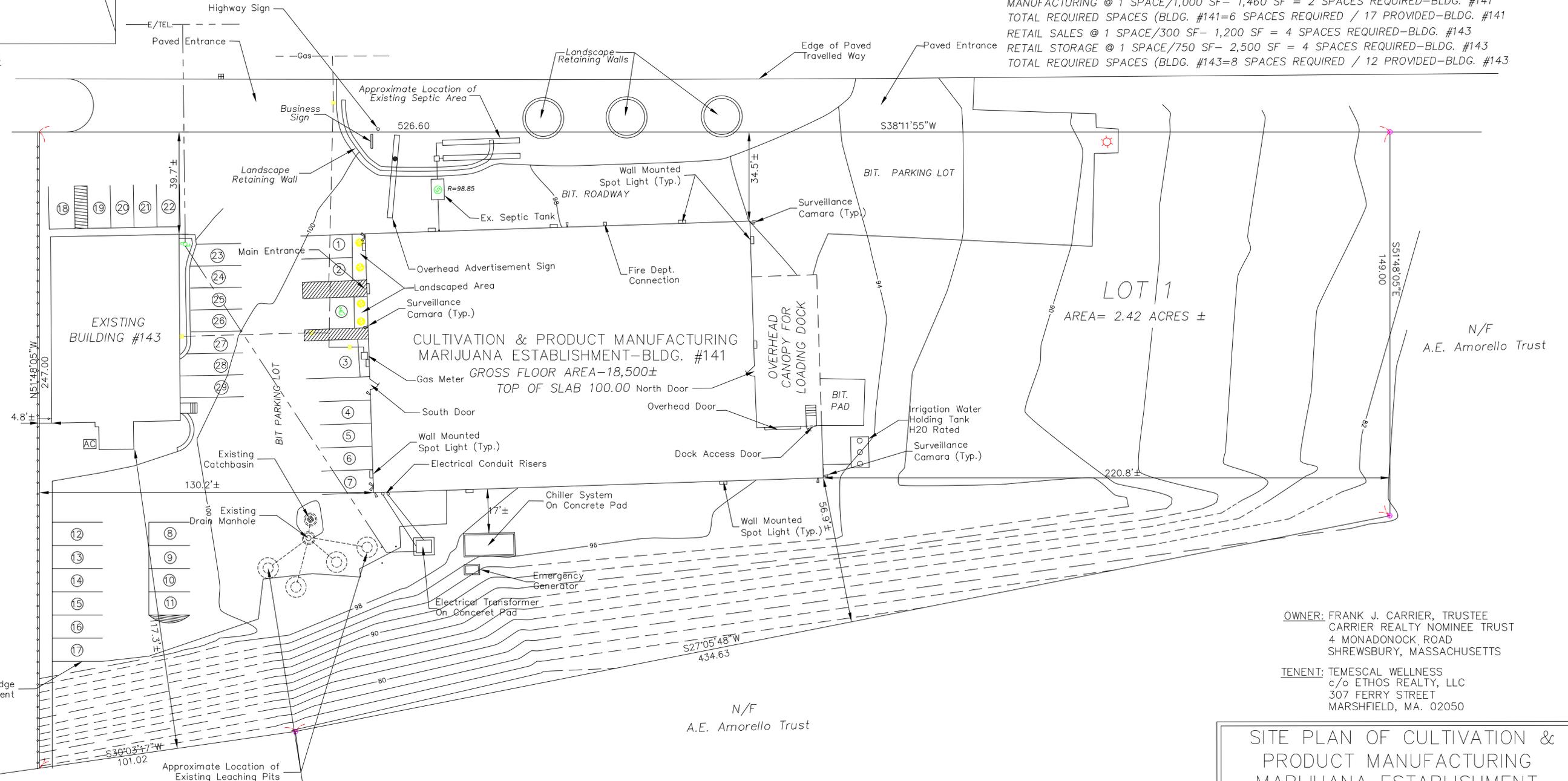
PARKING REQUIREMENTS

WAREHOUSE/STORAGE @ 1 SPACE/3,000 SF— 11,025 SF = 4 SPACES REQUIRED—BLDG. #141  
 MANUFACTURING @ 1 SPACE/1,000 SF— 1,460 SF = 2 SPACES REQUIRED—BLDG. #141  
 TOTAL REQUIRED SPACES (BLDG. #141)=6 SPACES REQUIRED / 17 PROVIDED—BLDG. #141  
 RETAIL SALES @ 1 SPACE/300 SF— 1,200 SF = 4 SPACES REQUIRED—BLDG. #143  
 RETAIL STORAGE @ 1 SPACE/750 SF— 2,500 SF = 4 SPACES REQUIRED—BLDG. #143  
 TOTAL REQUIRED SPACES (BLDG. #143)=8 SPACES REQUIRED / 12 PROVIDED—BLDG. #143

ROUTE 20 ~ SOUTHWEST CUTOFF



SITE LOCUS  
N.T.S.



N/F  
Carolina Freight  
Carrier Corporation

N/F  
A.E. Amorello Trust

N/F  
A.E. Amorello Trust

OWNER: FRANK J. CARRIER, TRUSTEE  
 CARRIER REALTY NOMINEE TRUST  
 4 MONADOCK ROAD  
 SHREWSBURY, MASSACHUSETTS

TENANT: TEMESCAL WELLNESS  
 c/o ETHOS REALTY, LLC  
 307 FERRY STREET  
 MARSHFIELD, MA. 02050

LEGEND

- — SEWER MANHOLE
- — DRAIN MANHOLE
- ⊞ — CATCHBASIN
- ⊞ — HYDRANT
- ☆ — LIGHT POLE
- 256— EXISTING CONTOUR

NOTE: ALL UNDERGROUND UTILITY LOCATIONS AND ELEVATIONS ARE APPROXIMATE AND MUST BE VERIFIED AT TIME OF CONSTRUCTION. CALL DIG SAFE 1-800-344-7233

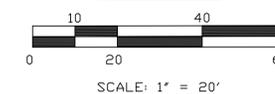
PROPERTY & ZONING REFERENCE

ASSESSORS MAP TILE T34, REFERENCE 34-035-00013  
 ZONING DISTRICT: MG 2.0 — MANUFACTURING GENERAL

PROPERTY DATA

PROPERTY REFERENCE: BK 19553, PAGE 215 & 216  
 WORCESTER SOUTH REGISTRY OF DEEDS

GRAPHIC SCALE



| NO. | DATE     | DESCRIPTION  | BY  |
|-----|----------|--|-----|
| 4.  | 12/21/18 | Added Zoning & Assessor's Data & Revised Title Block | SEP |
| 3.  | 1/27/18  | Updated Site-As-Built                                | SEP |
| 2.  | 6/9/17   | Revised Door Labels                                  | SEP |
| 1.  | 5/31/17  | Added Parking, Rev. Holding Tank                     | SEP |

SITE PLAN OF CULTIVATION &  
 PRODUCT MANUFACTURING  
 MARIJUANA ESTABLISHMENT  
 141 SOUTHWEST CUTOFF  
 WORCESTER, MASSACHUSETTS

SCALE 1" = 20' DATE: APRIL 30, 2017

LAKEVIEW ENGINEERING ASSOCIATES

CIVIL & ENVIRONMENTAL ENGINEERING  
 P.O. BOX 787, HUDSON, MA 01749  
 PH:(508) 232-8302 / FAX: (978) 562-5183

JOB NO. SDSK/141\_SOUTHWEST/DWG/SITE\_2 SHEET NO. 1 OF 1