

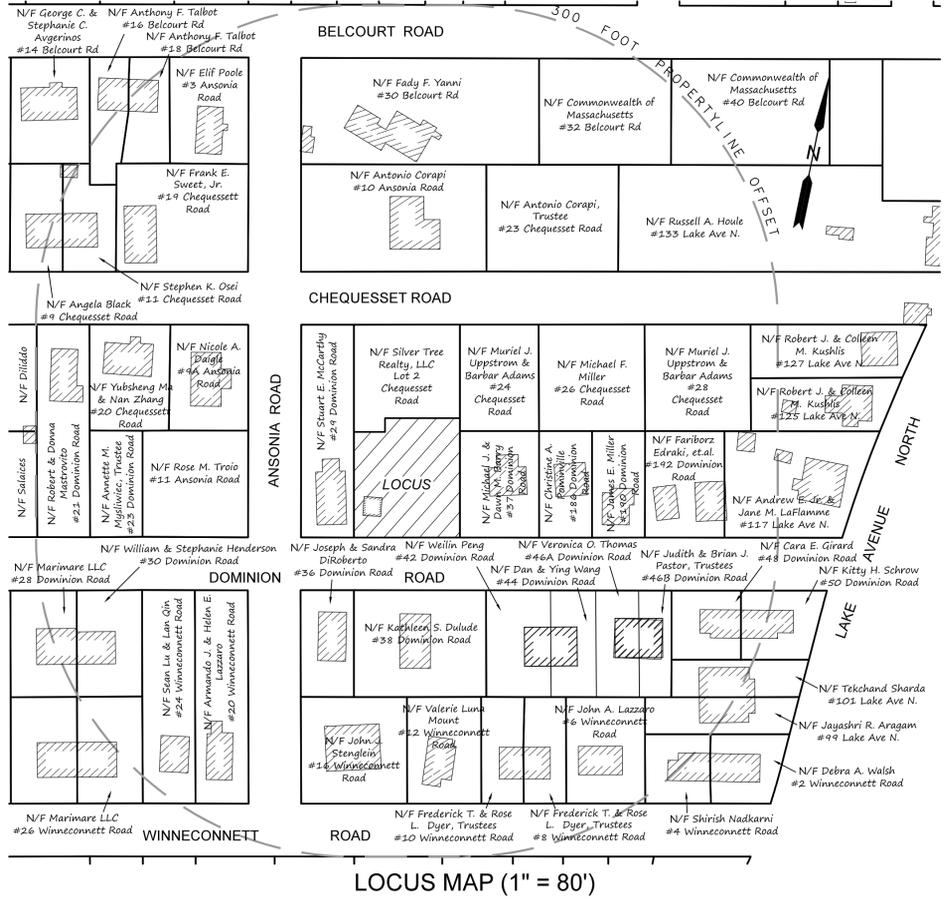
# DEFINITIVE SITE PLAN of "33 DOMINION ROAD"



LOCUS MAP  
Scale: 1" = 2,000 feet

### GENERAL NOTES

- 1.) EXISTING TOPOGRAPHICAL INFORMATION WAS PREPARED BY SUMMIT ENGINEERING & SURVEY, INC.. ELEVATIONS REFER TO THE WORCESTER SEWER DATUM. HORIZONTAL COORDINATES REFER CITY OF WORCESTER BLOCK SYSTEM.
- 2.) ALL MATERIALS AND CONSTRUCTION PRACTICES SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE CITY OF WORCESTER'S DEPARTMENT OF PUBLIC WORKS & PARKS STANDARD SPECIFICATIONS & DETAILS, UNLESS OTHERWISE SPECIFIED BY LOCAL AUTHORITY OR THE ENGINEER.
- 3.) THE CONTRACTOR SHALL UTILIZE ALL MEASURES AND MATERIALS NECESSARY TO ENSURE THE SAFETY OF ALL PERSONS AND PROPERTIES AT THE SITE DURING CONSTRUCTION. ALL EXCAVATIONS SHALL CONFORM TO CURRENT OSHA STANDARDS.
- 4.) UNLESS OTHERWISE NOTED, ALL DISTURBED AREAS SHALL BE DRESSED WITH A MINIMUM OF FOUR INCHES (4") OF LOAM AND SHALL BE SEEDED WITH AN APPROVED GRASS MIX.
- 5.) THE CONTRACTOR SHALL PROVIDE APPROPRIATE EROSION AND SEDIMENTATION CONTROL MEASURES AT ALL TIMES. DEWATERING OPERATIONS SHALL BE PROVIDED, IF REQUIRED; ALL DISCHARGE SHALL PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON WATER BODIES, BORDERING VEGETATED WETLANDS, DRAINAGE SYSTEMS AND ABUTTING PROPERTIES.
- 6.) DISTURBED AREAS SHALL BE STABILIZED BY LOAMING AND SEEDING SOON AFTER THE FINISHED GRADE HAS BEEN MET. IF FINAL GRADING DOES NOT OCCUR DURING THE GROWING SEASON, THESE AREAS SHALL BE MULCHED WITH HAY SECURED BY WEIGHTED SNOW FENCE, CHICKEN WIRE MESH OR JUTE NETTING WITH STAPLES. SEED FOR PERMANENT GRASS COVER SHOULD BE ACCORDING TO SOIL CONSERVATION SERVICE GUIDELINES FOR SOIL AND MOISTURE CONDITIONS FOUND ON THE SITE.
- 7.) SEDIMENTATION CONTROL FENCE AND/OR HAY BALES SHALL BE MAINTAINED UNTIL ALL SLOPES HAVE BEEN STABILIZED AND THERE IS NO DANGER OF EROSION DIRECTLY ONTO ABUTTING PROPERTIES.
- 8.) PRIOR TO INITIATING CONSTRUCTION, SEDIMENTATION CONTROL DEVICES SHALL BE INSTALLED. THE CONTRACTOR SHALL MAINTAIN THE DEVICES UNTIL ALL WORK IS COMPLETE AND ALL AREAS HAVE BEEN STABILIZED.
- 9.) IF THE PROPOSED ROADWAY AREAS ARE NOT PAVED IMMEDIATELY AFTER THE INSTALLATION OF THE DRAINAGE STRUCTURES, HAY BALES SHALL BE PLACED TO PROTECT THE INTEGRITY OF THE STRUCTURES.
- 10.) THE LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES ARE BASED ON FIELD AND RECORD INFORMATION. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERT ELEVATIONS OF STRUCTURES AND UTILITIES, AS REQUIRED PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES WITH RECORD DATA SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. PRIOR TO, AND DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE LOCAL UTILITY COMPANIES, WITH THE CITY OF WORCESTER HIGHWAY DEPARTMENT, OTHER TOWN UTILITY DEPARTMENTS, APPLICABLE PRIVATELY OWNED UTILITY COMPANIES AND DIG-SAFE (1-888-344-7233) TO VERIFY UTILITY LOCATION AND TO PROTECT UTILITIES DURING AND AFTER CONSTRUCTION.
- 11.) IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH THE APPROPRIATE HIGHWAY AND UTILITY DEPARTMENTS. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEWLY INSTALLED UTILITIES IN GOOD WORKING ORDER AND SHALL PROTECT THEM FROM DAMAGE AT ALL TIMES UNTIL THE WORK IS COMPLETED AND ACCEPTED.
- 12.) THE CONTRACTOR SHALL PROVIDE FOR ALL TRAFFIC CONTROL IN ACCORDANCE WITH THE CITY OF WORCESTER REQUIREMENTS.
- 13.) NO TRENCHES SHALL BE ALLOWED TO REMAIN OPEN OVERNIGHT.
- 14.) ALL POTABLE WATER AND SANITARY BUILDING SERVICE CONNECTIONS SHALL BE SEPARATED HORIZONTALLY BY A MINIMUM OF TEN FEET.
- 15.) TREE WORK MUST BE COMPLETED BY COMPANIES HOLDING CURRENT COMPLIANCE AGREEMENTS WITH THE MASSACHUSETTS LONGHORNED BEETLE ERADICATION PROJECT. ANY COMPANY CAN BECOME COMPLIANT BY ATTENDING A TRAINING SESSION AT THE PROGRAM OFFICE IN WORCESTER, MA.



**DIMENSIONAL REQUIREMENTS**

Zone: RL-7 (Residence, Limited)	Use: Single Family, Attached	
Proposed Building: 3 Unit, 2 Story		
Floor Area Ratio (Bldg:Land)	Max./Req'd	Provided
Lot Area (Res)	NA	NA
	3,000 sf/unit	
	9,000 sf	10,923 sf
Lot Frontage	25 ft/unit	100'
Building Height	35 ft	34 ft
Yard Setbacks		
Front	20 ft	20 ft (Dominion Road)
Side	8 ft	11/11ft
Rear	20 ft	20 ft
Parking	2/unit	2/unit
Front Setback Impervious Area (Pending Zoning Chg.)	50% max	22% 480 sf

### LIST OF DRAWINGS:

- |           |  |
|-----------|--|
| SHEET - 1 | COVER SHEET  |
| SHEET - 2 | EXISTING CONDITIONS - EROSION CONTROL PLAN - SITE PLAN |
| SHEET - 3 | GRADING/DRAINAGE - SITE/LANDSCAPE                      |
| SHEET - 4 | CONSTRUCTION DETAIL                                    |

OWNER / APPLICANT:  
**SILVERTREE REALTY, LLC**  
710 MAIN ST  
NORTH OXFORD, MA 01540

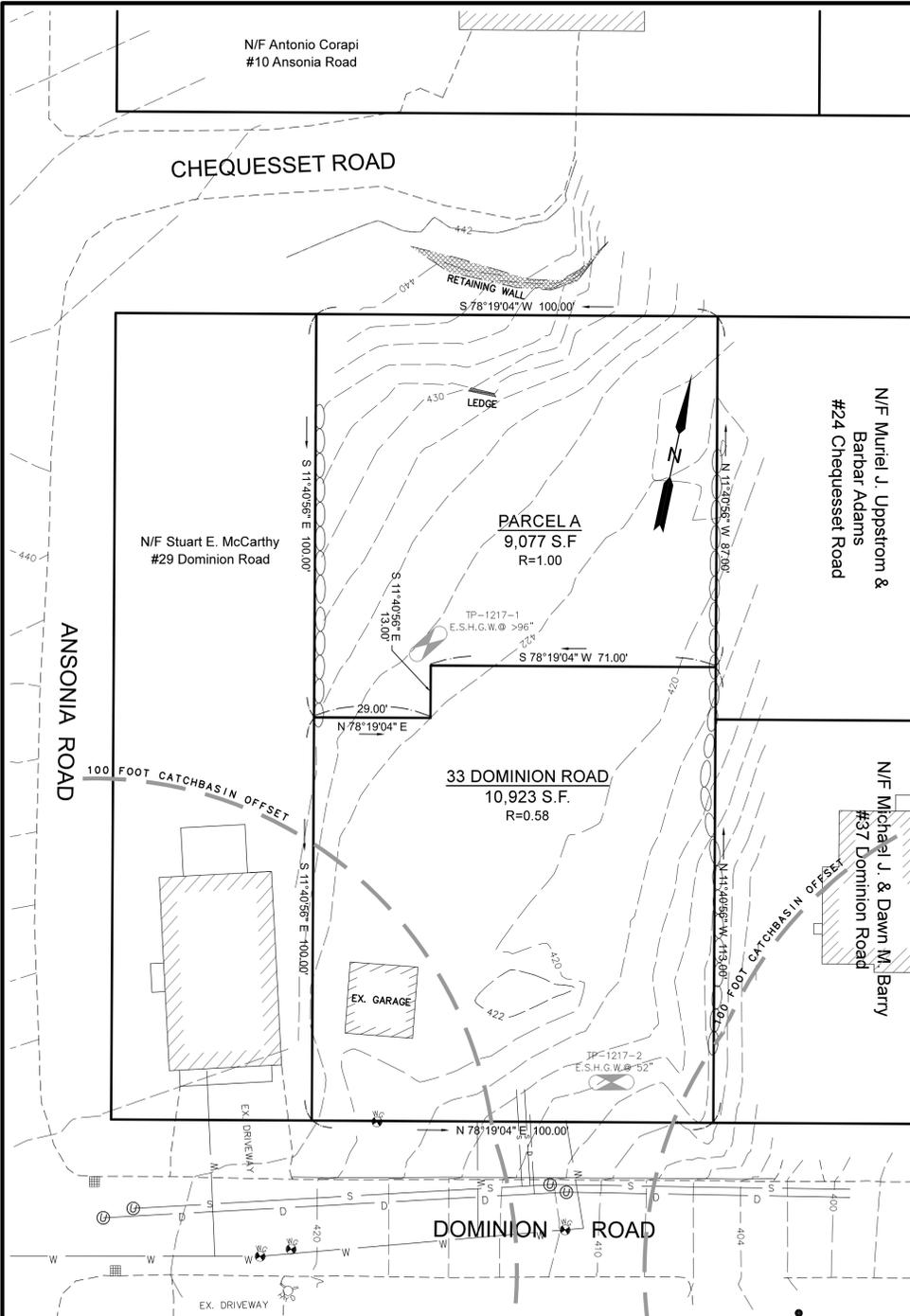
DEED REFERENCES:  
BOOK 57536 PG 268

PLAN REFERENCES:  
PLAN BOOK 908, PLAN 93  
PLAN BOOK 24, PLAN 73

MBLU: 46-006-00180

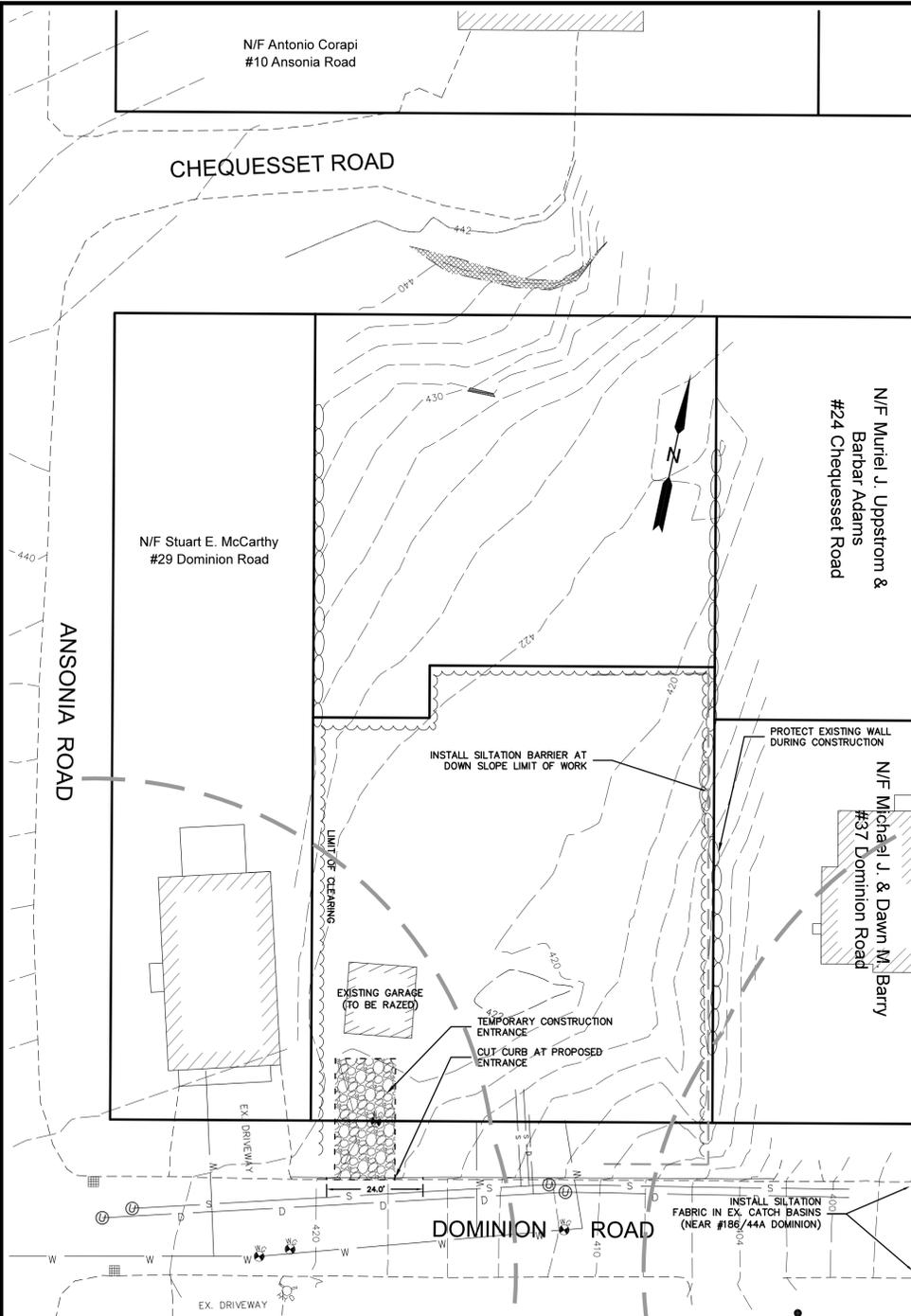
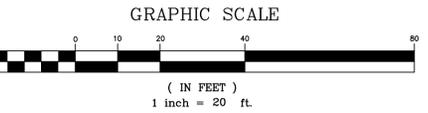


REVISIONS	
<p><b>SUMMIT</b> Engineering &amp; Survey, Inc. 710 MAIN STREET NORTH OXFORD, MA 01537 P: (508) 887-8713 F: (508) 887-8714</p>	
<p><b>DEFINITIVE SITE PLAN</b> at <b>33 DOMINION ROAD</b> <b>WORCESTER, MA</b></p> <p>PREPARED FOR <b>SILVER TREE REALTY, INC.</b></p>	
SCALE:	AS SHOWN
DATE:	MAY 19, 2020
JOB NO:	17-178
PLAN NO:	17-178 SITE PLAN
SHEET NO:	1 OF 4



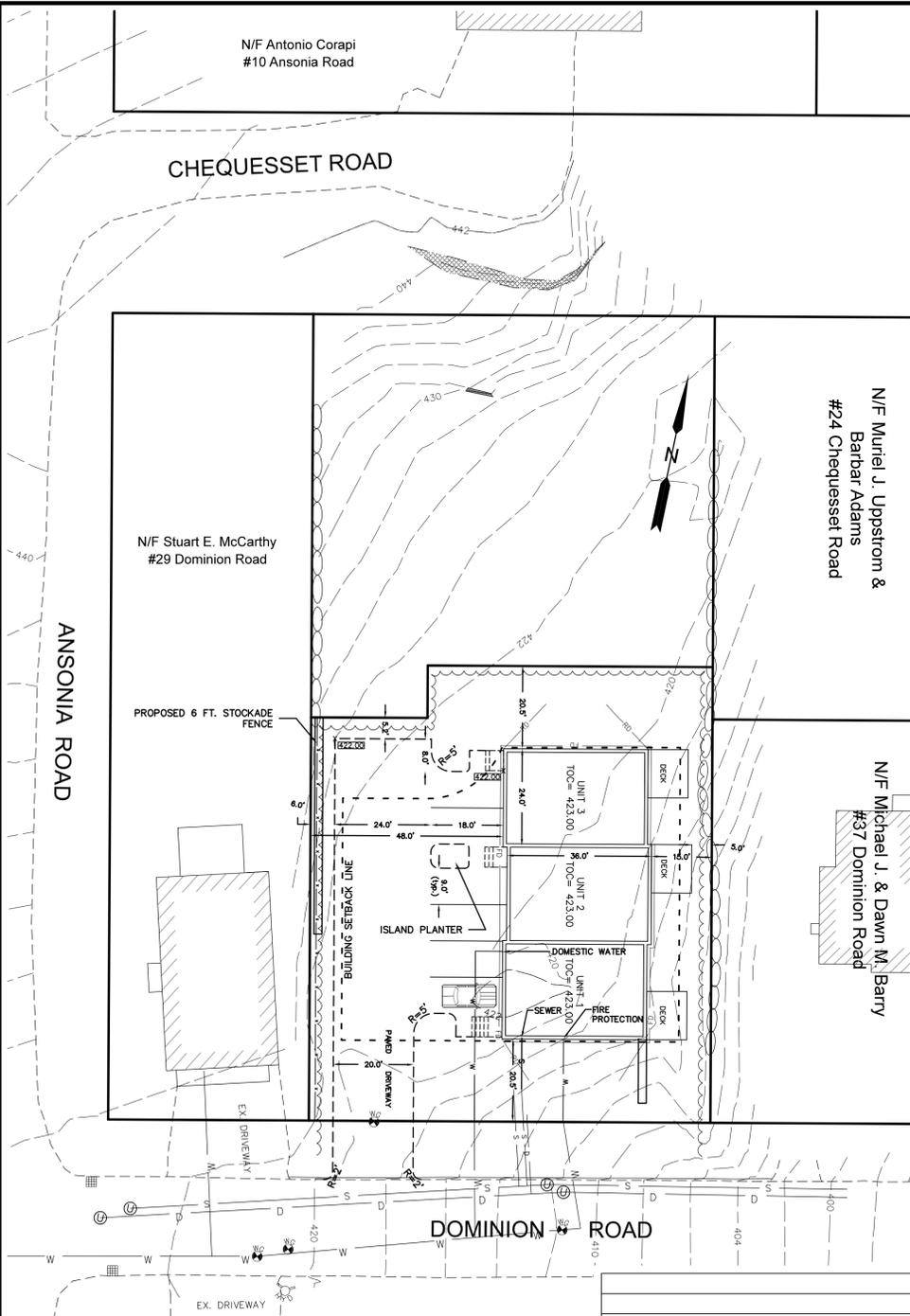
**EXISTING CONDITIONS**

- EXISTING CONDITIONS PLAN NOTES:**
- EXISTING CONDITIONS SHOWN ARE THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY SUMMIT ENGINEERING & SURVEY, INC. IN SEPTEMBER 2017.
  - DATUM OF TOPOGRAPHY IS NVD 1983.
  - HORIZONTAL ALIGNMENT IS MASS STATE PLAN, MAINLAND.
  - LOCUS PLAN SHOWN TAKEN FROM MASS GIS DATA FOR BUILDINGS & ASSESSORS PROPERTY LINES.
  - UTILITY INFORMATION PROVIDED BY WORCESTER DEPARTMENT OF PUBLIC WORKS.



**EROSION CONTROL AND DEMOLITION PLAN**

- EROSION CONTROL PLAN NOTES:**
- EROSION CONTROLS TO BE INSTALLED PRIOR TO THE INITIATION OF CONSTRUCTION AND/OR SITE DEMOLITION.
  - CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF EROSION CONTROLS AND IMPLEMENTING ADDITIONAL MEASURES TO MANAGE SURFACE RUNOFF AS CONDITIONS CHANGE.
  - EROSION CONTROLS SHALL REMAIN IN PLACE UNTIL SITE HAS BEEN STABILIZED.



**SITE PLAN**

- SITE PLAN NOTES:**
- ALL UTILITIES SHALL MEET THE MATERIALS AND INSTALLATION REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
  - DRIVEWAY CURB CUT SHALL MEET THE REQUIREMENTS OF THE CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
  - FIRE PROTECTION SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH THE SPRINKLER SYSTEM STANDARDS. MAIN/VALVES SIZE TO BE SET BY THE DESIGNER.

**LEGEND**

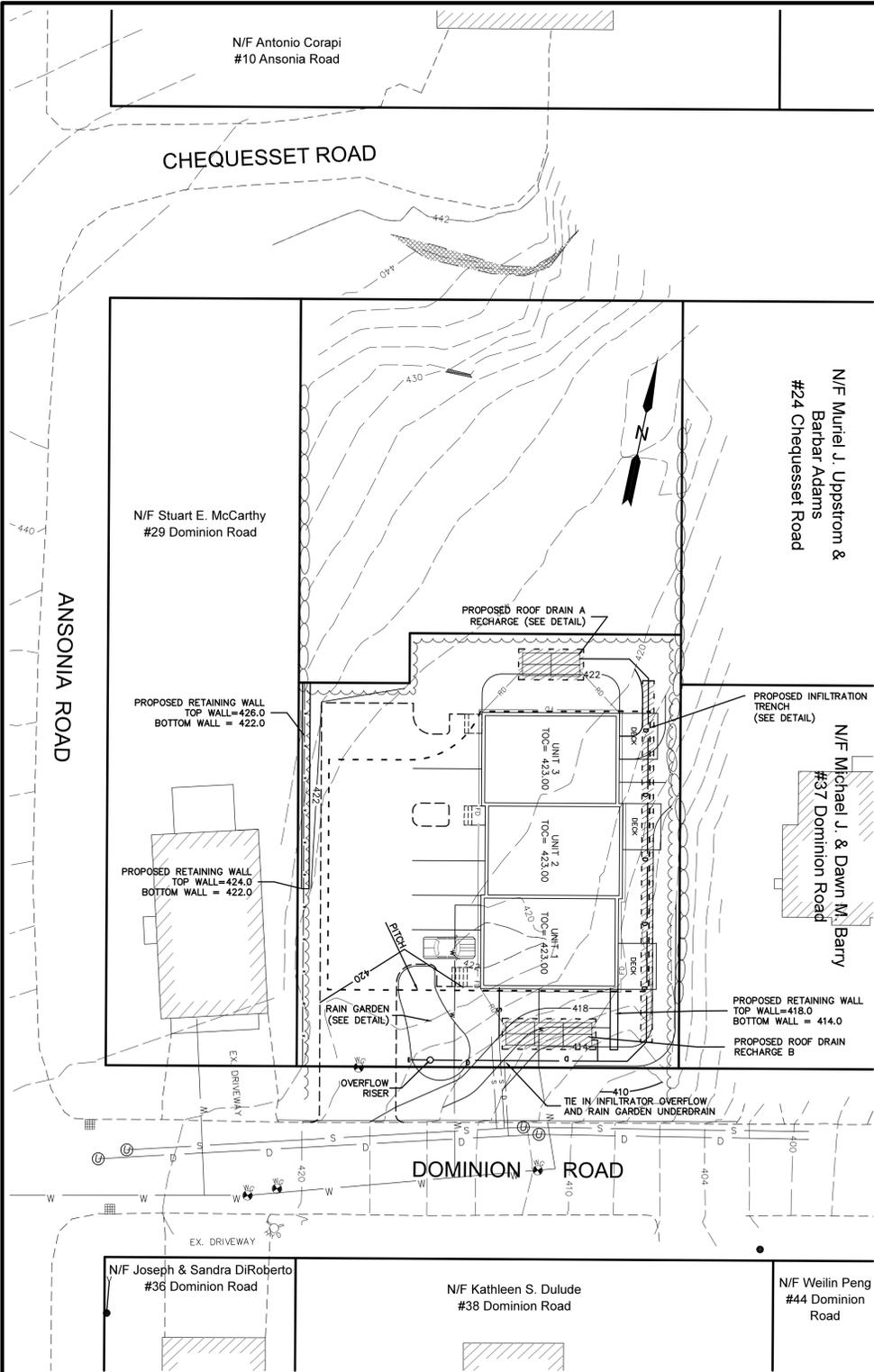
RD	RD	ROOF DRAIN
FD	FD	FOUNDATION DRAIN
---	---	STONEWALL
---	---	EDGE OF PAVEMENT
D	D	DRAIN LINE
W	W	WATER LINE
S	S	SEWER LINE
---	---	SILTATION BARRIER
---	---	TREE LINE

REVISIONS

**SUMMIT**  
Engineering & Survey, Inc.  
710 MAIN STREET  
NORTH OXFORD, MA 01537  
P:(508) 987-8783 F:(508) 987-8784

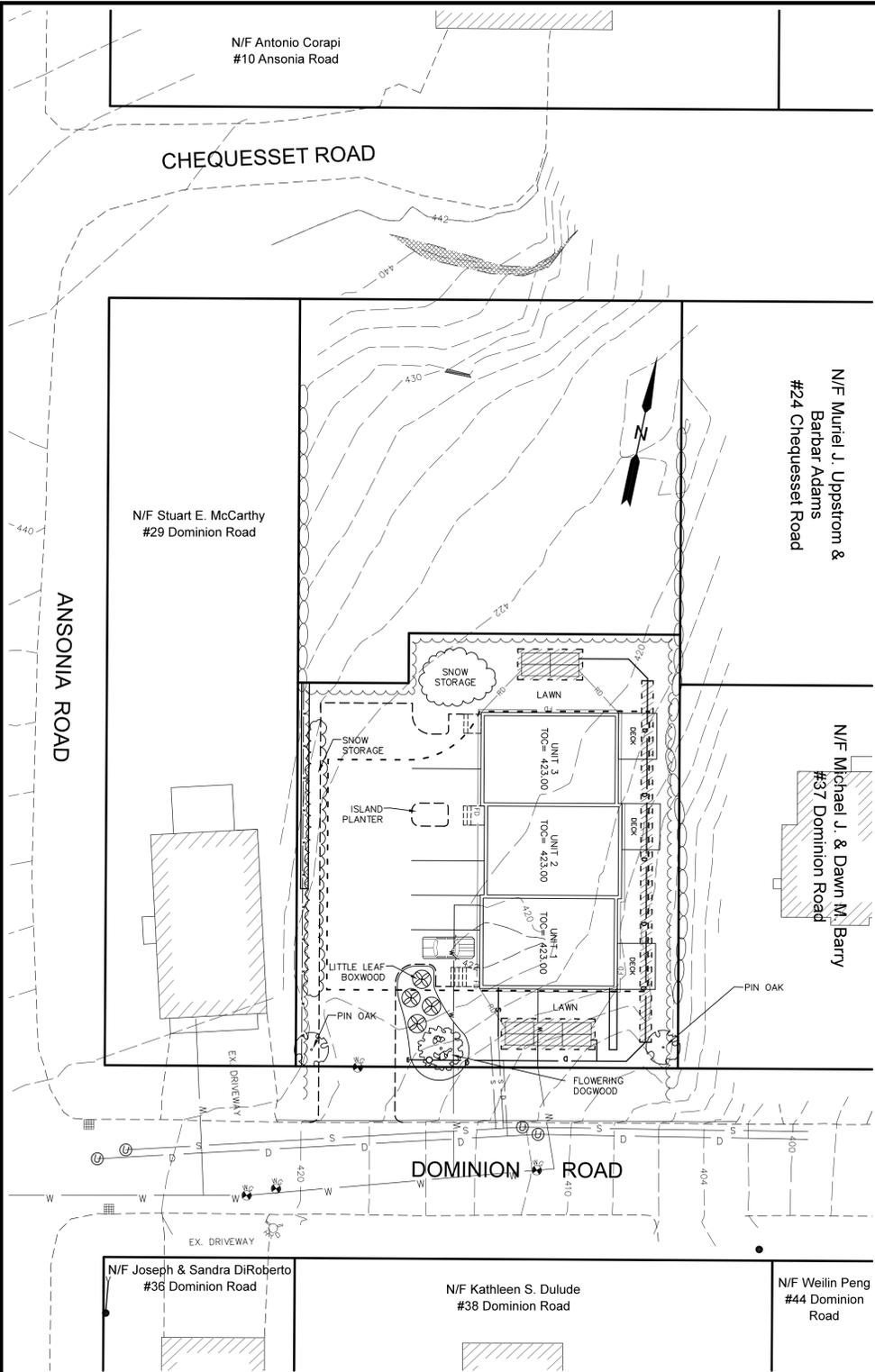
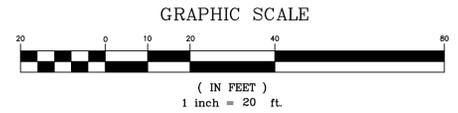
**DEFINITIVE SITE PLAN**  
at  
**33 DOMINION ROAD**  
WORCESTER, MA  
PREPARED FOR  
**SILVER TREE REALTY, LLC**

SCALE: 1" = 20'  
DATE: MAY 19, 2020  
JOB NO: 17-178  
PLAN NO: 17-178 SITE PLAN  
SHEET NO: 2 OF 4



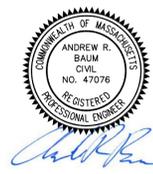
**GRADING & DRAINAGE PLAN**

- GRADING AND DRAINAGE PLAN NOTES:**
1. ALL SLOPES GREATER THAN 3:1 SHALL BE REINFORCED WITH SLOPE STABILIZATION FABRIC.
  2. ALL WALLS GREATER THAN 4 FEET IN HEIGHT SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.
  3. ALL WALLS GREATER THAN 4 FEET IN HEIGHT SHALL HAVE FALL PROTECTION INSTALLED AS REQUIRED BY THE MASSACHUSETTS BUILDING CODE.
  4. PROPOSED INFILTRATION SYSTEMS AND RAIN GARDEN SHOWN SHALL BE WITNESSED BY THE CITY OF WORCESTER OR THE DESIGN ENGINEER PRIOR TO BACKFILLING.

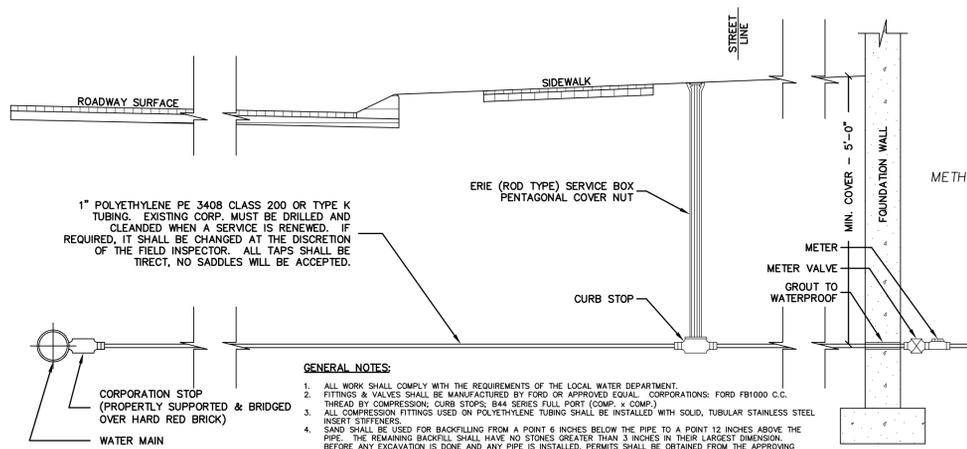


**LANDSCAPE PLAN**

- LANDSCAPE PLAN NOTES:**
1. ALL SURFACES NOT DESIGNATED AS PLANTERS SHALL BE LOAMED AND SEEDED WITH LAWN SEED MIX.
  2. ALL PLANTER BEDS SHALL BE MULCHED WITH A MINIMUM OF 4 INCHES OF SHREDDED BARK MULCH.
  3. ALL PLANTED VEGETATION SHALL BE SPECIES RESISTANT TO ASIAN LONG HORN BEETLE.

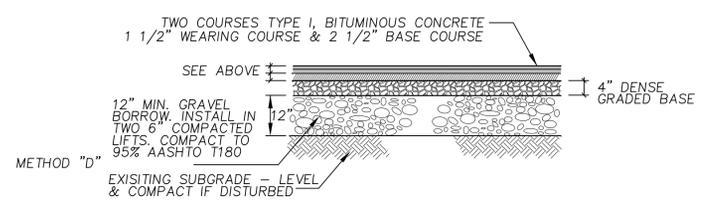


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<b>SUMMIT</b> Engineering & Survey, Inc. 710 MAIN STREET NORTH OXFORD, MA 01537 P: (508) 987-8703 F: (508) 987-8704	
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SCALE:	1" = 20'
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SHEET NO.:	3 OF 4

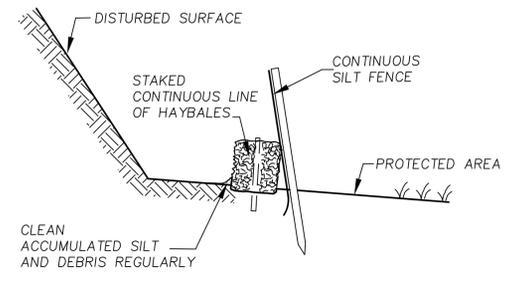


- GENERAL NOTES:**
- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL WATER DEPARTMENT.
  - FITTINGS & VALVES SHALL BE MANUFACTURED BY FORD OR APPROVED EQUAL. CORPORATIONS: FORD FB1000 C.C. THREAD BY COMPRESSION; CURB STOPS: B44 SERIES FULL PORT (COMP. x COMP.)
  - ALL COMPRESSION FITTINGS USED ON POLYETHYLENE TUBING SHALL BE INSTALLED WITH SOLID, TUBULAR STAINLESS STEEL INSERT STIFFENERS.
  - SAND SHALL BE USED FOR BACKFILLING FROM A POINT 6 INCHES BELOW THE PIPE TO A POINT 12 INCHES ABOVE THE PIPE. THE REMAINING BACKFILL SHALL HAVE NO STONES GREATER THAN 3 INCHES IN THEIR LARGEST DIMENSION. BEFORE ANY EXCAVATION IS DONE AND ANY PIPE IS INSTALLED, PERMITS SHALL BE OBTAINED FROM THE APPROVING AUTHORITY. ALL PAVING SHALL CONFORM TO THE CITY OF WORCESTER DPW STANDARDS.
  - SERVICES SHALL BE FLUSHED BEFORE ACTIVATING TO AVOID METER CLOSING.
  - METER AND METER VALVE SHALL BE SUPPLIED & INSTALLED BY THE CITY AT OWNER EXPENSE.
  - MAIN VALVES ARE TO BE OPERATED BY THE CITY ONLY. COSTS INCURRED IN SHUTTING DOWN MAINS DUE TO NEGLIGENCE OF THE CONTRACTOR AS DETERMINED BY THE FIELD INSPECTOR SHALL BE PAID BY THE CONTRACTOR.
  - THE CONTRACTOR SHALL INFORM THE OWNER AND THE CITY WIRING INSPECTOR OF PROPER GROUNDING REQUIREMENTS PURSUANT TO MGL CH. 145, SECTION 15.
  - ON NEW SERVICES, IN ACCORDANCE WITH THE MADEP CODE 5 AND ITS AMENDMENTS, THE WATER SERVICE SHALL BE A MINIMUM OF 10 HORIZONTAL FEET FROM THE SEWER SERVICE.
  - THE CONTRACTOR SHALL FURNISH AND COMPLETELY INSTALL THE SERVICE FROM THE CORPORATION TO THE METER VALVES WITH NEW MATERIALS.
  - UPON INSTALLATION OF THE SERVICE BOX, THE CONTRACTOR SHALL OPERATE THE STOP TO THE SATISFACTION OF THE FIELD INSPECTOR PRIOR TO ACCEPTANCE OF THE JOB.

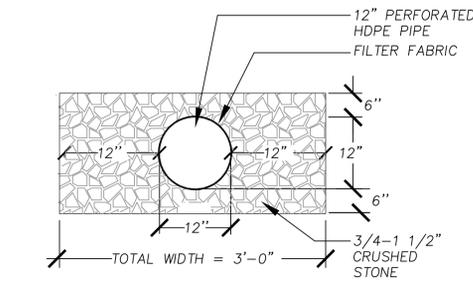
**WATER SERVICE CONNECTION**  
NOT TO SCALE



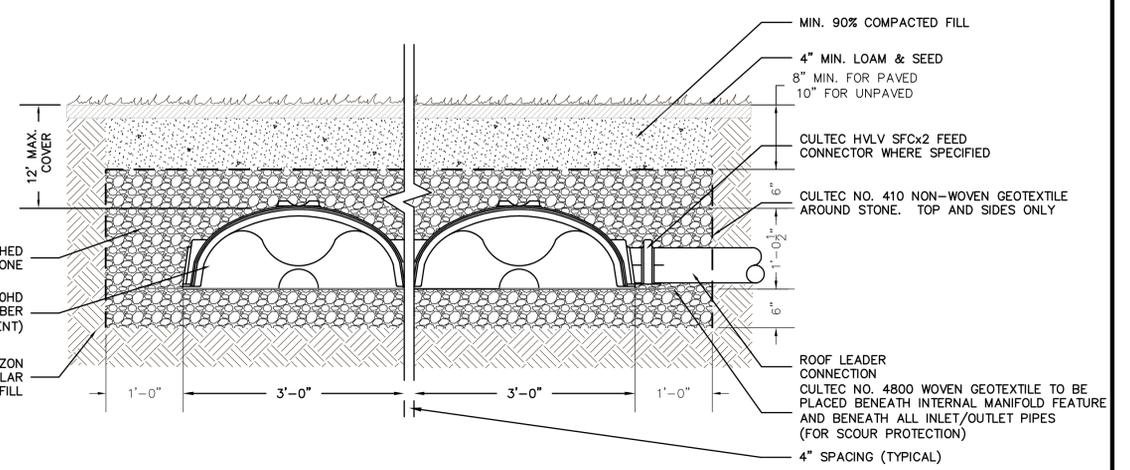
**BITUMINOUS CONC. DRIVE & PARKING**  
NOT TO SCALE



**SILTATION BARRIER**  
NOT TO SCALE



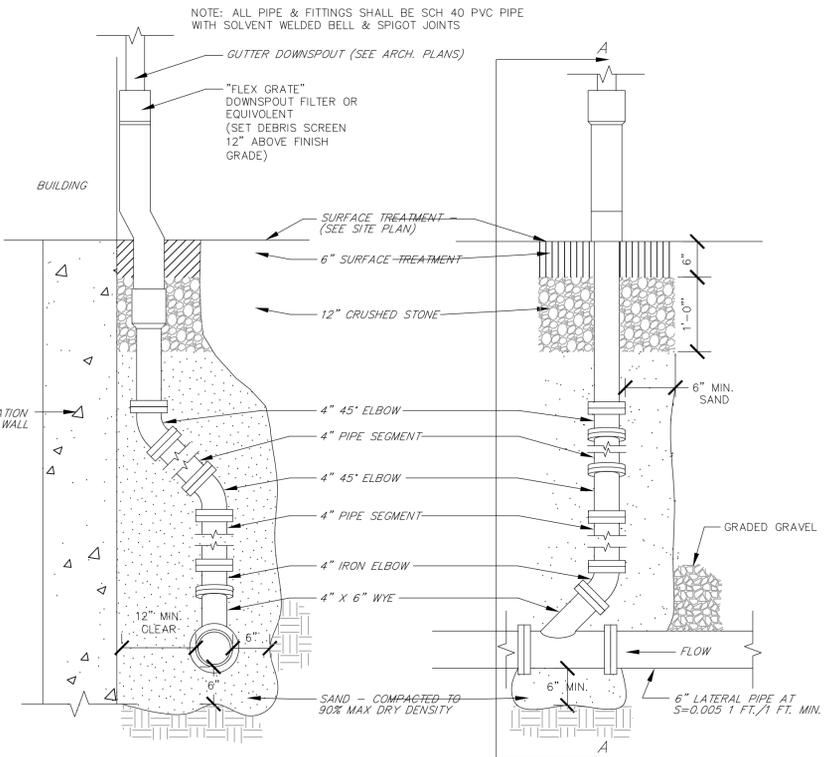
**INFILTRATION TRENCH**



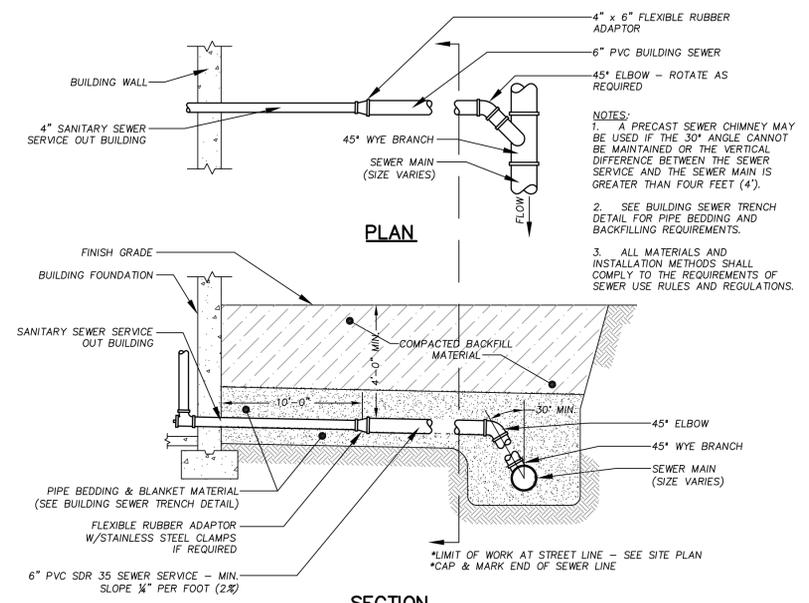
**ROOF DRAIN RECHARGE TRENCH**  
NOT TO SCALE

SCHEDULE OF CHAMBER ELEVATIONS

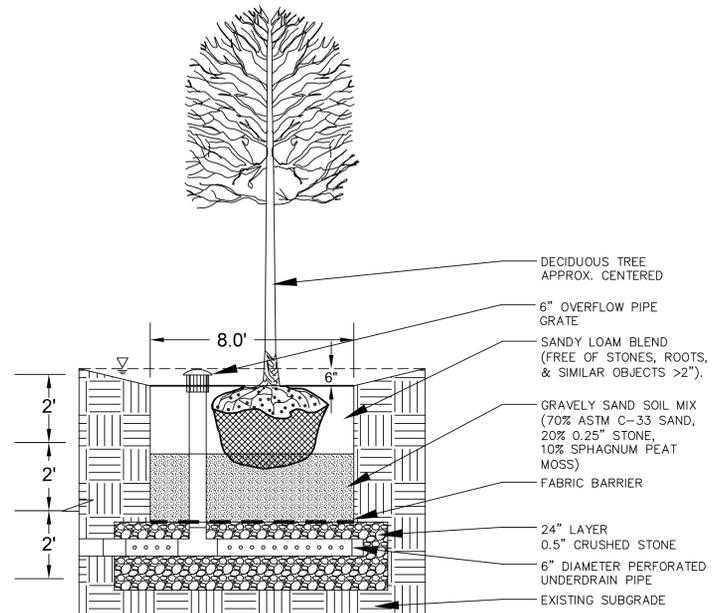
DESC.	#UNITS	BED WIDTH	BED LENGTH	BOTTOM STONE	BOTTOM CHAMBER	INVERT OUT	TOP STONE	NOTES
ROOF DRAIN A	4	8.0	17.0	419.00	419.50	420.50	421.00	-
ROOF DRAIN B	6	8.0	24.5	411.00	411.50	412.50	413.00	-
INFILTRATION TRENCH	-	3.0	100.0	411.00	411.50	412.00	413.00	6" ECCENTRIC REDUCER



**SECTION A-A**  
**ROOF DRAIN CONNECTION**  
NOT TO SCALE



**BUILDING SEWER CONNECTION**  
NOT TO SCALE



**TREE FILTER RAINGARDEN**  
NOT TO SCALE



REVISIONS

**SUMMIT**  
Engineering & Survey, Inc.  
710 MAIN STREET  
NORTH OXFORD, MA 01537  
P:(508) 987-8783 F:(508) 987-8784

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